

# CHARTER TOWNSHIP OF GARFIELD PLANNING COMMISSION MEETING

Wednesday, October 9, 2024 at 7:00 pm  
Garfield Township Hall  
3848 Veterans Drive  
Traverse City, MI 49684  
Ph: (231) 941-1620

## A G E N D A

### **ORDER OF BUSINESS**

**Call meeting to order**  
**Pledge of Allegiance**  
**Roll call of Board Members**

#### **1. Public Comment**

##### **Public Comment Guidelines:**

Any person shall be permitted to address a meeting of The Planning Commission, which is required to be open to the public under the provision of the Michigan Open Meetings Act, as amended. (MCLA 15.261, et.seq.) Public Comment shall be carried out in accordance with the following Commission Rules and Procedures: a.) any person wishing to address the Commission is requested to state his or her name and address. b.) No person shall be allowed to speak more than once on the same matter, excluding time needed to answer Commissioner's questions. Where constrained by available time the Chairperson may limit the amount of time each person will be allowed to speak to (3) minutes. 1.) The Chairperson may at his or her own discretion, extend the amount of time any person is allowed to speak. 2.) Whenever a Group wishes to address a Committee, the Chairperson may require that the Group designate a spokesperson; the Chairperson shall control the amount of time the spokesperson shall be allowed to speak when constrained by available time. Note: If you are here for a Public Hearing, please hold your comments until that Public Hearing time.

#### **2. Review and Approval of the Agenda – Conflict of Interest**

#### **3. Minutes – September 11, 2024**

#### **4. Correspondence**

#### **5. Reports**

- a. Township Board
- b. Planning Commissioners
  - i. Zoning Board of Appeals
  - ii. Parks and Recreation Commission
  - iii. Joint Planning Commission
- c. Staff Report
  - i. PD 2024-77 – Planning Department Report – October 2024

**6. Unfinished Business**

- a. PD 2024-79 – Angel Care Child Care / Church of the Living God SUP – Public Hearing
- b. PD 2024-80 – French Manor LaFranier SUP Major Amendment – Findings of Fact
- c. PD 2024-81 – K-1 Speed / High Tops – Site Plan Review Amendment – Continued
- d. PD 2024-82 – Tower North Wireless Communication Facility SUP – Follow-Up #3

**7. New Business**

- a. PD 2024-83 – Cherryland Center Comprehensive Development Plan – Conceptual Review

**8. Public Comment**

**9. Other Business**

**10. Items for Next Agenda – October 23, 2024**

- a. Zoning Ordinance Discussion – Signs and Definition of “Substantial Construction”
- b. Recent Development Photos

**11. Adjournment**

**Joe Robertson, Secretary  
Garfield Township Planning Commission  
3848 Veterans Drive  
Traverse City, MI 49684**

The Garfield Township Board will provide necessary reasonable auxiliary aids and services, such as signers for hearing impaired and audio tapes of printed materials being considered at the meeting to individuals with disabilities upon the provision of reasonable advance notice to the Garfield Township Board. Individuals with disabilities requiring auxiliary aids or services should contact the Garfield Township Board by writing or calling Lanie McManus, Clerk, Ph: (231) 941-1620.

**CHARTER TOWNSHIP OF GARFIELD  
PLANNING COMMISSION MEETING  
September 11, 2024**

**Call Meeting to Order:** Chair McManus called the September 11, 2024 Planning Commission meeting to order at 7:00pm at the Garfield Township Hall.

**Pledge of Allegiance**

The Pledge of Allegiance was recited by all in attendance.

**Roll Call of Commission Members:**

Present: Molly Agostinelli, Joe Robertson, John Racine, Chris DeGood, Pat Cline, Robert Fudge, and Joe McManus

Staff Present: Planning Director John Sych and Deputy Planning Director Steve Hannon

**1. Public Comment (7:01)**

None

**2. Review and Approval of the Agenda – Conflict of Interest (7:01)**

*Racine moved and Robertson seconded to approve the agenda as presented.*

*Yeas: Racine, Robertson, Cline, Agostinelli, DeGood, Fudge, McManus*

*Nays: None*

**3. Minutes (7:02)**

**a. August 28, 2024 Regular Meeting with Township Board**

*Agostinelli moved and Fudge seconded to approve the August 28, 2024 Regular Meeting minutes as*

*Yeas: Agostinelli, Fudge, Cline, Robertson, DeGood, Racine, McManus*

*Nays: None*

**4. Correspondence (7:02)**

None

**5. Reports (7:12)**

**Township Board Report**

Agostinelli stated that the board narrowed down the search for a Township Manager to two candidates and interviews will be held next Thursday.

**Planning Commissioners**

**i. Zoning Board of Appeals**

Fudge reported there was no meeting.

- ii. **Parks and Recreation Commission**  
DeGood reported there was no meeting.
- iii. **Joint Planning Commission**  
Racine reported there was no meeting.

**Staff Report**

- i. **PD 2024-70 – Planning Department Report – September 2024**  
Sych stated that his report was submitted in writing and added that Staff met with stakeholders regarding the comprehensive development plan for the Cherryland Center.

**6. Unfinished Business**

- a. **PD 2024-71 – French Manor LaFranier SUP Major Amendment – Public Hearing (7:05)**

This application is requesting a Special Use Permit (SUP) for expansion of French Manor LaFranier, an existing 6,410-square-foot adult foster care facility at 3090 LaFranier Road. The facility expansion consists of a 1,472-square-foot building addition and a 2,176-square-foot building addition for a total of 3,648 square feet. Sych stated that all outstanding items have been addressed. Commissioners asked questions regarding access. Applicant Daniel Brown from Burdco Inc spoke and said that they have been getting easements and are keeping nine parking spots and no other parking will be added.

McManus opened the public hearing at 7:08pm.

Cole Reilly of LaFranier Road commented on the easement agreement and signage near the road.

McManus closed the public hearing at 7:13pm.

*Agostinelli moved and Cline seconded TO direct staff to prepare Findings of Fact for application SUP-1990-07-A for a Special Use Permit for expansion of an existing adult foster care facility at Parcel 05-014072-10 subject to the following conditions:*

1. *The proposed gates on the enclosure described as “tube rail gates w/vertical cedar slats” are acceptable provided they are 100% opaque.*
2. *Provide the color of the dumpster enclosure to match the principal structure.*

*Yeas: Agostinelli, Cline, Fudge, DeGood, Robertson, Racine, McManus  
Nays: None*

- b. **PD 2024-72 – Tower North Wireless Communication Facility SUP – Follow-Up #2 (7:28)**

Hannon reviewed this application and stated that the applicant is still working on details of the facility. He informed the applicant that the application would expire in November.

**7. New Business****a. K-1 Speed/High Tops – Site Plan Review Amendment (7:32)**

The site is located at 1212 West South Airport Road and is approximately 8.48 acres. It is home to the former Sears building at Cherryland Center. The K1 Speed Indoor Kart Racing facility was approved by the Planning Commission on December 14, 2022, and occupies 60,145 square feet or 62% of the building floor area. The proposed High Tops bar, restaurant and nightclub is planned to occupy the remaining 36,114 square feet or 38% of the building floor area. Restaurants, bars, and night clubs are uses permitted by right in the C-P Planned Shopping Center district. The uses do require review by the PC. Sych talked about the hours of operation of the proposed facility and the planning commission should be able to mitigate the noise and other impacts from the use on this site. He added that plenty of on-site parking is available for this use. Commissioners discussed the noise issues on the outside of the nightclub where the entrance/exit is next to a residential neighborhood. A wall or landscaping was discussed to shield residents from any noise. Commissioners asked to table the application until the applicant could be present to address commissioner concerns about the noise. Staff was directed to look noise mitigation measures and determine how much sound deadening could happen with either a wall or landscaping.

*Racine moved and Robertson seconded to table SPR 2022-21-A submitted by Philip Beehler to gather more information regarding the application and study noise mitigation on the site.*

*Yeas: Racine, Robertson, Fudge, DeGood, Agostinelli, Cline, McManus  
Nays: None*

**b. PD 2024-74 – Angel Care Child Care/Church of the Living God SUP – Introduction (8:10)**

This application by Angel Care Child Care requests the use of an existing church building at 1514 Birmley Road for a child care center as an additional use. Child care centers are permitted via Special Use Permit in the A-Agricultural zoning district. No new construction is planned. Angel Care Child Care proposes to have “up to 60 children in the center and 15+ staff members.” In discussions with Staff, the applicant has indicated that the building upgrades described that are mentioned in the Traverse City Christian School application were due to proposing up to 100 children, whereas their proposal of up to 60 children did not require these same building upgrades. Aside from the Special Use Permit review by the Planning Commission, this application is also subject to review by other agencies such as Metro Fire and building plan review, which will determine if any building upgrades are needed. Marisa Korn, representing

Angel Care Child Care spoke and said that they have been looking for a place and want to move their child care to this building. Commissioners asked about the fire system upgrades and building code requirements that were needed by the last applicant. Korn stated that their organization needed to get a clear idea about exactly what upgrades were needed in light of only having 60 children at the center.

*DeGood moved and Robertson seconded THAT application SUP-2024-03, submitted by Angel Care Child Care for a Special Use Permit for a child care center at Parcel 05-026-014-10, BE ACCEPTED, and BE SCHEDULED for a public hearing for the regular Planning Commission meeting on October 9, 2024, subject to the following additional information being provided by the applicant:*

- 1. The application shall include details of the playground area such as area of the playground space, dimensions and materials of the proposed fencing, and the location of any gates.*
- 2. The application shall indicate if any changes are proposed to the existing signage on the site and if so, indicate that "Signs are subject to sign permit review."*
- 3. The site plan is subject to review from other agencies, including Metro Fire.*

*Yeas: DeGood, Robertson, Cline, Agostinelli, Racine, Fudge, McManus  
Nays: None*

**c. PD 2024-75 – Meadow Valley PUD Directional Signs – PUD Sign Review (8:27)**

Wallick Communities is installing directional signs that are part of the Meadow Valley Planned Unit Development (PUD) located on the south side of North Long Lake Road, west of Zimmerman Road. The applicant proposes four internal directional signs. Section 630.G(3)(a) of the Zoning Ordinance regulates internal directional signs permitted within a Planned Unit Development and are subject to Planning Commission approval. Internal directional signs with a maximum of 6 square feet per sign.

*Robertson moved and Cline seconded THAT sign application PUD-2020-01-E from Wallick Communities for four internal directional signs in the Meadow Valley PUD BE APPROVED.*

*Yeas: Robertson, Cline, Agostinelli, Fudge, DeGood, Racine, McManus  
Nays: None*

**8. Public Comment (8:36)**  
None

**9. Other Business (8:36)**

None

**10. Items for Next Agenda – September 25, 2024 (8:36)**

**a. Zoning Ordinance Discussion – Signs and Definition of “Substantial Construction”**

Staff indicated that more time was needed for further research signage and proposed cancelling the September 23<sup>rd</sup> meeting since there was not much to discuss at this time.

*Fudge moved and Agostinelli seconded to cancel the September 25<sup>th</sup> Planning Commission study session meeting.*

*Yeas: Fudge, Agostinelli, DeGood, Racine, Robertson, Cline, McManus  
Nays: None*

**11. Adjournment**


*Fudge moved to adjourn the meeting at 8:40pm.*

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Joe Robertson, Secretary  
Garfield Township Planning  
Commission  
3848 Veterans Drive  
Traverse City, MI 49684





 <b>Charter Township of Garfield</b> <b>Planning Department Report No. 2024-77</b>			
Prepared:	October 1, 2024	Pages:	2
Meeting:	October 8, 2024 Township Board	Attachments:	<input type="checkbox"/>
Subject:	Planning Department Monthly Report – October 2024		

**PURPOSE:**

Staff provides a monthly report to the Township Board on activities of the Planning Department and the Planning Commission. The presentation of this report also provides a venue for the Township Board to have a dialog with staff about any of the activities or planning-related issues facing the Township.

**DEVELOPMENTS:**

The Planning Commission is currently conducting the following development review activity:

***TowerNorth Wireless Communication Facility – Special Use Permit Review***

- *Location:* 2767 Zimmerman Road, west side of Zimmerman Road, north of Silver Lake Road intersection
- *Development Description:* Proposed monopole wireless communication facility (cell tower)
- *Status:* The Planning Commission tabled the application at their 6/12/2024 meeting and requested more information on the application. Commissioners tabled the application at their 7/10/2024 meeting so that the applicant can propose a different location on the site for the proposed tower which meets setback standards for wireless communication facilities. The Commissioners again tabled the application at their meetings on 8/14/2024 and 9/11/2024 as the applicant has yet to submit any updated materials or information.

***French Manor LaFranier – Special Use Permit Major Amendment Review***

- *Location:* 3090 LaFranier Road, east side of LaFranier Road, south of South Airport Road
- *Development Description:* Proposed expansion of existing senior residential facility
- *Status:* The application was introduced to the Planning Commission at their 8/14/2024 meeting. The Planning Commission held the public hearing for this application at their 9/11/2024 meeting and will review Findings of Fact for this application at their 10/9/2024 meeting.

***Meadow Valley PUD Directional Signs – PUD Sign Review***

- *Location:* 5143 North Long Lake Road, south side of North Long Lake Road west of Zimmerman Road
- *Development Description:* Proposed series of internal directional signs
- *Status:* The Planning Commission approved the application at their 9/11/2024 meeting.

***Angel Care Child Care / Church of the Living God – Special Use Permit Review***

- *Location:* 1514 Birmley Road, north side of Birmley Road east of Keystone Road
- *Development Description:* Proposed child care center within existing church
- *Status:* The application was introduced to the Planning Commission at their 9/11/2024 meeting. The public hearing is scheduled for the 10/9/2024 Planning Commission meeting.

***K1 Speed / High Tops – Site Plan Review Amendment***

- *Location:* 1212 W South Airport Road, north side of South Airport Road west of Garfield Avenue
- *Development Description:* Proposed bar/tavern and nightclub at former Sears in Cherryland Center
- *Status:* The Planning Commission tabled the application at their 9/11/2024 meeting based on concerns about the impact of the project on the neighboring residential area. The Planning Commission will again review the application at their 10/9/2024 meeting.

***BATA / Traverse City Housing Commission (TCHC) PUD – Minor Amendment***

- *Location:* East side of LaFranier Road, north of Hammond Road
- *Development Description:* This PUD was originally approved in 2022 and included 210 housing units as part of a mixed-use development. The applicants request a Minor Amendment to adjust the phasing for installing the playground.
- *Status:* The Planning Commission will review the application at their 10/9/2024 meeting.

The Planning Department is also currently conducting the following administrative development review activity:

***Kingsley Lumber***

- *Location:* 1807 N Garfield Road, southwest corner of Garfield Road and Hammond Road
- *Development Description:* Proposed lumber processing and sawmill operation
- *Status:* Under review; additional information requested from applicants

***Precision Plumbing and Heating***

- *Location:* 3233 Cass Road, southwest corner of South Airport Road and Cass Road (former BATA HQ)
- *Development Description:* Proposed contractor’s establishment; Precision Plumbing and Heating HQ
- *Status:* Approved with conditions

***Mobile Medical Response***

- *Location:* 1733 Park Drive, east side of Park Drive north of South Airport Road
- *Development Description:* Proposed headquarters and operational based for Mobile Medical Response
- *Status:* Under review; additional information requested from applicants

***Resurrection Life Church Addition – PUD Administrative Amendment***

- *Location:* 2586 Crossing Circle, part of the Grand Traverse Crossings PUD
- *Development Description:* Proposed addition to existing church building
- *Status:* Under review; additional information requested from applicants

**PLANNING:**


Other Planning Department activities include the following:

- At their 8/14/2024 regular meeting, the Planning Commission held the public hearing for a proposed Zoning Ordinance text amendment. This amendment encompasses changes to the R-3 zoning district to allow triplex and quadplex housing types by right in the R-3 zoning district, and associated text changes. Commissioners recommended approval of the proposed amendment to the Township Board. The Township Board introduced the proposed Zoning amendment at their 8/27/2024 meeting; the public hearing is scheduled for 10/8/2024.
- The Planning Commission did not hold a study session in September 2024. At the 10/23/2024 study session, the Planning Commission will continue discussing other potential Zoning Ordinance amendments, including updating sign regulations, addressing short-term rentals in response to proposed legislation, and reviewing potential definitions for “substantial construction” and other terms.
- Staff attended the 2024 Planning Michigan Conference, held September 25-27, 2024 in Grand Rapids. Staff will share information learned at the conference with the Planning Commission.

**STAFF:**

John Sych, AICP, Planning Director  
 Email: jsych@garfield-twp.com  
 Direct Line: (231) 225-3155

Stephen Hannon, AICP, Deputy Planning Director  
 Email: shannon@garfield-twp.com  
 Direct Line: (231) 225-3156

 <b>Charter Township of Garfield Planning Department Report No. 2024-79</b>			
Prepared:	October 2, 2024	Pages:	6
Meeting:	October 9, 2024 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	Angel Care Child Care at Church of the Living God Special Use Permit – Public Hearing		
File No.	SUP-2024-03	Parcel No.	05-026-014-10
Applicant:	Angel Care Child Care		
Agent:	Kimberly Lindsey		
Owner:	Church of the Living God		

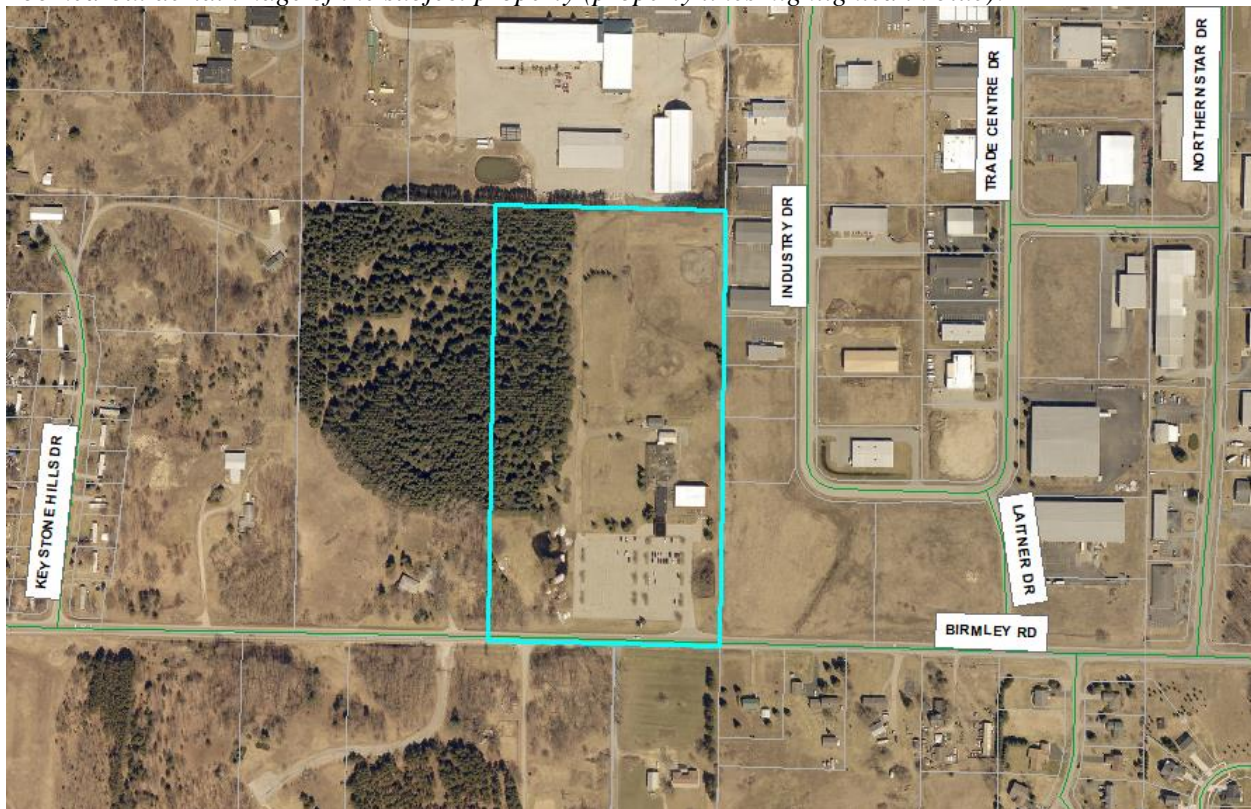
**BRIEF OVERVIEW:**

- Location: 1514 Birmley Road, north side of Birmley Road
- Parcel area: 21.84 acres
- Existing land use: Church
- Existing zoning: A – Agricultural District

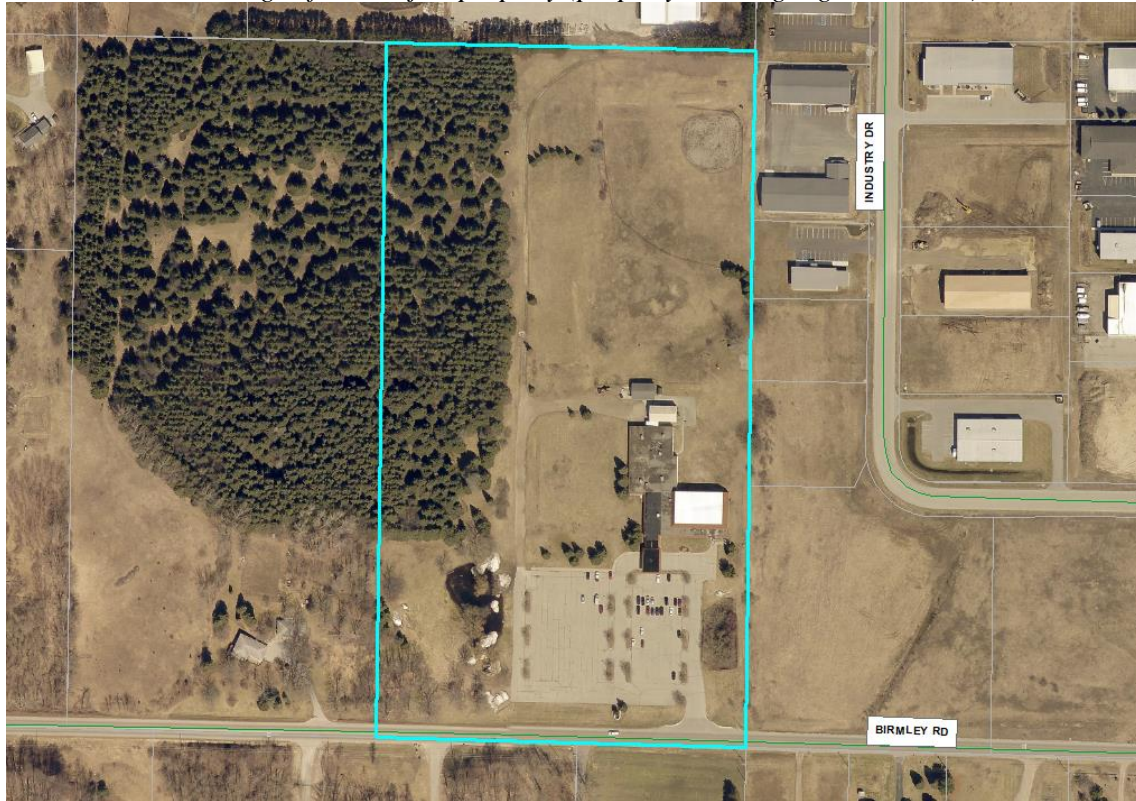
**PURPOSE OF APPLICATION:**

This application by Angel Care Child Care requests the use of an existing church building at 1514 Birmley Road for a child care center as an additional use. Child care centers are permitted via Special Use Permit in the A-Agricultural zoning district. No new construction is planned.

*Zoomed-out aerial image of the subject property (property lines highlighted in blue):*



*Zoomed-in aerial image of the subject property (property lines highlighted in blue):*



**SPECIAL USE PERMIT APPLICATION HISTORY:**

This application has been reviewed or is scheduled to be reviewed at the following meetings:

- Planning Commission – September 11, 2024 – Introduction
- Planning Commission – October 9, 2024 – Public Hearing

**BACKGROUND:**

In 2022, Traverse City Christian School applied for a Special Use Permit for a child care center located in the existing Church of the Living God building. It was intended that they “would be open during business hours Monday-Friday year-round with several scheduled breaks consistent with the school year calendar. We hope to have up to 100 children and 15+ staff members.” Traverse City Christian School indicated that they discovered that the church building would need extensive fire system updates to bring it up to code for the child care use, which ended up being cost prohibitive for them. They ultimately allowed the application to expire on May 11, 2023, which was affirmed by the Planning Commission on May 10, 2023.

In their cover letter, Angel Care Child Care proposes to have “up to 60 children in the center and 15+ staff members.” Follow-up communication from the applicant indicates that the Traverse City Christian School “was proposing 100 children and we are proposing [up to] 60 due to the fact that we would need a sprinkler system install which would be over \$100,000 to install if we go over 60 children.” Aside from the Special Use Permit review by the Planning Commission, this application is also subject to review by other agencies including Metro Fire, building plan review, and State licensing agencies. The Planning Commission does not review the application for conformance to the requirements of other agencies, the building code, or the State. If the Planning Commission were to approve this application, a condition of such approval may be included that all other agencies reviews must be completed and deemed compliant prior to the issuance of a Land Use Permit.

**SITE DESIGN AND ZONING COMPLIANCE OVERVIEW:**

In approving any special use permit pursuant to Section 423, the Planning Commission may impose such reasonable standards, conditions, or requirements, in addition to or that supersede any standard specified in this ordinance, as it may deem necessary to protect the public interest and welfare. Such additional standards may include, but need not be limited to:

- a) Financing;
- b) Availability of adequate public facilities or services;
- c) Dedication of land;
- d) Reservation of land;
- e) Creation of special assessment districts;
- f) Creation of restrictive covenants or easements;
- g) Special setbacks;
- h) Yard requirements;
- i) Increased screening or landscaping requirements;
- j) Area requirements;
- k) Development phasing; or
- l) Standards pertaining to traffic, circulation, noise, lighting, hours of operation, protection of environmentally sensitive areas, and similar characteristics.

Staff offers the following comments regarding site design and compliance with the Zoning Ordinance:

*Proposed Use*

The proposed child care center will be an additional use inside an existing church building. According to the application, the child care center “would be open during the business hours Monday-Friday 7:30-5:30. We hope to have up to 60 children in the center and 15+ staff members.”

The cover letter states that: “We are proposing exterior doors have to be added to the classrooms to create a safe fire exit as required by the fire inspector for children within the classroom. A few cosmetic and or equipment upgrades and minor renovations.” Because there is no proposed building construction, building addition, building footprint expansion, nor similar type of construction, Staff have waived the requirements for a full site development plan.

The proposed playground area is seen on the Building Use Plan with the floor plan. The application shall include details of the playground area such as area of the playground space, dimensions and materials of the proposed fencing, and the location of any gates to meet the standards of Section 720.A(2) of the Zoning Ordinance. This detail is recommended as a condition of reviewing the Findings of Fact for this application.

*Parking and Floor Area*

The parking requirement for child care centers is one (1) parking space for each three hundred (300) square feet of floor space. According to the floor plan, the floor area proposed for the child care center will include the following rooms, among shared spaces with the church:

- Room 6: 20 feet x 30 feet → 600 square feet
- Room 7: 20 feet x 30 feet → 600 square feet
- Fellowship Hall: 43 feet x 48 feet → 2,064 square feet
- Kitchen: 22 feet x 26 feet → 572 square feet
- Lobby: 30 feet x 80 feet → 2,400 square feet
- Total of the above rooms → **6,236 square feet**

This proposed area of the building for child care use is 6,236 square feet, requiring 21 parking spaces. The cover letter states there “is a large parking lot with 238 spaces to allow parking for staff and visitors.” If the peak times are different for the child care center and church, it is anticipated the existing parking lot can handle the parking needs for both uses. The cover letter also states that: “Arrival and departure would be staggered and flow of traffic should not be disrupted.”

### *Signage*

Signs require sign permit review and are not approved under the site plan review process. The application shall indicate if any changes are proposed to the existing signage on the site and if so, indicate that “Signs are subject to sign permit review.” This detail is recommended as a condition of reviewing the Findings of Fact for this application.

### *Other Reviews*

The application is subject to review by other agencies including Metro Fire, building plan review, and State licensing agencies. If this application were to be approved, a condition of such approval may be included that all other agencies reviews must be completed and deemed compliant prior to the issuance of a Land Use Permit.

### ***Child Care Center Requirements***

Section 720 of the Zoning Ordinance outlines specific regulations and conditions for child care centers:

*Facility shall maintain all valid state and local licenses.*

- The cover letter states the “project will begin once approved and end as soon as we secure a license from the State of Michigan. The project could take anywhere between 6-12 months. Depending on upgrades, inspections and licensing process.” As previously stated, the application is subject to review by State licensing agencies.

*All outdoor areas used for the care and supervision of patrons shall have appropriate fencing for the safety of the children in the group day-care home; consisting of a minimum 6-foot high privacy fence along the area adjoining another residence, and a minimum 4-foot high fence in the remaining area devoted to the day-care area.*

- The cover letter states that the “proposed childcare center would be required by licensing to add a gated playground that includes at least [1,200] square feet.” The proposed playground area is seen on the Building Use Plan with the floor plan. The application shall include details of the playground area such as area of the playground space, dimensions and materials of the proposed fencing, and the location of any gates. This detail is recommended as a condition of reviewing the Findings of Fact for this application.
- The cover letter also states that the “property is set far enough back from the road and has enough space that there would be no nuisance to neighboring properties.” The proposed playground area is next to the building; there is an extensive tree buffer to the residence to the west.

*Hours of operation shall not exceed sixteen (16) hours during a 24-hour period. The Planning Commission shall not prohibit evening operations completely but may establish limitations on hours of operation and/or activities between the hours of 10PM and 6AM.*

- The application states that the proposed child care center “would be open during the business hours Monday-Friday 7:30-5:30.”

***Approval Criteria***

Child care centers are permitted via special use permit in the A-Agricultural zoning district. If the Planning Commission directs Staff to prepare the Findings of Fact for this application, the findings will be based on the Approval Criteria for special use permits in Section 423.E as well as the child care center requirements of Section 720 as stated above. According to Section 423.E, a special use is permitted only if the applicant demonstrates that:

- (1) The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district;
- (2) The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;
- (3) The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;
- (4) Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;
- (5) The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;
- (6) Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;
- (7) The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
- (8) The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;
- (9) Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;
- (10) Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and
- (11) The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

**ACTION REQUESTED:**

Following the presentation by the applicant and Commissioner discussion, if the Planning Commission is prepared to direct Staff to prepare Findings of Fact, then the following motion is offered for consideration:

MOTION TO direct staff to prepare Findings of Fact for application SUP-2024-03, submitted by Angel Care Child Care for a Special Use Permit for a child care center at Parcel 05-026-014-10 at 1514 Birmley Road, for the Planning Commission Regular Meeting on November 13, 2024, subject to the following additional information being provided by the applicant:

1. The application shall include details of the playground area such as area of the playground space, dimensions and materials of the proposed fencing, and the location of any gates.
2. The application shall indicate if any changes are proposed to the existing signage on the site and if so, indicate that “Signs are subject to sign permit review.”

Any additional information the Planning Commission deems necessary should be added to this motion.

**Attachments:**

1. Email from Applicant dated September 12, 2024
2. Special Use Permit Application dated August 20, 2024
3. Cover Letter dated August 22, 2024
4. Land Details dated November 1, 2022
5. Building Use Plan



## Steve Hannon

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**From:** Kimberly Lindsey <director@angelcarechildcare.org>  
**Sent:** Thursday, September 12, 2024 9:37 AM  
**To:** Steve Hannon  
**Subject:** Angel care special use permit

Good Morning this is Kim from Angel Care child care. I watched the live last night about the introduction of our special use permit. I will be at the public hearing on October 9th however I wanted to get the information over to you on the reasoning of why TC Christian stopped their application and how their application is different from ours. The reason they did not go through with their application is TC christian was proposing 100 children and we are proposing UP TP 60 due to the fact that we would need a sprinkler system install which would be over \$100,000 to install if we go over 60 children. Art Shaw is who we worked with from the fire department and told us that under 60 children would not need a sprinkler system and therefore would not have the cost that TC christian was going to accumulate by adding over 60 children. If you have any other questions please let me know. I would be happy to answer any questions. Thank you for everything and I hope you have a great day!





# Charter Township of Garfield

## Grand Traverse County

3848 VETERANS DRIVE  
TRAVERSE CITY, MICHIGAN 49684  
PH: (231) 941-1620 • FAX: (231) 941-1588

### SPECIAL USE PERMIT (SUP) APPLICATION

#### ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning and/or Zoning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

#### ACTION REQUESTED

- New Special Use Permit
- Major Amendment
- Minor Amendment
- Administrative Amendment

#### PROJECT / DEVELOPMENT NAME

Angel Care Child Care

#### APPLICANT INFORMATION

*Name:* Angel Care Childcare  
*Address:* 834 Hastings Street  
*Phone Number:* 231-933-3232  
*Email:* Director@angelcarechildcare.org

#### AGENT INFORMATION

*Name:* Kimberly Lindsey  
*Address:* 834 Hastings Street  
*Phone Number:* 231-933-3232  
*Email:* Director@angelcarechildcare.org

#### OWNER INFORMATION

*Name:* Church of the Living God  
*Address:* 1514 Birmley Rd Traverse City Mi 49686  
*Phone Number:* 1-231-947-7645  
*Email:* Info@clgonline.org

**CONTACT PERSON**

Please select one person to be contact person for all correspondence and questions:

<i>Applicant:</i>	Angel Care Child Care
<i>Agent:</i>	Kimberly Lindsey
<i>Owner:</i>	Church of the Living God

**PROPERTY INFORMATION**

<i>Property Address:</i>	1514 Birnley Road Traverse City Mi 49686	
<i>Property Identification Number:</i>	05-026-014-10	
<i>Legal Description:</i>	E 715' SE 1/4 NW1/4 SEC26 T27N R11 WEXCRDRDW	
<i>Zoning District:</i>	AGRI	
<i>Master Plan Future Land Use Designation:</i>		
<i>Area of Property (acres or square feet):</i>	21.302 Acres	
<i>Existing Use(s):</i>	Church	
<i>Proposed Use(s):</i>	Church and Child Care Center	

**PROJECT TIMELINE**

<i>Estimated Start Date:</i>	October 2024
<i>Estimated Completion Date:</i>	June 2025

**REQUIRED SUBMITTAL ITEMS**

A complete application for a Special Use Permit consists of the following:

Application Form:

- One original signed application
- One digital copy of the application (PDF only)

Application Fee:

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please make check out to Charter Township of Garfield.

- Fee

Escrow Fee:

Additional fees may be required if a review by independent professional help is deemed necessary by the Township. If required, such additional fees must be placed in escrow by the applicant in accordance with the escrow policies of the Township and prior to any further processing of this application. Any unused escrow funds shall be returned to the applicant. Please complete an Escrow and Review (ER) Application form.

Site Development Plan:

- Ten complete stapled 11"x17" paper sets (Administrative Amendments require one copy)
- Two complete bound 24"x36" paper sets
- One digital set (PDF only)

Written Information:

- Ten paper copies of the Approval Criteria (Administrative Amendments require one copy)
- One digital copy of the Approval Criteria (PDF only)
- Ten paper copies of the Impact Assessment (Administrative Amendments require one copy)
- One digital copy of the Impact Assessment (PDF only)

Digital items to be delivered via email or USB flash drive

SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

WAIVERS

Submittal Waiver:

At the discretion of the Director of Planning, a Site Development Plan may be waived in any of the following cases when it is determined that the submission would serve no useful purpose:

1. The erection or enlargement of an accessory structure;
2. The enlargement of a principal building by less than 20 percent of its existing gross floor area, provided such enlargement will not result in a requirement for additional off-street parking;
3. A change in principal use where such change would not result in an increase in impervious surface area, additional off-street parking, site access, other external site characteristics or a violation of this ordinance.

Data Waiver:

The Director of Planning may waive a particular element of information or data otherwise required for a Site Development Plan upon a finding that the information or data is not necessary to determine compliance with this ordinance or that such information or data would not bear on the decision of the approval authority.

SITE PLAN

Check that your site plan includes all required elements for a Site Development Plan (SDP). Please use the Required Site Plan Elements Checklist below.

APPROVAL CRITERIA

Indicate, on a separate sheet of paper, how the proposed special use will comply with, meet, or facilitate each of the following Approval Criteria from § 423.E of the Zoning Ordinance. The Planning Commission must determine that each of these criteria are satisfied in order to grant approval of a Special Use Permit. A special use is permitted only if the applicant demonstrates that: special use is permitted only if the applicant demonstrates that:

- The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district;

- The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;
- The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;
- Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;
- The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;
- Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;
- The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
- The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;
- Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;
- Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and
- The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

#### IMPACT ASSESSMENT

A written impact statement to include the following information:

- A written illustrative description of the environmental characteristics of the site prior to development, i.e., topography, soils, vegetative cover, drainage, streams, creeks or ponds.
- Types of uses and other man-made facilities.
- The number of people to be housed, employed, visitors or patrons and vehicular and pedestrian traffic.
- Phasing of the project including ultimate development proposals.
- Natural features which will be retained, removed and/or modified including vegetation, drainage, hillsides, streams wetlands, woodlands, wildlife and water. The description of the areas to be changed shall include their effect on the site and adjacent properties. An aerial photo may be used to delineate the areas of change.
- The method to be used to serve the development with water and sanitary sewer facilities.
- The method to be used to control drainage on the site and from the site. This shall include runoff control during periods of construction.
- If the public sewers are not available to the site, the Applicant shall submit a current approval from the Health Department or other responsible public agency indicating approval of plans for sewage treatment.

- The method to be used to control any increase in effluent discharge to the air or any increase in noise level emanating from the site. Consideration of any nuisance that would be created within the site or external to the site whether by reason of dust, noise, fumes vibration, smoke or lights.
- An indication of how the proposed use conforms with existing and potential development patterns and any adverse effects.
- The proposed density in units per acre for residential developments.
- Name(s) and address(es) of person(s) responsible for preparation of statement.
- Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from the County Soil Erosion and Sedimentation office.
- Type, direction, and intensity of outside lighting.
- General description of deed restrictions, if any.

**ADDITIONAL INFORMATION**

If applicable, provide the following further information:

	<u>Yes</u>	<u>No</u>	<u>Not Applicable</u>
<b>A. <u>Sanitary Sewer Service</u></b>			
1. Does project require extension of public sewer line?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Will a community wastewater system be installed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If yes, provide construction plans and specifications			
3. Will on-site disposal be used?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, is it depicted on plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>B. <u>Water Service</u></b>			
1. Does project require extension of public water main?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Will a community water supply be installed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If yes, provide construction plans and specifications			
<b>C. <u>Public utility easements required?</u></b>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, show on plan.			
<b>D. <u>Stormwater Review/Soil Erosion</u></b>			
1. Soil Erosion Plans approved by Soil Erosion Office?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If so, attach approval letter.			
If no, are alternate measures shown?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Stormwater Plans approved by Township Engineer?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If so, attach approval letter.			
If no, are alternate measures shown?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Note: Alternate measures must be designed and sealed by a registered Engineer.			

E. Roads and Circulation

- |   |                          |                                     |                                     |
|---|--------------------------|-------------------------------------|-------------------------------------|
| 1. Are interior public streets proposed?                                  | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| If yes, has Road Commission approved (attach letter)?                     | <input type="checkbox"/> | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 2. Will public streets connect to adjoining properties or future streets? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 3. Are private roads or interior drives proposed?                         | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 4. Will private drives connect to adjoining properties service roads?     | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 5. Has the Road Commission or MDOT approved curb cuts?                    | <input type="checkbox"/> | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| If yes, attach approved permit.   |                          |                                     |                                     |

OTHER INFORMATION

If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

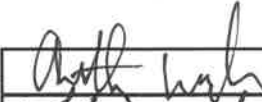
REVIEW PROCESS

- Upon submittal of this application, Staff will review the materials submitted and will, within ten (10) working days, forward a determination of completeness to the applicant. If the submission is incomplete or noncompliant with the Zoning Ordinance, it will be returned to the applicant for revision. Once the submission is revised, Staff will again review it for completeness and again forward a determination to the applicant within ten (10) working days. This procedure shall be repeated until a complete submission is received.
- Once the application is deemed to be complete and submitted according to the application deadlines, it will be forwarded to the Planning Commission for review. The Planning Commission will determine if the application is complete and schedule a public hearing.
- Upon holding a public hearing, the Planning Commission may approve, approve with conditions, or deny the proposed special use.
- If approved or approved with conditions, the decision of the Planning Commission shall be incorporated into a written report and decision order.

PERMISSION TO ENTER SUBJECT PROPERTY

Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Owner Signature:



Applicant Signature:



Agent Signature:



Date:

8/20/24



OWNER'S AUTHORIZATION

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We Church of the Living God authorize to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner Signature:

*Anthony Wehr*

Date:

*8/20/24*

AFFIDAVIT

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application and all of the information submitted in this application, including any supplemental information, is in all respects true and correct. The undersigned further acknowledges that willful misrepresentation of information will terminate this permit application and any permit associated with this document.

Owner Signature:

*Anthony Wehr*

Date:

*8/20/24*

Applicant Signature:

*Kimmy Long*

Date:

*8-20-24*

<b>Required Site Plan Elements Checklist (See § 956 of the Zoning Ordinance)</b> Site Diagram (SD) / Administrative Site Plan (ASP) / Site Development Plan (SDP)	SD	ASP/ SDP
<b>A. Basic Information</b>		
1. Applicant's name, address, telephone number and signature	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
2. Property owner's name, address, telephone number and signature	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Proof of property ownership	<input type="checkbox"/>	<input type="checkbox"/>
4. Whether there are any options or liens on the property	<input type="checkbox"/>	<input type="checkbox"/>
5. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent	<input type="checkbox"/>	<input type="checkbox"/>
6. The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage	<input type="checkbox"/>	<input type="checkbox"/>
7. A vicinity map showing the area and road network surrounding the property		<input type="checkbox"/>
8. Name, address and phone number of the preparer of the site plan	<input type="checkbox"/>	<input type="checkbox"/>
9. Project title or name of the proposed development	<input type="checkbox"/>	<input type="checkbox"/>
10. Statement of proposed use of land, project completion schedule, any proposed development phasing	<input type="checkbox"/>	<input type="checkbox"/>
11. Land uses and zoning classification on the subject parcel and adjoining parcels	<input type="checkbox"/>	<input type="checkbox"/>
12. Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as their name, address and telephone number		<input type="checkbox"/>
<b>B. Site Plan Information</b>		
1. North arrow, scale, and date of original submittal and last revision	<input type="checkbox"/>	<input type="checkbox"/>
2. Boundary dimensions of natural features		<input type="checkbox"/>
3. Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%), beach, drainage, and similar features		<input type="checkbox"/>
4. Proposed alterations to topography and other natural features		<input type="checkbox"/>
5. Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18%		<input type="checkbox"/>
6. Soil erosion and sediment control measures as required by the Grand Traverse County Soil Erosion Department.	<input type="checkbox"/>	<input type="checkbox"/>
7. The location, height and square footage of existing and proposed main and accessory buildings, and other existing structures		<input type="checkbox"/>
8. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state or federal government authorities		<input type="checkbox"/>
9. Proposed finish floor and grade line elevations of any structures <i>*Required only for habitable construction within the floodplain on site diagrams and administrative site plans.</i>	<input type="checkbox"/> *	<input type="checkbox"/>
10. Existing and proposed driveways, including parking areas	<input type="checkbox"/>	<input type="checkbox"/>
11. Neighboring driveways and other vehicular circulation features adjacent to the site		<input type="checkbox"/>
12. A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared parking areas	<input type="checkbox"/>	<input type="checkbox"/>
13. Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks		<input type="checkbox"/>
14. Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features within and adjacent to the site		<input type="checkbox"/>
15. Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes		<input type="checkbox"/>
16. Location of neighboring structures that are close to the parcel line or pertinent to the proposal		<input type="checkbox"/>
17. Location of water supply lines and/or wells	<input type="checkbox"/>	<input type="checkbox"/>
18. Location of sanitary sewer lines and/or sanitary sewer disposal systems	<input type="checkbox"/>	<input type="checkbox"/>
19. Location, specifications, and access to a water supply in the event of a fire emergency		<input type="checkbox"/>
20. Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention ponds, swales, wastewater lines, clean out locations, connection points and treatment systems		<input type="checkbox"/>
21. A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam		<input type="checkbox"/>
22. A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections		<input type="checkbox"/>
23. A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used		<input type="checkbox"/>
24. Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences, walls, trash receptacle screening, and other screening features with cross sections shown		<input type="checkbox"/>
25. A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as, its typical size by general location or range of sizes as appropriate		<input type="checkbox"/>
26. Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities, and on the natural environment on and adjacent to the site)		<input type="checkbox"/>
27. Changes or modifications required for any applicable regulatory agencies' approvals		<input type="checkbox"/>

August 22, 2024

To Whom It May Concern,

Angel Care Childcare, in partnership with Church of the Living God, would like to propose a change in the use of property 1514 Brimley Road. Currently the Church of the Living God. meets at this building, we would like to add an Early Childhood Childcare Center to include ages Birth-12 years old. The Childcare center would be open during the business hours Monday-Friday 7:30-5:30. We hope to have up to 60 children in the center and 15+ staff members.

We are proposing exterior doors have to be added to the classrooms to create a safe fire exit as required by the fire inspector for children within the classroom. A few cosmetic and or equipment upgrades and minor renovations. The property is set far enough back from the road and has enough space that there would be no nuisance to neighboring properties. Arrival and departure would be staggered and flow of traffic should not be disrupted. There is a large parking lot with 238 spaces to allow parking for staff and visitors. Drive through for drop off/pick up is available for all families. The prosed childcare center would be required by licensing to add a gated playground that includes at least 1,2000 square feet. The building was originally intended and has been previously used to service students and employee staff in education environment.

The project will begin once approved and end as soon as we secure a license from the State of Michigan. The project could take anywhere between 6-12 months. Depending on upgrades, inspections and licensing process.

Thank you for your consideration,



Kimberly Lindsey  
Executive Director  
Angle Care Childcare  
Traverse city MI 49686  
834 Hastings street  
231-933-3232



Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.
AUTNER RALPH & MARY	CHURCH OF THE LIVING GOD	26,740	09/04/2003	WD	16-LC PAYOFF	2004/603	BUYER/SELLER	0.0
AUTNER RALPH & MARY	CHURCH OF THE LIVING GOD	26,740	09/06/1996	LC	03-ARM'S LENGTH	1118/299	BUYER/SELLER	0.0

Property Address	Class: COMMERCIAL-IMPROV	Zoning: A GRI	Building Permit(s)	Date	Number	Status
1514 BIRMLEY RD	School: TRAVERSE CITY SCHOOL DIST.		Com Add/Alter/Repair	10/19/2007	PB2007.192	
Owner's Name/Address	P.R.E. 0%		Com Add/Alter/Repair	10/15/2007	PZ2007-134	
CHURCH OF THE LIVING GOD 1514 BIRMLEY RD TRAVERSE CITY MI 49696-8817	MAP #: 2600			08/26/1997	PB1997.181	
	2023 Est TCV Tentative		ADDITION/ALTERATION	/ /	181-97	C.O. ISSUE

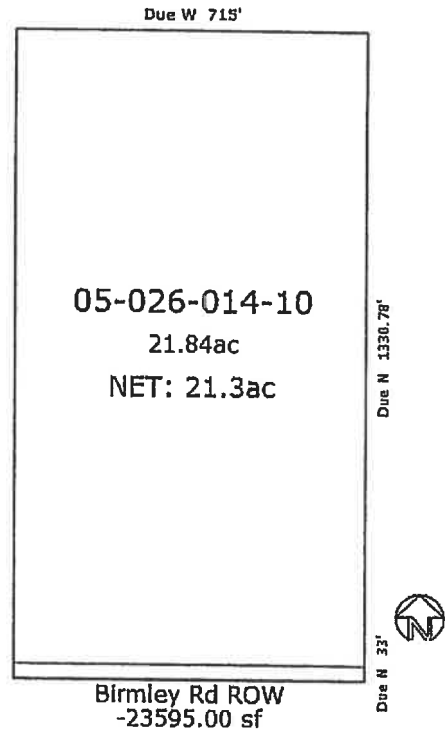
Tax Description	X	Improved		Vacant	Land Value Estimates for Land Table 23000.23000 GARFIELD RD AREA									
		Public	Improvements		Description	Frontage	Depth	Front	Depth	Rate	%Adj.	Reason	Value	
E 715' SE1/4 NW1/4 SEC 26 T27N R11W EXC RD ROW					* Factors *									
					<Site Value D>					0	100			0
					GARFIELD PCLS > 25AC	21.302	Acres	14,439	100					307,588
					715 Actual Front Feet, 21.84 Total Acres			23595	SqFt	0.00000	100			0
														Total Est. Land Value = 307,588
6/20/18 SABRINA-MILLER CUSTOM HOMES (231-645-4772) WANTED TO KNOW ABOUT SPLITTING PARCEL. 5 DIVISIONS AVAIL. LM. ALD					Land Improvement Cost Estimates									
					Description					Rate	Size	% Good		Cash Value
					D/W/P: 4in Concrete	6.62		5368		66				23,454
					Wood Frame	26.81		96		76				1,956
					Ad-Hoc Unit-In-Place Items									
					Description					Rate	Size	% Good		Cash Value
					/CI16/SUBDC/RESSI/STRI/PAVACSA	1.54		97258		72				107,839
					Total Estimated Land Improvements True Cash Value = 133,249									



The Equalizer. Copyright (c) 1999 - 2009. Licensed To: Township of Garfield, County of Grand Traverse, Michigan

Topography of Site				Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value
Level	Rolling	Low	High	2023	EXEMPT	EXEMPT	EXEMPT			EXEMPT
Landscaped	Swamp	Wooded	Pond	2022	EXEMPT	EXEMPT	EXEMPT			EXEMPT
Waterfront	Ravine	Wetland	Flood Plain	2021	0	0	0			0
				2020	0	0	0			0

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*



Sketch by Apex Sketch

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*

Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins		(15) Fireplaces		(16) Porches/Decks		(17) Garage	
X	Single Family Mobile Home Town Home Duplex A-Frame	X	Eavestrough Insulation 0 Front Overhang 0 Other Overhang	X	Gas Wood	Oil Coal	Elec. Steam	1	Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl. Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System	Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Ga	Area	Type	Year Built: Car Capacity: Class: Exterior: Brick Ven.: Stone Ven.: Common Wall: Foundation: Finished?: Auto. Doors: Mech. Doors: Area: % Good: Storage Area: No Conc. Floor:	
X	Wood Frame	X	Drywall Paneled		Plaster Wood T&G									
Building Style: RANCH		Trim & Decoration		X Ex			Ord	Min	Class: CD Effec. Age: 16 Floor Area: 800 Total Base New : 113,667 Total Depr Cost: 95,481 Estimated T.C.V: 95,481		E.C.F. X 1.000		Bsmnt Garage: Carpport Area: 960 Roof: Comp.Shingle	
Yr Built	Remodeled	Size of Closets		X Lg			Ord	Small	Total Base New : 113,667		E.C.F.		Bsmnt Garage:	
2007	MOD 0	Doors		X Solid			X H.C.		Total Depr Cost: 95,481		X 1.000		Carpport Area: 960	
Condition: Average		(5) Floors		Central Air Wood Furnace			(12) Electric		Total Base New : 113,667		E.C.F.		Bsmnt Garage:	
Room List		Kitchen:		200 Amps Service			No./Qual. of Fixtures		Total Depr Cost: 95,481		X 1.000		Roof: Comp.Shingle	
	Basement 1st Floor 2nd Floor 3 Bedrooms	Other: Carpeted Other:		No. of Elec. Outlets			X Ex		Ord	Min	Total Base New : 113,667		Roof: Comp.Shingle	
(1) Exterior		(6) Ceilings		X Many			Ave	Few	Total Depr Cost: 95,481		X 1.000		Roof: Comp.Shingle	
X	Wood/Shingle Aluminum/Vinyl Brick	X Drywall		(13) Plumbing			Average Fixture(s)		Total Depr Cost: 95,481		X 1.000		Roof: Comp.Shingle	
X	Insulation	(7) Excavation		1			3 Fixture Bath 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan	Total Depr Cost: 95,481		X 1.000		Roof: Comp.Shingle		
(2) Windows		Basement: 0 S.F. Crawl: 800 S.F. Slab: 0 S.F. Height to Joists: 0.0		(14) Water/Sewer			1 Public Water 1 Public Sewer Water Well 1000 Gal Septic 2000 Gal Septic		Total Depr Cost: 95,481		X 1.000		Roof: Comp.Shingle	
X	Many Avg. Few	X	Large Avg. Small	(8) Basement			Lump Sum Items:		Total Depr Cost: 95,481		X 1.000		Roof: Comp.Shingle	
X	Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens	8 Conc. Block Poured Conc. Stone Treated Wood Concrete Floor		(9) Basement Finish			Recreation SF Living SF Walkout Doors No Floor SF		Total Depr Cost: 95,481		X 1.000		Roof: Comp.Shingle	
(3) Roof		(10) Floor Support		Joists: Unsupported Len: Cntr.Sup:			Notes: ECF (2960 HAMMOND ASHLAND HEIDBREDER) 1.000 => TCV: 95,481		Total Depr Cost: 95,481		X 1.000		Roof: Comp.Shingle	
X	Gable Hip Flat	Gambrel Mansard Shed	Chimney:		Notes: ECF (2960 HAMMOND ASHLAND HEIDBREDER) 1.000 => TCV: 95,481			Total Depr Cost: 95,481		X 1.000		Roof: Comp.Shingle		
X	Asphalt Shingle	Chimney:		Notes: ECF (2960 HAMMOND ASHLAND HEIDBREDER) 1.000 => TCV: 95,481			Total Depr Cost: 95,481		X 1.000		Roof: Comp.Shingle		Roof: Comp.Shingle	

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*

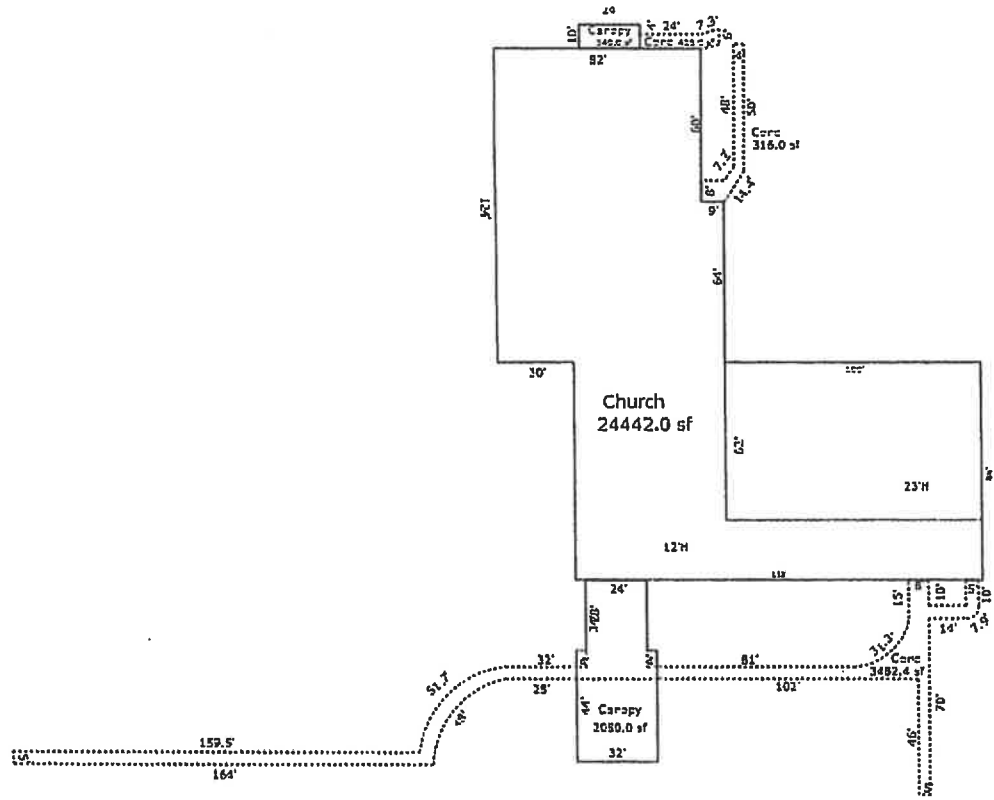
Desc. of Bldg/Section: CHURCH Calculator Occupancy: Religious Buildings - Churches With Sunday S		<<<<< Calculator Cost Computations >>>>>	
Class: C Floor Area: 24,442 Gross Bldg Area: 25,942 Stories Above Grd: 1 Average Sty Hght : 15 Bsmnt Wall Hght		Class: C Quality: Average Stories: 1 Story Height: 15 Perimeter: 801 Overall Building Height: 23 Base Rate for Upper Floors = 152.58	
Depr. Table : 2% Effective Age : 26 Physical %Good: 59 Func. %Good : 100 Economic %Good: 100		(10) Heating system: Complete H.V.A.C. Cost/SqFt: 52.72 100% Adjusted Square Foot Cost for Upper Floors = 205.30	
1997 Year Built Remodeled 23 Overall Bldg Height		Total Floor Area: 24,442 Base Cost New of Upper Floors = 5,017,942 24,442 Sq.Ft. of Sprinklers @ 3.68, Cost New = 89,947	
Comments:		Reproduction/Replacement Cost = 5,107,889 Eff.Age:26 Phy.%Good/Abnr.Phy./Func./Econ./Overall %Good: 59 /100/100/100/59.0 Total Depreciated Cost = 3,013,655	
(1) Excavation/Site Prep:		Unit in Place Items	
(2) Foundation:		Rate Quantity Arch %Good Depr.Cost	
X Poured Conc Brick/Stone Block		/CI16/YARI/PATR/WOOIBCA 15.42 2080 1.00 59 18,923 /CI16/YARI/PATR/ALUOSBEA 10.80 68 1.00 59 433	
(3) Frame:		ECF (2960 HAMMOND ASHLAND HEIDBREDER) 1.031 => TCV of Bldg: 1 = 3,127,034 Replacement Cost/Floor Area= 210.32 Est. TCV/Floor Area= 127.94	
(4) Floor Structure:		(7) Interior:	
(5) Floor Cover:		(8) Plumbing:	
(6) Ceiling:		(9) Sprinklers:	
		(10) Heating and Cooling:	
		(11) Electric and Lighting:	
		(12) Roof Structure: Slope=0	
		(13) Roof Cover:	
		(14) Roof Cover:	
		(39) Miscellaneous:	
		(40) Exterior Wall:	

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*



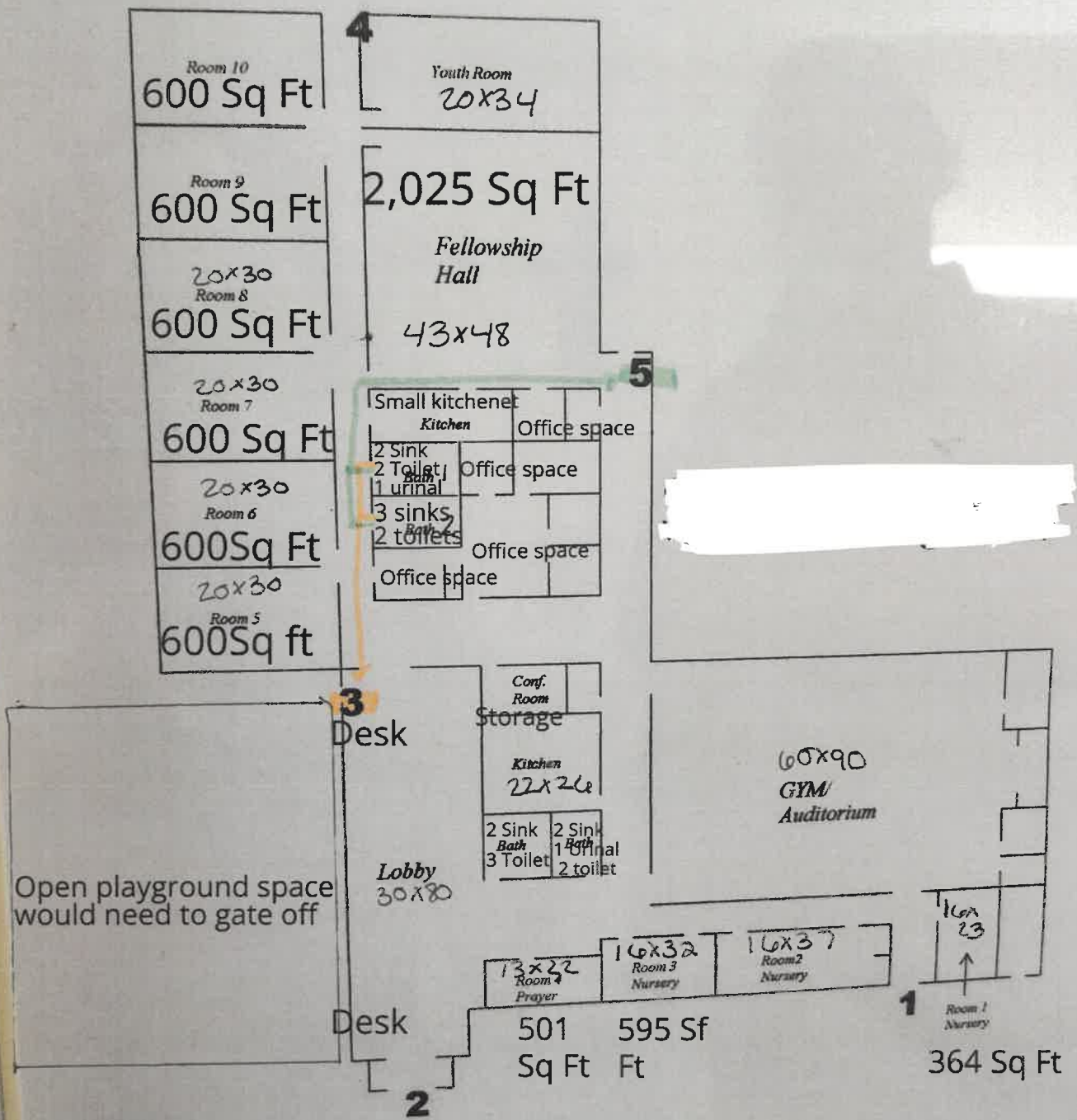
<p>Desc. of Bldg/Section:                  Calculator Occupancy: Warehouses - Storage</p> <p>Class: D, Pole                  Floor Area: 1,500                  Gross Bldg Area: 25,942                  Stories Above Grd: 1                  Average Sty Hght : 14                  Bsmnt Wall Hght</p> <p>Depr. Table : 2.5%                  Effective Age : 16                  Physical %Good: 67                  Func. %Good : 100                  Economic %Good: 100</p> <p>2007 Year Built                  Remodeled</p> <p>14 Overall Bldg                  Height</p> <p>Comments:</p>		<p style="text-align: center;">&lt;&lt;&lt;&lt;&lt; Calculator Cost Computations &gt;&gt;&gt;&gt;&gt;</p> <p>Class: D, Pole Quality: Average                  Stories: 1 Story Height: 14 Perimeter: 160                  Overall Building Height: 14</p> <p>Base Rate for Upper Floors = 52.81</p> <p>(10) Heating system: Space Heaters, Gas with Fan Cost/SqFt: 6.01 100%                  Adjusted Square Foot Cost for Upper Floors = 58.82</p> <p>Total Floor Area: 1,500 Base Cost New of Upper Floors = 88,230</p> <p>Reproduction/Replacement Cost = 88,230                  Eff. Age: 16 Phy. %Good/Abnr. Phy./Func./Econ./Overall %Good: 67 /100/100/100/67.0                  Total Depreciated Cost = 59,114</p> <p>ECF (2960 HAMMOND ASHLAND HEIDBREDER) 1.031 =&gt; TCV of Bldg: 2 = 60,947                  Replacement Cost/Floor Area= 58.82 Est. TCV/Floor Area= 40.63</p>													
<p>Construction Cost</p> <table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width:15%;">High</td> <td style="width:15%;">Above Ave.</td> <td style="width:15%;">Ave.</td> <td style="width:15%;">X</td> <td style="width:15%;">Low</td> </tr> </table> <p>Quality: Average                  Heat#1: Space Heaters, Gas with Fan 100                  Heat#2: Space Heaters, Gas with Fan 0%                  Ave. SqFt/Story: 1500                  Ave. Perimeter: 160                  Has Elevators:</p> <p style="text-align: center;">*** Basement Info ***</p> <p>Area:                  Perimeter:                  Type:                  Heat: Hot Water, Radiant Floor</p> <p style="text-align: center;">* Mezzanine Info *</p> <p>Area #1:                  Type #1:                  Area #2:                  Type #2:</p> <p style="text-align: center;">* Sprinkler Info *</p> <p>Area:                  Type: Low</p>		High	Above Ave.	Ave.	X	Low	<p>(1) Excavation/Site Prep:</p> <p>(2) Foundation:</p> <table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width:33%;">X Poured Conc</td> <td style="width:33%;">Brick/Stone</td> <td style="width:33%;">Block</td> </tr> </table> <p>(3) Frame:</p> <p>(4) Floor Structure:</p> <p>(5) Floor Cover:</p> <p>(6) Ceiling:</p>		X Poured Conc	Brick/Stone	Block				
High	Above Ave.	Ave.	X	Low											
X Poured Conc	Brick/Stone	Block													
<p>(7) Interior:</p> <p>(8) Plumbing:</p> <table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width:33%;">Many Above Ave.</td> <td style="width:33%;">Average Typical</td> <td style="width:33%;">Few None</td> </tr> </table> <p>Total Fixtures                  3-Piece Baths                  2-Piece Baths                  Shower Stalls                  Toilets</p> <p>Urinals                  Wash Bowls                  Water Heaters                  Wash Fountains                  Water Softeners</p> <p>(9) Sprinklers:</p> <p>(10) Heating and Cooling:</p> <table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width:33%;">Gas Oil</td> <td style="width:33%;">Coal Stoker</td> <td style="width:33%;">Hand Fired Boiler</td> </tr> </table>		Many Above Ave.	Average Typical	Few None	Gas Oil	Coal Stoker	Hand Fired Boiler	<p>(11) Electric and Lighting:</p> <table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width:50%;">Outlets:</td> <td style="width:50%;">Fixtures:</td> </tr> <tr> <td>Few Average Many Unfinished Typical</td> <td>Few Average Many Unfinished Typical</td> </tr> <tr> <td>Flex Conduit Rigid Conduit Armored Cable Non-Metalic Bus Duct</td> <td>Incandescent Fluorescent Mercury Sodium Vapor Transformer</td> </tr> </table> <p>(13) Roof Structure: Slope=0</p> <p>(14) Roof Cover:</p>		Outlets:	Fixtures:	Few Average Many Unfinished Typical	Few Average Many Unfinished Typical	Flex Conduit Rigid Conduit Armored Cable Non-Metalic Bus Duct	Incandescent Fluorescent Mercury Sodium Vapor Transformer
Many Above Ave.	Average Typical	Few None													
Gas Oil	Coal Stoker	Hand Fired Boiler													
Outlets:	Fixtures:														
Few Average Many Unfinished Typical	Few Average Many Unfinished Typical														
Flex Conduit Rigid Conduit Armored Cable Non-Metalic Bus Duct	Incandescent Fluorescent Mercury Sodium Vapor Transformer														
<p>(39) Miscellaneous:</p> <p>(40) Exterior Wall:</p> <table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width:60%;">Thickness</td> <td style="width:40%;">Bsmnt Insul.</td> </tr> </table>		Thickness	Bsmnt Insul.												
Thickness	Bsmnt Insul.														

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*



Sketch by Арен Sketch

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*



Rooms used for childcare

Room 6 - Infants holding 12 children

Room 7- Toddlers holding 12 children

Fellowship hall- holding 17 children- Or Rooms 8 holding 17 children


A playground of at least 1,200 square feet will be added outside next to the lobby entrance.

Non numbered rooms used

Kitchen will be used for food program

Offices, bathrooms, and lobby will be used for church and childcare

Parking lot, entrance/exit, playground and all grounds will be used for church and childcare

 <b>Charter Township of Garfield</b> <b>Planning Department Report No. 2024-80</b>			
Prepared:	October 2, 2024	Pages:	7
Meeting:	October 9, 2024 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	French Manor LaFranier Special Use Permit Major Amendment – Findings of Fact		
File No.	SUP-1990-07-A	Parcel No.	05-014-072-10
Applicant:	Burdco, Inc. / Dan Brown		
Agent:	Machin Engineering / Eric Sandmann		
Owner:	R&K Ackerman, LLC		

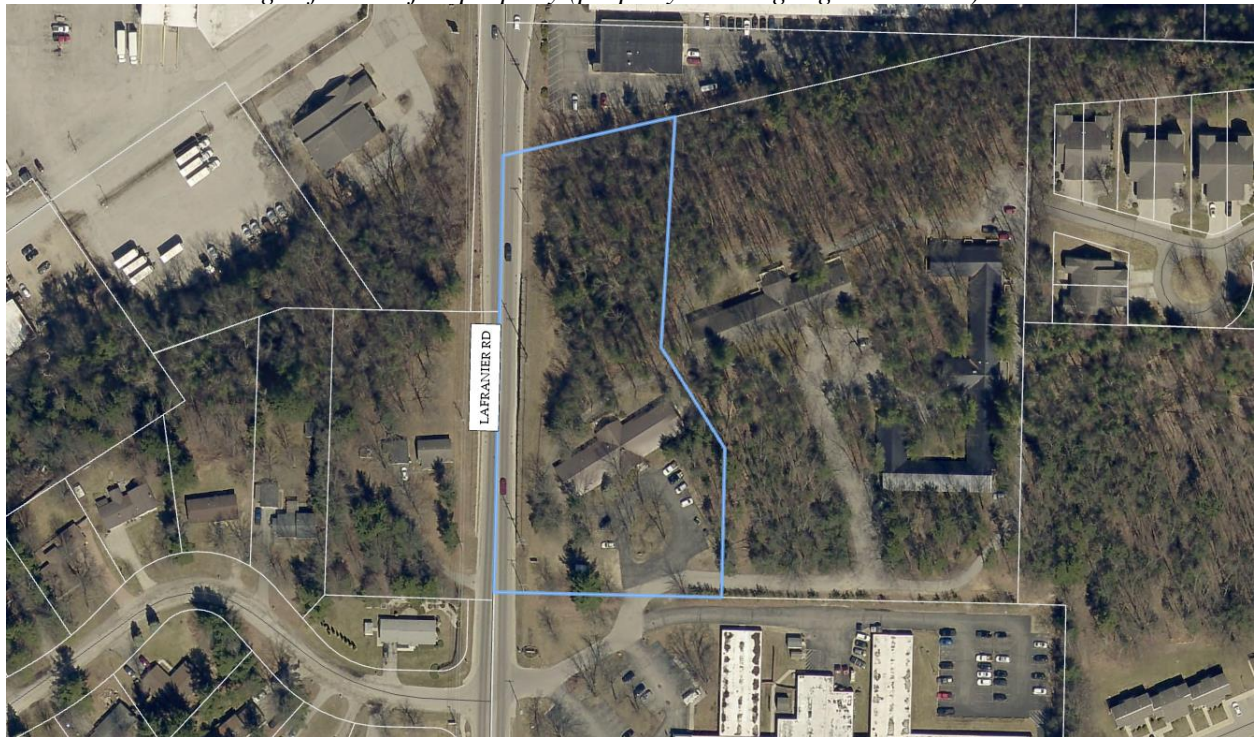
**BRIEF OVERVIEW:**

- 3090 LaFranier Road – east side of LaFranier Road, south of South Airport Road
- Approximately 2.74 acres in area
- Existing adult foster care facility
- R-3 - Multi-Family Residential zoning district

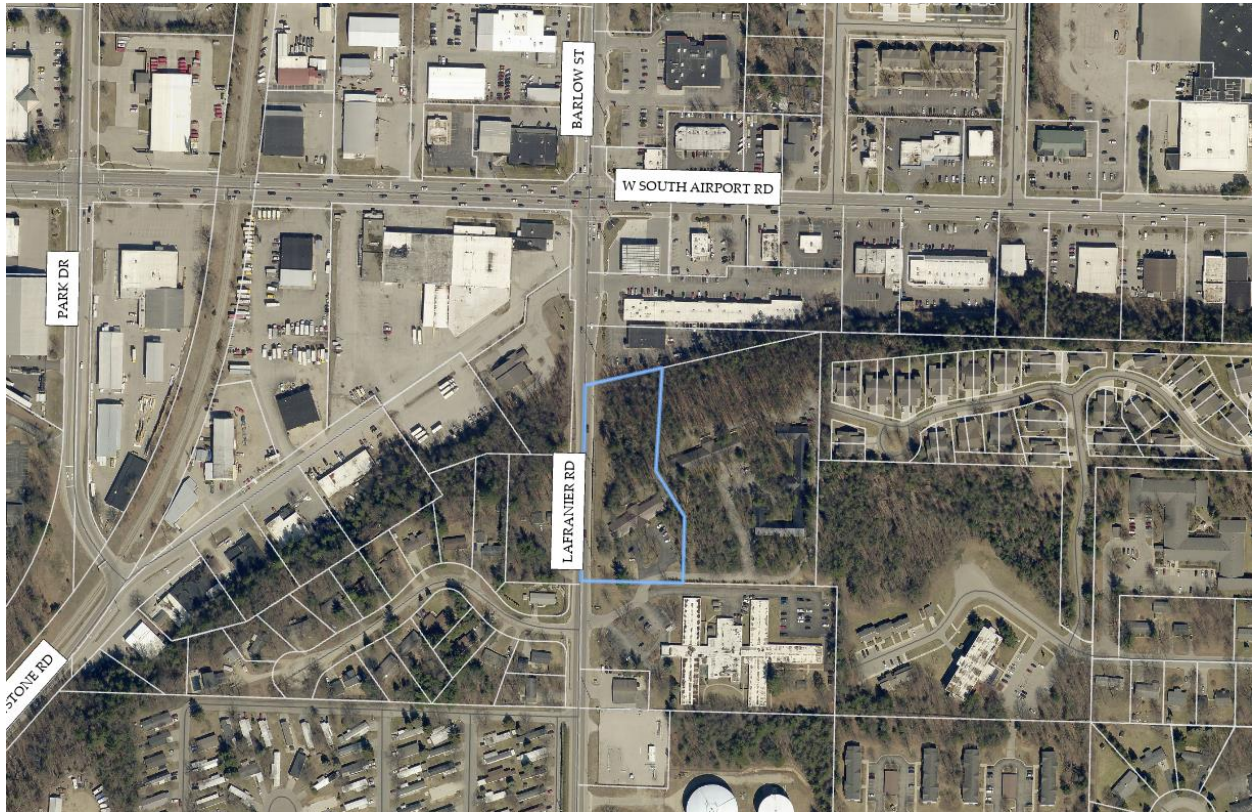
**PURPOSE OF APPLICATION:**

This application is requesting a Special Use Permit (SUP) for expansion of French Manor LaFranier, an existing 6,410-square-foot adult foster care facility at 3090 LaFranier Road. The facility expansion consists of a 1,472-square-foot building addition and a 2,176-square-foot building addition for a total of 3,648 square feet. Aerial images of the site are shown below.

*Zoomed-in aerial image of the subject property (property lines highlighted in blue):*



*Zoomed-out aerial image of the subject property (property lines highlighted in blue):*



**SITE DESIGN AND ZONING COMPLIANCE OVERVIEW:**

In approving any special use permit pursuant to Section 423, the Planning Commission may impose such reasonable standards, conditions, or requirements, in addition to or that supersede any standard specified in this ordinance, as it may deem necessary to protect the public interest and welfare. Such additional standards may include, but need not be limited to:

- a) Financing
- b) Availability of adequate public facilities or services
- c) Dedication of land
- d) Reservation of land
- e) Creation of special assessment districts
- f) Creation of restrictive covenants or easements
- g) Special setbacks
- h) Yard requirements
- i) Increased screening or landscaping requirements
- j) Area requirements
- k) Development phasing; or
- l) Standards pertaining to traffic, circulation, noise, lighting, hours of operation, protection of environmentally sensitive areas, and similar characteristics.

**STAFF COMMENTS:**

Staff offers the following comments regarding site design and compliance with the Zoning Ordinance:

*Ingress and Egress*

The subject parcel has an address of 3090 LaFranier Road but does not have direct access to the road. Ingress and egress for the site is provided by a private drive easement from LaFranier Road that serves the subject property and adjacent properties to the south and east. The applicant provided a summary of the existing private drive easement which indicates that the proposed site improvements will not overburden the private drive easement.

*Parking*

Parking requirement for nursing and convalescent homes is a minimum parking ratio of 1 space for 4 beds = 5 spaces and a maximum parking ratio of 1 space for 2 beds = 10 spaces. 9 total spaces are provided.

*Sidewalks*

Sidewalks are proposed on the site. Due to the severe topography along LaFranier Road, pedestrian access to the site directly from the road is not feasible.

*Landscaping*

A landscaping plan has been submitted with the revised site plan. The site contains an extensive number of existing trees and shrubs. The landscaping plan provides and an inventory of the existing plantings and how the plantings fulfill credit requirements as provided for in Section 530.L of the Zoning Ordinance:

<b><i>Greenspace (Length) – Buffer Type</i></b>	<b><i>Amount Required</i></b>	<b><i>Amount Credited/Provided</i></b>
North (170 feet) – Type C buffer	6 large trees 6 med/small trees 2 evergreens	18 existing large trees 14 existing med/small trees 2 existing evergreens 24 existing shrubs
East (550 feet) – Type B buffer	12 large trees 6 med/small trees 24 shrubs	20 existing large trees 10 existing med/small trees 24 existing shrubs
South (230 feet) – Type B buffer	4 large trees 2 med/small trees 8 shrubs	5 existing large trees 6 existing med/small trees 8 existing shrubs
West (500 feet) – Type C buffer	15 large trees 15 med/small trees 5 evergreens	36 existing large trees 18 existing med/small trees 5 existing evergreens

*Lighting*

A photometric plan has been submitted with the revised site plan. The lighting standards of Section 517 of the Zoning Ordinance are described by the following:

<b><i>Zoning Ordinance Lighting Standard</i></b>	<b><i>Subject Site</i></b>
A. <i>Applicability</i> – All outdoor lighting shall be installed in conformance with the provisions of this section. Certain light fixtures exempt from this section include decorative lighting, public streetlights, emergency lights, nonconforming existing lights, neon, and flag lighting.	None of these exceptions are expected to apply to this site, so all lighting for this site is subject to the requirements of this section.

<i>Zoning Ordinance Lighting Standard</i>	<i>Subject Site</i>
<i>B. Shielding and Filtration</i> – Lighting fixtures shall provide glare free area beyond the property line and light shall be confined to the lot from which it originates. All fixtures shall have full cut-off and shall not direct light upwards. Light sources shall be located, and light poles shall be coated, to minimize glare.	The fixtures as proposed meet this requirement.
<i>C. Illumination</i> – Average illumination levels shall not exceed 3.0 foot-candles for the main parking area, 2.0 foot-candles for the peripheral parking area, 5.0 foot-candles for the main drive areas, and 20.0 foot-candles directly below the lighting fixture. Illumination shall also not exceed 1.0 foot-candles adjoining another nonresidential zoning district along a local street or property line. Average lighting values ranging from 0.5 to 1.5 foot-candles are recommended.	The fixtures as proposed meet this requirement.
<i>D. Color Temperature</i> – All proposed lamps shall emit light measuring 3,500 K or warmer on the Kelvin scale.	The fixtures as proposed are 3,000 K and meet this requirement.
<i>E. Prohibitions</i> – Prohibitions include mercury-vapor or metal halide fixture and lamps, laser source lights, searchlights, or any light that does not meet shielding and illumination standards.	None of these prohibitions apply to this site.
<i>F. Pole Height</i> – All pole-mounted lighting shall not exceed the maximum permitted height of the zoning district.	Fixtures are proposed to be mounted at 15 feet in height which conform to the maximum permitted height of 40 feet in the R-3 district.

*Snow Storage*

Snow storage is to be provided at the ratio of ten (10) square feet per one hundred (100) square feet of parking area. Snow storage areas have been identified and meet the minimum requirements.

*Dumpster Enclosure*

One dumpster enclosure is proposed. The revised site plan shows a revised detail for the proposed enclosure that appears to meet the requirements of Section 516 of the Zoning Ordinance. The proposed gates on the enclosure described as “tube rail gates w/vertical cedar slats” are acceptable provided they are 100% opaque. Also, the color of the dumpster enclosure shall match the principal structure.

*Other Reviews*

The application is subject to additional reviews, including but not limited to the Township Engineer and Metro Fire. Sewer and water utility improvements and stormwater improvements will be reviewed by the Township Engineer. Escrow for these reviews is needed as determined by the Township Engineer. Signs are reviewed by the Township Zoning Administrator.



**FINDINGS OF FACT:**

At its September 11, 2024 meeting, the Planning Commission unanimously passed a motion directing Staff to prepare Findings of Fact for the application, which are provided below for your consideration.

A special use is permitted only if the applicant demonstrates that:

(1) The proposed use will be consistent with the purpose and intent of the master plan and this Ordinance, including all regulations of the applicable zoning district;

*The Planning Commission may find this standard to be **MET** for the following reasons:*

- The Master Plan identifies the site as High Density Residential on the Future Land Use map.
- The site is zoned R-3 Multi Family Residential. An adult foster care facility is permitted via Special Use Permit in the R-3 Multi Family Residential district.
- The site will be able to meet all regulations of the R-3 zoning district.

(2) The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious, and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;

*The Planning Commission may find this standard to be **MET** for the following reasons:*

- The site is adjacent to other compatible adult foster care facilities located in the vicinity.
- The site is heavily wooded with existing trees that buffer the facility from neighboring uses. The proposed additions will not significantly impact the wooded areas.

(3) The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;

*The Planning Commission may find this standard to be **MET** for the following reasons:*

- No nuisances or hazards are expected to be generated.
- The proposed lighting and photometric plan address all lighting requirements of the Ordinance.

(4) Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;

*The Planning Commission may find this standard to be **MET** for the following reasons:*

- The placement of the building and the parking have been made in a way that will minimize any impact on adjacent properties. Plus, there is a significant amount of natural buffer to the north and west.
- Setback and landscaping requirements have been met.

(5) The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;

*The Planning Commission may find this standard to be **MET** for the following reasons:*

- The proposed development will main natural areas, including significant wooded areas, that contribute positively to the general character of the neighborhood.

(6) Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;

*The Planning Commission may find this standard to be **MET** for the following reasons:*

- Municipal water and sewer facilities currently serve the site and will continue to adequately serve the subject site.
- The site currently manages storm water onsite. The storm water management system will be reviewed by the Township Engineer.
- Significant additional demand for schools, police, or fire protection is not anticipated.

(7) The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

*The Planning Commission may find this standard to be **MET** for the following reasons:*

- The proposed use will not be detrimental to public health, safety, morals, or general welfare. The proposed use is compatible with nearby uses and is not expected to generate any nuisances.

(8) The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;

*The Planning Commission may find this standard to be **MET** for the following reasons:*

- The public interest and welfare are well-served by the proposed use, which is allowed via special use permit in the R-3 district.
- A public hearing was held on September 11, 2024.

(9) Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;

*The Planning Commission may find this standard to be **MET** for the following reasons:*

- Ingress and egress for the site is provided from an existing private drive with access from LaFranier Road. There is no direct access from LaFranier Road to the subject site. This configuration will not change. As part of the application, the applicant determined the proposed development will not overburden the existing private drive.

(10) Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and

*The Planning Commission may find this standard to be **MET** for the following reasons:*

- The site design will allow for safe vehicular traffic on the site.

- Sidewalks are provided on the site. Due to the severe topography along LaFranier Road, pedestrian access to the site directly from the road is not feasible.

(11) The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

*The Planning Commission may find this standard to be **MET** for the following reasons:*

- The proposed use is permitted via a special land use permit in the R-3 district. Nothing about the proposed project would impede the orderly development and improvement of surrounding sites.

**ACTION REQUESTED:**

The purpose of this agenda item is to consider Findings of Fact for the application. Upon consideration and Commissioner discussion, the following motion is offered for consideration:

MOTION THAT the Findings of Fact for application SUP-1990-07-A, as presented in Planning Department Report 2024-80 and being made a part of this motion, BE ADOPTED.

The following motion is recommended to approve the project, subject to the conditions as noted below, and subject to conditions which are routinely added to all approvals:

MOTION THAT application SUP-1990-07-A BE APPROVED, subject to the following conditions (1-3 as indicated in Planning Department Report 2024-80):

1. All final reviews from agencies with jurisdiction shall be provided prior to any Land Use Permits being issued.
2. All proposed site amenities shall be installed prior to the issuance of a Certificate of Occupancy.
3. The applicant shall promptly record a Report and Decision Order (RDO) with the Grand Traverse County Register of Deeds in the chain of title for each parcel or portion thereof to which the RDO pertains. A copy of each recorded document shall be filed with the Township within thirty (30) days of final approval by the Township or approval shall be considered to have expired.

Any additional information the Planning Commission deems necessary should be added to this motion.

**Attachments:**

1. Special Use Permit Application dated July 3, 2024
2. Impact Assessment Statement dated August 5, 2024
3. French Manor LaFranier (FML) Driveway Easement Clarification Summary dated September 4, 2024
4. Site Plan set from Machin Engineering dated August 5, 2024, with revisions dated August 20, 2024 and September 23, 2024
5. Photometric plan from CTA Lighting & Controls dated August 9, 2024
6. Lumark cutsheets for wall pack and pole mounted lighting fixtures
7. Design survey from Simmer Land Surveying dated August 27, 2024





# Charter Township of Garfield

## Grand Traverse County

3848 VETERANS DRIVE  
TRAVERSE CITY, MICHIGAN 49684  
PH: (231) 941-1620 • FAX: (231) 941-1588

### SPECIAL USE PERMIT (SUP) APPLICATION

#### ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning and/or Zoning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

#### ACTION REQUESTED

- New Special Use Permit
- Major Amendment
- Minor Amendment
- Administrative Amendment

#### PROJECT / DEVELOPMENT NAME

French Manor LaFranier

#### APPLICANT INFORMATION

**Name:** Burdco, Inc  
**Address:** 1222 Veterans Drive, Suite A, Traverse City, MI 49684  
**Phone Number:** 231-941-9074  
**Email:** dbrown@burdco.com

#### AGENT INFORMATION

**Name:** Machin Engineering  
**Address:** 1235 E Front Street, Suite A, Traverse City, MI 49686  
**Phone Number:** 231-935-1530 ext 710  
**Email:** eric@machinengineering.net

#### OWNER INFORMATION

**Name:** R&K Ackerman, LLC  
**Address:** 3735 Yorkshire Drive, Traverse City, MI 49685  
**Phone Number:** 231-649-3134  
**Email:** rustyas@gmail.com

**CONTACT PERSON**

Please select one person to be contact person for all correspondence and questions:

<i>Applicant:</i>	Dan Brown
<i>Agent:</i>	Eric Sandmann, PE
<i>Owner:</i>	Rusty Ackerman

**PROPERTY INFORMATION**

<i>Property Address:</i>	3090 LaFranier Road, Traverse City, MI 49686
<i>Property Identification Number:</i>	05-014-072-10
<i>Legal Description:</i>	See Attached Site Plan
<i>Zoning District:</i>	Multi-Family Residential (R-3)
<i>Master Plan Future Land Use Designation:</i>	Commercial
<i>Area of Property (acres or square feet):</i>	2.73 AC
<i>Existing Use(s):</i>	Adult Foster Care
<i>Proposed Use(s):</i>	Adult Foster Care

**PROJECT TIMELINE**

<i>Estimated Start Date:</i>	September 2024
<i>Estimated Completion Date:</i>	March 2025

**REQUIRED SUBMITTAL ITEMS**

A complete application for a Special Use Permit consists of the following:

**Application Form:**

- One original signed application
- One digital copy of the application (PDF only)

**Application Fee:**

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please make check out to Charter Township of Garfield.

- Fee

**Escrow Fee:**

Additional fees may be required if a review by independent professional help is deemed necessary by the Township. If required, such additional fees must be placed in escrow by the applicant in accordance with the escrow policies of the Township and prior to any further processing of this application. Any unused escrow funds shall be returned to the applicant. Please complete an Escrow and Review (ER) Application form.

**Site Development Plan:**

- Ten complete stapled 11"x17" paper sets (Administrative Amendments require one copy)
- Two complete bound 24"x36" paper sets
- One digital set (PDF only)

**Written Information:**

- Ten paper copies of the Approval Criteria (Administrative Amendments require one copy)
- One digital copy of the Approval Criteria (PDF only)
- Ten paper copies of the Impact Assessment (Administrative Amendments require one copy)
- One digital copy of the Impact Assessment (PDF only)

Digital items to be delivered via email or USB flash drive

**SUBMITTAL DEADLINE**

Submittal deadlines are listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

**WAIVERS**

**Submittal Waiver:**

At the discretion of the Director of Planning, a Site Development Plan may be waived in any of the following cases when it is determined that the submission would serve no useful purpose:

1. The erection or enlargement of an accessory structure;
2. The enlargement of a principal building by less than 20 percent of its existing gross floor area, provided such enlargement will not result in a requirement for additional off-street parking;
3. A change in principal use where such change would not result in an increase in impervious surface area, additional off-street parking, site access, other external site characteristics or a violation of this ordinance.

**Data Waiver:**

The Director of Planning may waive a particular element of information or data otherwise required for a Site Development Plan upon a finding that the information or data is not necessary to determine compliance with this ordinance or that such information or data would not bear on the decision of the approval authority.

**SITE PLAN**

Check that your site plan includes all required elements for a Site Development Plan (SDP). Please use the Required Site Plan Elements Checklist below.

**APPROVAL CRITERIA**

Indicate, on a separate sheet of paper, how the proposed special use will comply with, meet, or facilitate each of the following Approval Criteria from § 423.E of the Zoning Ordinance. The Planning Commission must determine that each of these criteria are satisfied in order to grant approval of a Special Use Permit. A special use is permitted only if the applicant demonstrates that special use is permitted only if the applicant demonstrates that:

- The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district;

- The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;
- The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;
- Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;
- The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;
- Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;
- The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
- The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;
- Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;
- Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and
- The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

#### **IMPACT ASSESSMENT**

A written impact statement to include the following information:

- A written illustrative description of the environmental characteristics of the site prior to development, i.e., topography, soils, vegetative cover, drainage, streams, creeks or ponds.
- Types of uses and other man-made facilities.
- The number of people to be housed, employed, visitors or patrons and vehicular and pedestrian traffic.
- Phasing of the project including ultimate development proposals.
- Natural features which will be retained, removed and/or modified including vegetation, drainage, hillsides, streams wetlands, woodlands, wildlife and water. The description of the areas to be changed shall include their effect on the site and adjacent properties. An aerial photo may be used to delineate the areas of change.
- The method to be used to serve the development with water and sanitary sewer facilities.
- The method to be used to control drainage on the site and from the site. This shall include runoff control during periods of construction.
- If the public sewers are not available to the site, the Applicant shall submit a current approval from the Health Department or other responsible public agency indicating approval of plans for sewage treatment.



- The method to be used to control any increase in effluent discharge to the air or any increase in noise level emanating from the site. Consideration of any nuisance that would be created within the site or external to the site whether by reason of dust, noise, fumes vibration, smoke or lights.
- An indication of how the proposed use conforms with existing and potential development patterns and any adverse effects.
- The proposed density in units per acre for residential developments.
- Name(s) and address(es) of person(s) responsible for preparation of statement.
- Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from the County Soil Erosion and Sedimentation office.
- Type, direction, and intensity of outside lighting.
- General description of deed restrictions, if any.

**ADDITIONAL INFORMATION**

If applicable, provide the following further information:

	<u>Yes</u>	<u>No</u>	<u>Not Applicable</u>
<b>A. <u>Sanitary Sewer Service</u></b>			
1. Does project require extension of public sewer line?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Will a community wastewater system be installed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If yes, provide construction plans and specifications			
3. Will on-site disposal be used?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, is it depicted on plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>B. <u>Water Service</u></b>			
1. Does project require extension of public water main?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Will a community water supply be installed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If yes, provide construction plans and specifications			
<b>C. <u>Public utility easements required?</u></b>			
If yes, show on plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>D. <u>Stormwater Review/Soil Erosion</u></b>			
1. Soil Erosion Plans approved by Soil Erosion Office?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If so, attach approval letter.			
If no, are alternate measures shown?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Stormwater Plans approved by Township Engineer?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If so, attach approval letter.			
If no, are alternate measures shown?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>Note: Alternate measures must be designed and sealed by a registered Engineer.</b>			

**E. Roads and Circulation**

- |   |                          |                                     |                                     |
|---|--------------------------|-------------------------------------|-------------------------------------|
| 1. Are interior public streets proposed?                                  | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| If yes, has Road Commission approved (attach letter)?                     | <input type="checkbox"/> | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 2. Will public streets connect to adjoining properties or future streets? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 3. Are private roads or interior drives proposed?                         | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 4. Will private drives connect to adjoining properties service roads?     | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 5. Has the Road Commission or MDOT approved curb cuts?                    | <input type="checkbox"/> | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| If yes, attach approved permit.   |                          |                                     |                                     |

**OTHER INFORMATION**

If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

**REVIEW PROCESS**

- Upon submittal of this application, Staff will review the materials submitted and will, within ten (10) working days, forward a determination of completeness to the applicant. If the submission is incomplete or noncompliant with the Zoning Ordinance, it will be returned to the applicant for revision. Once the submission is revised, Staff will again review it for completeness and again forward a determination to the applicant within ten (10) working days. This procedure shall be repeated until a complete submission is received.
- Once the application is deemed to be complete and submitted according to the application deadlines, it will be forwarded to the Planning Commission for review. The Planning Commission will determine if the application is complete and schedule a public hearing.
- Upon holding a public hearing, the Planning Commission may approve, approve with conditions, or deny the proposed special use.
- If approved or approved with conditions, the decision of the Planning Commission shall be incorporated into a written report and decision order.

**PERMISSION TO ENTER SUBJECT PROPERTY**


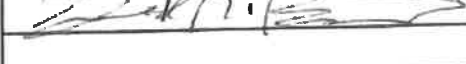
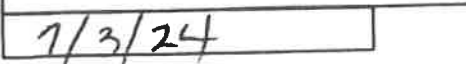
Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Owner Signature:

Applicant Signature:

Agent Signature:


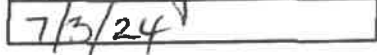
Date:




7/3/24

**OWNER'S AUTHORIZATION**




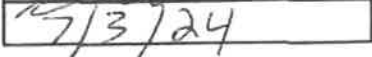
If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We Rusty Ackerman authorize to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner Signature:   
Date: 

**AFFIDAVIT**

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application and all of the information submitted in this application, including any supplemental information, is in all respects true and correct. The undersigned further acknowledges that willful misrepresentation of information will terminate this permit application and any permit associated with this document.

Owner Signature:   
Date:   
Applicant Signature:   
Date: 

Required Site Plan Elements Checklist (See § 956 of the Zoning Ordinance) Site Diagram (SD) / Administrative Site Plan (ASP) / Site Development Plan (SDP)	SD	ASP/ SDP	
<b>A. Basic Information</b>			
1. Applicant's name, address, telephone number and signature	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
2. Property owner's name, address, telephone number and signature	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
3. Proof of property ownership	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
4. Whether there are any options or liens on the property	<input type="checkbox"/>	<input type="checkbox"/>	N/A
5. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
6. The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. A vicinity map showing the area and road network surrounding the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
8. Name, address and phone number of the preparer of the site plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Project title or name of the proposed development	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Statement of proposed use of land, project completion schedule, any proposed development phasing	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Land uses and zoning classification on the subject parcel and adjoining parcels	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as their name, address and telephone number	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<b>B. Site Plan Information</b>			
1. North arrow, scale, and date of original submittal and last revision	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
2. Boundary dimensions of natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
3. Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%), beach, drainage, and similar features	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
4. Proposed alterations to topography and other natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
5. Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18%	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
6. Soil erosion and sediment control measures as required by the Grand Traverse County Soil Erosion Department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. The location, height and square footage of existing and proposed main and accessory buildings, and other existing structures	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
8. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state or federal government authorities	<input type="checkbox"/>	<input type="checkbox"/>	N/A
9. Proposed finish floor and grade line elevations of any structures <i>*Required only for habitable construction within the floodplain on site diagrams and administrative site plans.</i>	<input type="checkbox"/> *	<input checked="" type="checkbox"/>	
10. Existing and proposed driveways, including parking areas	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Neighboring driveways and other vehicular circulation features adjacent to the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared parking areas	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
14. Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features within and adjacent to the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
15. Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
16. Location of neighboring structures that are close to the parcel line or pertinent to the proposal	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
17. Location of water supply lines and/or wells	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
18. Location of sanitary sewer lines and/or sanitary sewer disposal systems	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
19. Location, specifications, and access to a water supply in the event of a fire emergency	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
20. Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention ponds, swales, wastewater lines, clean out locations, connection points and treatment systems	<input type="checkbox"/>	<input type="checkbox"/>	N/A
21. A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
22. A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections	<input type="checkbox"/>	<input type="checkbox"/>	N/A
23. A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used	<input type="checkbox"/>	<input type="checkbox"/>	N/A
24. Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences, walls, trash receptacle screening, and other screening features with cross sections shown	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
25. A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as, its typical size by general location or range of sizes as appropriate	<input type="checkbox"/>	<input type="checkbox"/>	N/A
26. Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities, and on the natural environment on and adjacent to the site)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
27. Changes or modifications required for any applicable regulatory agencies' approvals	<input type="checkbox"/>	<input checked="" type="checkbox"/>	



August 5, 2024

John Sych  
Charter Township of Garfield Planning Department  
3848 Veterans Drive  
Traverse City, MI 49684

Re: French Manor LaFranier  
Impact Assessment Statement  
ME Project No: 24130

Dear Mr. Sych:

The existing site consists of a parking area with an above ground stormwater basin located to the south of an existing 6,410 SFT adult foster care facility. The Central and Northern portion of the site consist of a wooded area with a steep slope towards the northwest corner of the property. The site will continue to operate as an adult foster care facility with the proposal of 3,648 SFT of building addition. Associated improvements include parking lot improvements, stormwater improvements, utility improvements and the installation of fire lanes and turn around areas.

The existing on-site soils consist of Rubicon Sand, 0 to 6 percent slopes (RwB) located along the southern property line, Rubicon Sand, 0 to 2 percent slopes (RwA) located on the southern half of the property, and Kalkaska Loamy Sand, 25 to 45 percent slopes (KaF) on the northern half of the property.

The subject site will see all 20 rooms occupied with a total of 20 residents. A total of 9 employees will be staffed with a maximum of 6 employees on-site at any given time and the facility is estimated to see up to 3 visitors per day. Vehicle and pedestrian traffic will be driven by employees and facility visitors. All construction for the proposed improvements will be conducted in a single construction phase.

The wooded area on the northern half of the property will be retained. Minimal trees will be removed in southern portion of the site and no other natural features will be removed to facilitate the construction of the facility. The removal of trees from the southern portion of the site will have minimal effect on the site and will have no effect on adjacent parcels.

The proposed development will reutilize existing water and sanitary sewer facilities on-site. Drainage from the site will be stored within an existing basin within the parking area that is to be modified. The need for additional basins will be determined prior to final approval. The runoff will be controlled during construction through the implementation of various BMPs such as silt fence and construction entrances. The existing basin will be utilized for stormwater storage during all phases of construction.

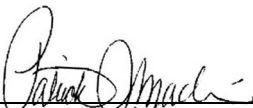
The proposed improvements will not create any increase in effluent discharge to the air or any increase in noise levels. The proposed use will not change from the existing use on site. No adverse effects will occur as a result of the improvements. The unit density for the site will be 7.3 units per acre after improvements are completed.

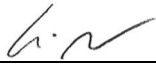
Soil erosion and sedimentation control measures during construction include a silt fence and construction entrance as well as temporary seeding and mulching. Permanent measures include installation of asphalt and permanent seeding in all disturbed areas. No changes to the existing lighting are proposed and no deed restrictions exist.

Should you have any questions please contact us at (855) 935-1530.

Sincerely,

MACHIN ENGINEERING, INC.

X   
\_\_\_\_\_  
Patrick J. Machin, P.E.  
Principal

X   
\_\_\_\_\_  
Eric Sandmann, P.E.  
Project Manager

**FRENCH MANOR LaFRANIER (FML) DRIVEWAY EASEMENT CLARIFICATION SUMMARY**  
**SEPTEMBER 4, 2024**

**1. EASEMENT AGREEMENT**

**A)** There is a "RECIPROCAL EASEMENT AGREEMENT" dated 02/02/2016 (See attached). The purpose of this agreement was to establish 1) a Vehicular Easement on TMI Property (Property Owner) which is granted to the adjacent FML (formerly Rosegate) property and the Northridge property (Benefitted Properties) and 2) a Pedestrian Easement on the FML and Northridge properties (Property Owners) granted to the TMI Property (Benefitted Property).

**B)** 02/02/2016 EASEMENT LANGUAGE PERTAINING TO THE PROPOSED FML ADDITION: Section 2 – "...The Scope of the Easements and use of the Easements by the benefitted properties shall remain consistent with the use of the Easements at the time of Agreement and the Easements shall not become overburdened as the result of development or expansion of the benefitted properties."

**2. FML ADDITION PROJECT SCOPE IN RELATION TO THE EASEMENT AGREEMENT**

**A)** The current Vehicular Easement Driveway supports 94 parking spaces between 3 properties

**B)** There are a total of 9 parking spaces at the existing FML property. There will still be a total of 9 parking spaces upon the completion of the proposed FML addition work

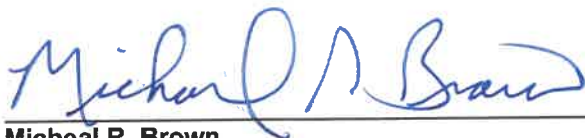
**C)** The current Vehicular Easement Driveway supports 162 Units (beds) between the 3 properties

**D)** The French Manor LaFranier Addition Plans include some new interior finishes to the existing 14 assisted living units (beds) and the addition of 6 new assisted living units (beds).

**3. CONCLUSION**

**A)** "The Scope of the Easement and the use of the Easements by FML shall remain consistent with the use of the Easements at the time of the Agreement" after completion of the FML Addition

**B)** "The Easements (Vehicular driveway) shall not become overburdened" as the result of the FML Addition



**Micheal R. Brown**  
**President- Burdco Incorporated**

STATE OF MICHIGAN



REAL ESTATE TRANSFER TAX \$22.00 CO \$150.00 ST TTX# 4101878

Grand Traverse Co 02/05/2016 2016R-02108



2016R-02108 STATE OF MICHIGAN GRAND TRAVERSE COUNTY RECORDED 8:40:18 AM 02/05/2016 PAGE 1 OF 23 PEGGY HAINES REGISTER OF DEEDS

23 1/2 4

RECIPROCAL EASEMENT AGREEMENT

This Reciprocal Easement Agreement (the "Agreement") is made this 2nd day of February, 2016, by and between TMI Birchwood RE, LLC ("TMI"), a Wisconsin limited liability company, of 3500 Lenox Road NE Suite 510, Atlanta, Georgia 30326, Rosegate Assisted Living, LLC ("Rosegate"), a Michigan limited liability company, 3090 LaFranier Road, Traverse City, Michigan 49686 and Northridge Partners, a dissolved Michigan co-partnership and LaCross Northridge Partners, LLC, a Michigan limited liability company ("Northridge"), 5536 Sharonowski Road, Cedar, Michigan 49621 (together TMI, Rosegate and Northridge shall be referred to herein as the "Parties"). TMI, Rosegate, Northridge, and their successors and assigns, shall collectively be referred to herein as the "Owners".

PURPOSE FOR AGREEMENT

The purpose of this Agreement is: (1) To impose and establish upon and against the TMI Property (as defined below), a non-exclusive easement for vehicular and pedestrian ingress and egress for the benefit of the Rosegate Property and the Northridge Property for the Easement Term (as defined below); and (2) To impose and establish upon and against the Rosegate Property (as defined below) and the Northridge Property (as defined below), a non-exclusive easement for pedestrian

Doc 2 of 4



ingress and egress for the benefit of the TMI Property for the Easement Term (as defined below); and (3) to set forth certain other agreements in writing.

The Parties' properties are described as follows:

TMI's Property – Tax No. 28-05-014-074-00

Situated in the Township of Garfield, County of Grand Traverse, State of Michigan:

That part of the West one-half of the Southwest one-quarter of the Southeast one-quarter, Section 14, Town 27 North, Range 11 West, described as: Commencing at the South one-quarter corner; thence North 00°23'30" West 100.00 feet to the Point of Beginning; thence North 00°23'30" West 230.00 feet along centerline of LaFranier Road; thence East 664.75 feet; thence South 00°27' East 330.00 feet; thence West 482.12 feet, along section line; thence North 00°23'30" West 100.00 feet; thence West 183.00 feet to the Point of Beginning. Township of Garfield, County of Grand Traverse, State of Michigan.  
(the "TMI Property")

Rosegate Property – Tax No. 28-05-014-072-10

The following described premises situated in the Township of Garfield, County of Grand Traverse, and State of Michigan, to wit:

Part of the Southwest ¼ of the Southeast ¼, Section 14, Town 27 North, Range 11 West, more fully described as: Commencing at the South ¼ corner of said Section 14; thence North 00°19'00" West, 330.00 feet along the North and South ¼ line of said Section 14 to the Point of Beginning; thence continuing along said ¼ line North 00°10'00" West, 509.05 feet; thence North 76°14'04" East, 204.41 feet; thence South 01°59'42" West, 267.76 feet; thence South 33°49'00" East, 139.49 feet; thence South 00°19'00" East, 174.43 feet parallel with said North and South ¼ line; thence North 89°57'00" West, 265.01 feet to the Point of Beginning.  
(the "Rosegate Property")

Northridge Property – Tax No. 28-05-014-072-20

Part of the Southwest quarter of the Southeast quarter, Section 14, T27N, R11W, Garfield Township, Grand Traverse County, Michigan, more fully described as: Commencing at the South quarter corner of said Section 14; thence N 00°19'00" W, 839.05 feet along the North and South quarter line of said Section 14; thence N 76°14'04" E, 204.41 feet to the Point of Beginning; thence S 01°59'42" W, 267.76 feet; thence S 33°49'00" E, 139.49 feet; thence S 00°19'00" E, 174.43 feet parallel with said North and South quarter line; thence S 89°57'00" E, 342.95 feet; thence N 00°23'00" W, 658.58 feet; thence S 76°14'04" W, 419.88 feet to the Point of

**Beginning.**

Also subject to a 66 foot wide easement for the purpose of ingress, egress and the installation and maintenance of public and private utilities over the South 66 feet thereof.

Together with a non-exclusive 66-foot wide easement for the purpose of ingress, egress and the installation and maintenance of public and private utilities over the South 66 feet of an adjoining parcel, located in Garfield Township, Grand Traverse County, Michigan and described as part of the Southwest quarter of the Southeast quarter, Section 14 T27N, R11W, more fully described as: Commencing at the South quarter corner of Section 14; thence North 00°19'00" W, 330.00 feet along the North and South quarter line of said Section 14 to the Point of Beginning; thence continuing along said quarter line North 00°19'00 West, 509.05 feet; thence North 76°14'04" East, 204.41 feet; thence South 01°59'42" West, 267.76 feet; thence South 33°49'00" East, 139.49 feet; thence South 00°19'00" East, 174.43 feet parallel with said North and South quarter line; thence North 89°57'00" West, 265.01 feet to the Point of Beginning.

Subject to the right-of-way of LaFranier Road over the West 33 feet thereof.

(the "Northridge Property", and together with the TMI Property and the Rosegate Property, the "Properties")

NOW, THEREFORE, for the mutual covenants contained herein and other good and valuable consideration, the receipt and sufficiency of which are acknowledged, the Owners, on behalf of themselves and their successors and assigns, agree as follows:

**1. Grant of Easements:**

**A. Entrance Easement.** TMI hereby grants to Rosegate and Northridge, for the benefit of the Rosegate Property and the Northridge Property, and the successors and assigns of the Rosegate Property and the Northridge Property, and all owners, employees, tenants, invitees and guests of the Rosegate Property and Northridge Property, a non-exclusive easement for vehicular and pedestrian ingress and egress over that portion of the TMI Property more specifically described on the attached Exhibit "A" and described as "Easement A" (the "Entrance Easement") in order to

provide access to the Rosegate Property and the Northridge Property to and from LaFranier Road, and for no other purpose. TMI reserves to itself and its successors and assigns all incidents of ownership of the Entrance Easement that are not inconsistent with the ingress and egress easement granted herein.

**B. Pedestrian Easement.** Rosegate and Northridge hereby grant to TMI, for the benefit of the TMI Property, and the successors and assigns of the TMI Property, and all owners, employees, tenants, invitees and guests of the TMI Property, a non-exclusive easement for pedestrian ingress and egress over that portion of the Rosegate Property and the Northridge Property more specifically described on the attached Exhibit "B" and described as "Easement D" (the "Pedestrian Easement", and together with the Entrance Easement, the "Easements") in order to provide access over the private driveways/roadways, but not private parking areas, and for no other purpose. Rosegate and Northridge reserve to themselves and their respective successors and assigns all incidents of ownership of the Pedestrian Easement that are not inconsistent with the ingress and egress easement granted herein.

**2. Scope and Duration of Easements:** This Agreement and said Easements shall be a non-exclusive easement for a term of thirty (30) years commencing on the date of this Agreement and terminating on February 1 2046 (the "Easement Term"), unless earlier terminated pursuant to the terms hereof, to be used by and binding upon all of the Parties, their heirs and assigns, in common with the use by the grantor or grantors of said Easements, and shall be appurtenant to, a burden upon and benefit for each parcel of real property described herein. The scope of the Easements and use of the Easements by the benefitted properties shall remain

consistent with the use of the Easements at the time of the Agreement and the Easements shall not become overburdened as the result of development or expansion of the benefitted properties.

3. **Consideration:** The consideration for the Easements includes the reciprocal grant of the Entrance Easement and the Pedestrian Easement, the agreements herein related to the sharing of maintenance of the Entrance Easement, the maintenance of the Pedestrian Easement, and a payment to TMI or its designee in the amount of Twenty Thousand and no/100 Dollars (\$20,000.00), payable in immediately available funds, no later than the execution of this Agreement, to cover TMI's costs and expenses in connection herewith, including for the avoidance of doubt, any internal personnel expenses, plus a payment by Rosegate and/or Northridge to TMI or its designee for reimbursement of any additional costs and expenses, including attorney's fees, incurred by TMI in connection with this Agreement, payable pursuant to the terms set forth in a separate reimbursement agreement between the Parties. Rosegate and/or Northridge agree to pay applicable state and county transfer taxes resulting from the recording of this Agreement.

4. **Access:** The Easements are non-exclusive and the benefitted properties uses are limited to the purposes set forth herein and may not be expanded by the benefitted properties or retracted by the burdened properties. The Easements shall not be blocked, hindered or disturbed by any of the Parties to this Agreement, their lessees, guests, employees, successors, heirs or assigns. Any knowledge of a future temporary disturbance due to repair, maintenance or emergency shall be communicated to the other party promptly.

5. **Shared Maintenance and Limited Maintenance:** The owner of the TMI Property agrees it is responsible for coordinating, performing and making the improvements, maintenance and repairs upon that portion of the Entrance Easement that is specifically described on Exhibit "A" and described as "Easement B" (the "Jointly Maintained Area") in compliance with all applicable laws and regulations, as are reasonable and necessary from time to time, and that the owner of the TMI Property shall maintain the Jointly Maintained Area in good order, appearance and repair..

The owners of the Rosegate Property and Northridge Property agree they do not have authority to make improvements, maintain or repair the Jointly Maintained Area but that the owners of the Rosegate Property and Northridge Property are responsible for the shared cost of the improvements, maintenance and repairs to the Jointly Maintained Area of the Entrance Easement, including, but not limited to, resurfacing, sealing, asphalt and curb maintenance, pot hole filling, restriping and snow removal (as set forth in Section 6 below).

The cost of improvements, maintenance and repairs of the Jointly Maintained Area of the Entrance Easement shall be shared equally (1/3 each) by the Parties (or their successors in interest)

The parties hereto acknowledge and agree that the Jointly Maintained Area of the Entrance Easement makes up approximately 1/12 of the entire asphalt surface area of the TMI Property (as of the execution date of this Agreement) and that the owners of the TMI Property shall not allocate more than 1/12 of the overall cost of any improvement, maintenance and repairs to all of the paved surface areas of the TMI Property to the Jointly Maintained Area of the Entrance Easement. For the sake of

exemplar only: If TMI is resurfacing all of its paved surface area for a total cost of \$12,000, only 1/12 (or \$1,000) shall be allocated to the Jointly Maintained Area of the Entrance Easement. The, the \$1,000 cost allocated to the Jointly Maintained Area shall be split evenly between the owners of the TMI Property, the Rosegate Property and the Northridge Property, with each paying approximately \$333.33 towards the cost of resurfacing.

If the improvement, repair or maintenance to be performed or made encompasses not all of the paved area of the TMI Property, but more than just the Jointly Maintained Area, only that portion of the cost of the project reasonably allocated to the Jointly Maintained Area shall be shared by the owners of the Rosegate Property and Northridge Property. Such allocation shall be determined by the party contracted to perform or made the improvements, repairs, or maintenance. For the sake of exemplar only: If TMI is resurfacing the Jointly Maintained Area, plus the two attached parking lots, but not all of their paved surface areas, a reasonable estimation of the portion of the resurfacing allocated to the Jointly Maintained Area shall be calculated by company providing the resurfacing. The owners of the TMI Property, Rosegate Property and Northridge Property shall share equally in that portion of the total cost of the improvements, repairs or maintenance allocated to the Jointly Maintained Area.

Prior to commencement of any improvements, maintenance or repairs to the Jointly Maintained Area of the Entrance Easement, which for any project would be allocated to the Jointly Maintained Area in the aggregate of Five Thousand and No/100 Dollars (\$5,000.00) or more (equal to \$1,666.66 allocated to each Party), the owner of the TMI Property shall provide to the owners of the Rosegate Property and Northridge

Property a written notice with a description and an estimate of the improvement, maintenance or repair to be performed or made (except in an emergency the owner of the TMI Property shall only be required to give the owners of the Rosegate Property and the Northridge Property such notice as is reasonably practical).

Within thirty (30) days following the completion of any improvements, maintenance or repairs to the Jointly Maintained Area, the owners of the Rosegate Property and the Northridge Property shall be provided an invoice for their respective share of the costs of said improvements, maintenance or repairs. The owners of the Rosegate Property and Northridge Property shall reimburse the owner of the TMI Property in regards to their 1/3 of the cost of said improvements, maintenance or repairs within fifteen (15) days of receipt of the invoice from the owner of the TMI Property.

If either owner of the Rosegate Property or Northridge Property believe the Jointly Maintained Area of the Entrance Easement requires improvement, maintenance or repairs in order to facilitate safe and reasonable use of the Entrance Easement consistent with this Agreement, said owner shall provide a written notice to the owner of the TMI Property regarding their suggested improvement, maintenance or repair request for approval by the owner of the TMI Property, which approval will not be unreasonably withheld.

The owners of the Rosegate Property and the Northridge Property agree they are responsible for coordinating, performing and making the improvements, maintenance and repairs upon that portion of the Entrance Easement that is described and labeled on Exhibit "A" described as "Easement C (the "Limited Maintained Area")", in compliance with all applicable laws and regulations, as are reasonable and necessary, from time to

time, and that they shall maintain the Limited Maintained Area in good order, appearance and repair.

The owner of the TMI Property shall not be responsible for any expenses, fees, charges, or any allocated portion of any improvements, maintenance or repairs to the Limited Maintained Area of the Entrance Easement. The owners of the Rosegate Property and Northridge Property are hereby agreeing to share equally in the improvements, maintenance and repairs of the Limited Maintained Area, with each party paying ½ of the expense.

6. **Maintenance of the Pedestrian Easement.** The owners of the Rosegate Property and Northridge Property shall be solely responsible for the cost and performance of all improvements, maintenance and repair of the Pedestrian Easement, without any input or contribution from the owner of the TMI Property.

7. **Snow Removal.** Maintenance, as discussed above, shall include snow removal, as governed by this paragraph. The Parties do hereby agree to each contribute Two Hundred and 00/100 Dollars (\$200.00) per year towards the cost of snow removal for the Jointly Maintained Area (the "Snow Removal Fee"). The Snow Removal Fee shall be increased by twenty percent (20%) every five (5) years during the Easement Term. The owner of the TMI Property shall be responsible for coordinating the snow removal for the Jointly Maintained Area of the Entrance Easement and the cost of the snow removal in excess of the amount contributed by the owners of the Rosegate Property and the Northridge Property. The owners of the Rosegate Property and Northridge Property are responsible for coordinating and full cost of snow removal from the Limited Maintained Area of the Entrance Easement without allocation or



contribution from the owner of the TMI Property, as well as coordinating and the full cost of snow removal from the Pedestrian Easement without allocation or contribution from the owner of the TMI Property.

**8. Use and Limitations of the Entrance Easement, the Rosegate Property and the Northridge Property:** There shall be no parking, stopping, or blocking of any traffic upon the Entrance Easement by any party, or their lessee, invitee, employee or guest. The owners of the Rosegate Property and Northridge Property agree to provide and maintain a stop sign located where the Limited Maintained Area meets the Jointly Maintenance Area so to require the traffic leaving the Rosegate Property and Northridge Property to stop before entering the Jointly Maintained Area of the Entrance Easement. The owner of the Rosegate Property and the Northridge Property shall be permitted to install, at the sole cost and expense of the owners of the Rosegate Property and the Northridge Property, reasonable signage identifying the entrance to their respective properties where the Jointly Maintained Area meets the Limited Maintained Area, so long as the signage does not violate any local zoning or sign ordinance and such signage is in good taste so as not to detract from the general appearance of the TMI Property. The Parties further agree that if, at any time, the business activities conducted at the Rosegate Property or the Northridge Property are competitive with the business activities conducted at the TMI Property, as determined by the owner of the TMI Property in its sole discretion, then there shall be a material default of this Agreement by the competing Party. The Parties agree that a competitive business activity, for purposes of this Agreement, shall include operating as a skilled nursing facility.

9. **Use and Limitations of the Pedestrian Easement:** The Parties acknowledge and agree that the use of the Pedestrian Easement shall be shared with vehicular traffic of the owners, employees, guests, invitees and lessees of the Rosegate Property and Northridge Property, and that the owners, employees, lessees, guests and invitees of the TMI Property understand and accept that said vehicular traffic does not in any way prevent or impede upon the pedestrian access granted by this Easement, and that they accept the inherent risk in using the Pedestrian Easement. Furthermore, the owners, employees, guests, invitees and lessees of the TMI Property agree that their use of the Pedestrian Easement is limited to that area depicted upon the attached Exhibit "B" and does not give the right to leave the roadway/driveway or enter onto any additional parking areas, sidewalks or trails and that the access to the Pedestrian Easement is limited to foot, bike and wheelchair traffic and does not provide for any vehicular traffic, stopping or parking on the Pedestrian Easement.

10. **Indemnity:** The owner of any lot benefited by this Agreement ("Indemnitor") shall indemnify, defend, and hold the owner of any lot burdened by this Agreement ("Indemnitee") harmless from and against any and all claims, damages, losses, or expenses (including reasonable attorney's fees), arising as a result of the use by the Indemnitor, or its successors, assigns, tenants, agents, employees, contractors or invitees, of the easements and rights granted herein to the Indemnitor. This provision shall survive the termination of this Agreement.

11. **Assignment of Rights:** All rights hereunder granted shall not be further assignable by such property Owners except as an appurtenance to and in conjunction with the sale of their parcels.

12. **Effective:** This Agreement shall be effective upon the date first set forth above.

13. **Not a Replacement:** The Easements created herein do not supersede, effect or replace any easements between the Rosegate Property and the Northridge Property.

14. **Default:** If an Owner defaults in any of its obligations under any provision of this Agreement, and such default continues for fifteen (15) days after written notice thereof given by any aggrieved Owner (or, with respect to nonmonetary defaults, the defaulting Owner fails to commence reasonable efforts to cure within such 15 days, or fails to diligently complete such cure within a reasonable time thereafter), any one or more of the aggrieved Owners may (i) enforce such obligations, either at law or in equity, by injunction or specific performance or other available relief, or (ii) perform or pay all or any part of such obligations and charge the cost of performing or the payment made, including reasonable attorneys' fees and interest, to the defaulting Owner, or (iii) terminate this Agreement and the easement rights granted to the defaulting Owner herein as of the date of written notice of termination (the "Termination Notice") to the defaulting Owner, provided such termination shall not affect the easement rights of any non-defaulting Owner. The indebtedness incurred hereunder on behalf of a defaulting Owner and any other sums due and owing by a defaulting Owner in accordance with this Agreement shall bear interest from fifteen (15) days after notice of default is given as herein provided at a rate of ten percent (10%) per annum or at the highest annual interest rate allowed by law, whichever is less, and any indebtedness of the defaulting Owner, including interest, and all reasonable costs of suit or collection thereof (including

reasonable attorneys' fees, whether suit be brought or not, with interest on such costs of suit or collection at the rate above set out), shall be payable on demand of the creditor. Any indebtedness incurred hereunder on behalf of a defaulting Owner and any other sums due and owing by a defaulting Owner in accordance with this Agreement may be secured by a lien on the Property of the defaulting Owner and may be perfected in accordance with the laws of the State of Michigan; provided, however, that any liens shall be subordinate and subject to any first mortgage upon the defaulting Owner's Property held by a lender that is not an affiliate of the defaulting Owner. Failure to enforce any covenant hereunder shall not be deemed to be a waiver of the right to do so thereafter. The rights and remedies given to any party to this Agreement shall be deemed to be cumulative and no one of such rights and remedies shall be exclusive of any of the others, or of any other right or remedy at law or in equity which any such party might otherwise have by virtue of a default under this Agreement, and the exercise of one such right or remedy by any such party shall not impair such party's standing to exercise any other right or remedy.

15. **Taxes:** Each Owner shall pay (or cause to be paid) before delinquency all real estate taxes and assessments levied on its Property and the improvements situated thereon.

16. **Insurance:** The owners of the Rosegate Property and the Northridge Property shall each obtain liability insurance as part of their respective owner's policy for the Rosegate Property and the Northridge Property to cover any liabilities that arise as a result of the use by the owners of the Rosegate Property and the Northridge Property, or the owner's tenants, agents, employees, contractors or invitees, of the Entrance

Easement. The liability policies held by both the owners of the Rosegate Property and the Northridge Property shall each name the owner of the TMI Property as an additional insured with respect to the use of the Entrance Easement by the owner of the TMI Property. Upon demand, the owners of the Rosegate Property and the Northridge Property shall each furnish the owner of the TMI Property with a certificate of insurance evidencing the foregoing insurance coverage and providing that such insurance policy may not be cancelled on less than thirty (30) days prior written notice to the owner of the TMI Property.

17. **Amendment/Termination.** This Agreement may be modified, amended or terminated only by the express written consent of all of the Parties, but no other persons, such as tenants or occupants of said Properties, shall have any rights whatsoever to join in, prevent or otherwise be a party to any such modification, amendment or termination.

18. **Severability:** If any provision of this Agreement is, to any extent, declared by a court of competent jurisdiction to be invalid or unenforceable, the remainder of this Agreement (or the application of such provision to persons or circumstances other than those in respect of which the determination of invalidity or unenforceability was made) will not be affected thereby and each provision of this Agreement will be valid and enforceable to the fullest extent permitted by law.

19. **Governing Law:** This Agreement will be construed in accordance with the laws of the State of Michigan. Enforcement may be by legal proceedings against any person or persons violating or attempting to violate any declaration, restriction, covenant, condition or agreement herein contained either to restrain or enjoin such

violation and/or recover damages; provided, however, that no such easements or covenants or any similar rights or privileges may be enforced by legal action or otherwise by any persons whatsoever (such as lessees or occupants of the buildings and structures which may now or hereafter be constructed upon the Properties), except the owners and mortgagees, their successors and assigns, of the Properties, which owners and mortgagees shall be the only persons entitled to bring action under and to enforce the rights and remedies of this Agreement.

**20. Attorney's Fees:** In the event of litigation by reason of this Agreement, the prevailing party in such litigation shall be entitled to recover reasonable attorneys' fees in addition to all other expenses incurred by such litigation.

**21. Joint and Several Liability.** LaCross Northridge Partners, LLC agrees and acknowledges that all rights, liabilities, and obligations herein given to or imposed upon Northridge Partners hereto shall extend to and bind LaCross Northridge Partners, LLC; and they shall be bound jointly and severally by the terms, covenants and agreements contained herein.

[SIGNATURE PAGES TO FOLLOW]

In witness whereof the undersigned have executed this Agreement on the dates set forth below.

Date: 1/27, 2016

TMI Birchwood RE, LLC

Scott Brown  
By: Scott Brown  
Its: Vice President

STATE OF Georgia )  
COUNTY OF Gwinnett )

On this 27 day of January, 2016, before me personally appeared Scott Brown, to me known and known to me, who being duly sworn, did depose and say that he/she is a Vice President of TMI Birchwood RE, LLC, a Wisconsin limited liability company, the company described in and which executed the foregoing instrument, and that he/she signed his/her name thereto pursuant to the authority granted in the Operating Agreement, as and for his/her voluntary act and deed and as and for the voluntary act and deed of said company.



Zena Laubie  
Notary Public,  
Gwinnett County,  
Acting in \_\_\_\_\_ County,  
My Commission Expires: 4/20/19

Date: \_\_\_\_\_, 2016

Rosegate Assisted Living, LLC

SEE NEXT PAGE  
By: Jean Ahart  
Its: Managing Member

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ )

On this \_\_\_\_\_ day of \_\_\_\_\_, 2016, before me personally appeared Jean Ahart, to me known and known to me, who being duly sworn, did depose and say that she is a Managing Member of Rosegate Assisted Living, LLC, a Michigan limited liability company, the company described in and which executed the foregoing instrument, and that she signed her name thereto pursuant to the authority granted in the Operating Agreement, as and for her voluntary act and deed and as and for the voluntary act and deed of said company.

\_\_\_\_\_  
Notary Public,  
\_\_\_\_\_  
County, \_\_\_\_\_  
Acting in \_\_\_\_\_ County,  
My Commission Expires: \_\_\_\_\_

Date: 2-2-16, 2016

Rosegate Assisted Living, LLC

Jean Ahart  
By: Jean Ahart  
Its: Managing Member

STATE OF Michigan  
COUNTY OF Grand Traverse ) ss.

On this 2nd day of February, 2016, before me personally appeared Jean Ahart, to me known and known to me, who being duly sworn, did depose and say that she is a Managing Member of Rosegate Assisted Living, LLC, a Michigan limited liability company, the company described in and which executed the foregoing instrument, and that she signed her name thereto pursuant to the authority granted in the Operating Agreement, as and for her voluntary act and deed and as and for the voluntary act and deed of said company.

VICTORIA M. GRZYBOWSKI  
NOTARY PUBLIC, STATE OF MICHIGAN  
COUNTY OF WEXFORD  
MY COMMISSION EXPIRES JAN 6, 2019  
ACTING IN GRAND TRAVERSE COUNTY

Victoria M. Grzybowski  
Notary Public,  
County, \_\_\_  
Acting in \_\_\_\_\_ County, \_  
My Commission Expires: \_\_\_\_\_



Date: February 2, 2016

Northridge Partners

Glenn F. LaCross  
By: Glenn F. LaCross  
Its: Partner

Judith D. LaCross  
By: Judith D. LaCross  
Its: Partner

STATE OF MICHIGAN )

) ss.  
COUNTY OF Grand Traverse

On this 2nd day of February, 2016, before me personally appeared Glenn F. LaCross and Judith D. LaCross, to me known and known to me, who being duly sworn, did depose and say that they are the remaining co-partner of Northridge Partners, a Michigan dissolved co-partnership, the dissolved co-partnership described in and which executed the foregoing instrument, and that they signed their name thereto pursuant to approval of the required number of co-partners of said dissolved co-partnership, as and for their voluntary act and deed and as and for the voluntary act and deed of said remaining partners of the dissolved co-partnership.

VICTORIA M. GRZYBOWSKI  
NOTARY PUBLIC, STATE OF MICHIGAN  
COUNTY OF WEXFORD  
MY COMMISSION EXPIRES JAN 5, 2019  
ACTING IN GRAND TRAVERSE COUNTY

[Signature]  
Notary Public,  
County, MI

Acting in \_\_\_\_\_ County, MI  
My Commission Expires: \_\_\_\_\_

LaCross Northridge Partners, LLC

Glenn F. LaCross  
By: Glenn F. LaCross  
Its: Member

Judith D. LaCross  
By: Judith D. LaCross  
Its: Member

STATE OF MICHIGAN )

) ss.  
COUNTY OF Grand Traverse

On this 2nd day of February, 2016, before me personally appeared \* Glenn F. LaCross and Judith D. LaCross, to me known and known to me, who being duly sworn, did depose and say that he is a partner of Northridge Partners, LLC ~~Michigan~~ partnership, the partnership described in and which executed the foregoing instrument, and that he/she signed his/her name thereto pursuant to approval of the required number of partners of said limited partnership, as and for his/her voluntary act and deed and as and for the voluntary act and deed of said limited partnership.

VICTORIA M. GRZYBOWSKI  
NOTARY PUBLIC, STATE OF MICHIGAN  
COUNTY OF WEXFORD  
MY COMMISSION EXPIRES JAN 5, 2019  
ACTING IN GRAND TRAVERSE COUNTY

[Signature]  
Notary Public,  
County, MI

Acting in \_\_\_\_\_ County, MI  
My Commission Expires: \_\_\_\_\_

Drafted by and when recorded return to:  
H. Douglas Shepherd IV, North Coast Legal, PLC, 800 Cottageview Dr, Suite 1080A  
Traverse City, MI 49684

**CONSENT OF MORTGAGEE**

The undersigned, the Mortgagee under that certain Mortgage dated July 10, 2012 encumbering the property commonly known as 2950 LaFranier Rd., Traverse City, MI (the "TMI Property"), and recorded on July 25, 2012 in Document No. 2012R-13871, Grand Traverse County Records, for itself and its successors and assigns, does hereby consent to the foregoing Reciprocal Easement Agreement and agrees to be bound by the terms thereof and agrees that its interest in the TMI Property shall be subordinate to and subject to the foregoing Reciprocal Easement Agreement.

WALKER & DUNLOP, LLC

  
By: Shannon K. Chase  
Its: Vice President

COMMONWEALTH OF MASSACHUSETTS )  
COUNTY OF NORFOLK )

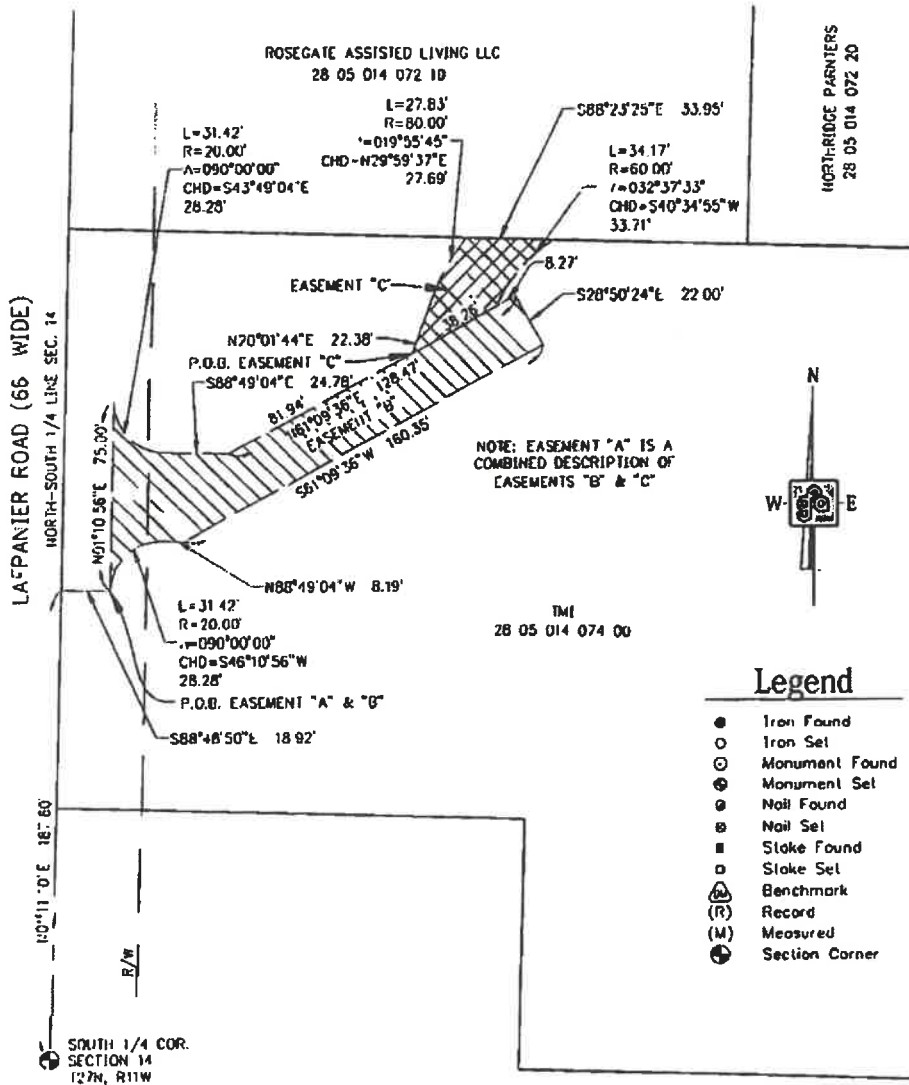
The foregoing instrument was executed before me this 31<sup>st</sup> day of January, 2016, by Shannon K. Chase, the Vice President of Walker & Dunlop, LLC, on behalf of the Mortgagee.

  
Notary Public  
NORFOLK County, MASSACHUSETTS  
My Commission Expires: 1/2/2020




EXHIBIT A

EASEMENT SKETCH



NOTE: SEE SHEET 2 FOR LEGAL DESCRIPTIONS



PREPARED FOR: <b>ROSEGATE ASSISTED LIVING, LLC</b>		BASIS OF BEARINGS: <b>MICHIGAN STATE PLANE COORDINATES</b>	
ENGINEERING SURVEYING TESTING & OPERATIONS  123 West Front Street Traverse City, MI 49684		<a href="http://gta.fc">http://gta.fc</a>	Date: 12/23/2015
		231.946.5874 (p) 231.946.3703 (f)	PART OF SOUTHEAST 1/4 SECTION 14, TOWN 27 NORTH, RANGE 11 WEST GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY, MI 15446 SHEET 1 OF 2

## EASEMENT DESCRIPTIONS

**LEGAL DESCRIPTION OF EASEMENT "A"**

A variable width easement for ingress and egress purposes located in the Southwest 1/4 of the Southeast 1/4 of Section 14, Township 27 North, Range 11 West, Garfield Township, Grand Traverse County, Michigan, being more particularly described as: Commencing at the South 1/4 corner of said Section 14; thence North 01°11'10" East, 187.60 feet along the North-South 1/4 line of said Section 14; thence South 88°48'50" East 18.92 feet to the POINT OF BEGINNING; thence North 01°10'56" East, 75.00 feet; thence 31.42 feet along the arc of a non-tangential curve to the left, having a radius of 20.00 feet, central angle of 90°00'00", and a long chord bearing South 43°49'04" East a distance of 28.28 feet; thence South 88°49'04" East, 24.78 feet; thence North 61°09'36" East, 81.94 feet; thence North 20°01'44" East, 22.38 feet; thence 27.83 feet along the arc of a curve to the right, having a radius of 80.00 feet, central angle of 19°55'45", and long chord bearing North 29°59'37" East a distance of 27.69 feet; thence South 88°23'25" East, 33.95 feet; thence 34.17 feet along the arc of a non-tangential curve to the left, having a radius of 60.00 feet, a central angle of 32°37'33", and a long chord bearing South 40°34'55" West a distance of 33.71 feet; thence North 61°09'36" East, 8.27 feet; thence South 28°50'24" East, 22.00 feet; thence South 61°09'36" West, 160.35 feet; thence North 88°49'04" West, 8.19 feet; thence 31.42 feet along the arc of a curve to the left, having a radius of 20.00 feet, a central angle of 90°00'00", and long chord bearing South 46°10'56" West a distance of 28.28 feet to the POINT OF BEGINNING.

**LEGAL DESCRIPTION OF EASEMENT "B"**

A variable width easement for ingress and egress purposes located in the Southwest 1/4 of the Southeast 1/4 of Section 14, Township 27 North, Range 11 West, Garfield Township, Grand Traverse County, Michigan, being more particularly described as: Commencing at the South 1/4 corner of said Section 14; thence North 01°11'10" East, 187.60 feet along the North-South 1/4 line of said Section 14; thence South 88°48'50" East 18.92 feet to the POINT OF BEGINNING; thence North 01°10'56" East, 75.00 feet; thence 31.42 feet along the arc of a non-tangential curve to the left, having a radius of 20.00 feet, central angle of 90°00'00", and a long chord bearing South 43°49'04" East a distance of 28.28 feet; thence South 88°49'04" East, 24.78 feet; thence North 61°09'36" East, 128.47 feet; thence South 28°50'24" East, 22.00 feet; thence South 61°09'36" West, 160.35 feet; thence North 88°49'04" West, 8.19 feet; thence 31.42 feet along the arc of a curve to the left, having a radius of 20.00 feet, a central angle of 90°00'00", and long chord bearing South 46°10'56" West a distance of 28.28 feet to the POINT OF BEGINNING.

**LEGAL DESCRIPTION OF EASEMENT "C"**

A variable width easement for ingress and egress purposes located in the Southwest 1/4 of the Southeast 1/4 of Section 14, Township 27 North, Range 11 West, Garfield Township, Grand Traverse County, Michigan, being more particularly described as: Commencing at the South 1/4 corner of said Section 14; thence North 01°11'10" East, 187.60 feet along the North-South 1/4 line of said Section 14; thence South 88°48'50" East 18.92 feet; thence North 01°10'56" East, 75.00 feet; thence 31.42 feet along the arc of a non-tangential curve to the left, having a radius of 20.00 feet, central angle of 90°00'00", and a long chord bearing South 43°49'04" East a distance of 28.28 feet; thence South 88°49'04" East, 24.78 feet; thence North 61°09'36" East, 81.94 feet to the POINT OF BEGINNING; thence North 20°01'44" East, 22.38 feet; thence 27.83 feet along the arc of a curve to the right, having a radius of 80.00 feet, central angle of 19°55'45", and long chord bearing North 29°59'37" East a distance of 27.69 feet; thence South 88°23'25" East, 33.95 feet; thence 34.17 feet along the arc of a non-tangential curve to the left, having a radius of 60.00 feet, a central angle of 32°37'33", and a long chord bearing South 40°34'55" West a distance of 33.71 feet; thence South 61°09'36" West, 38.26 feet to the POINT OF BEGINNING.


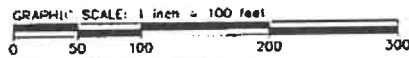
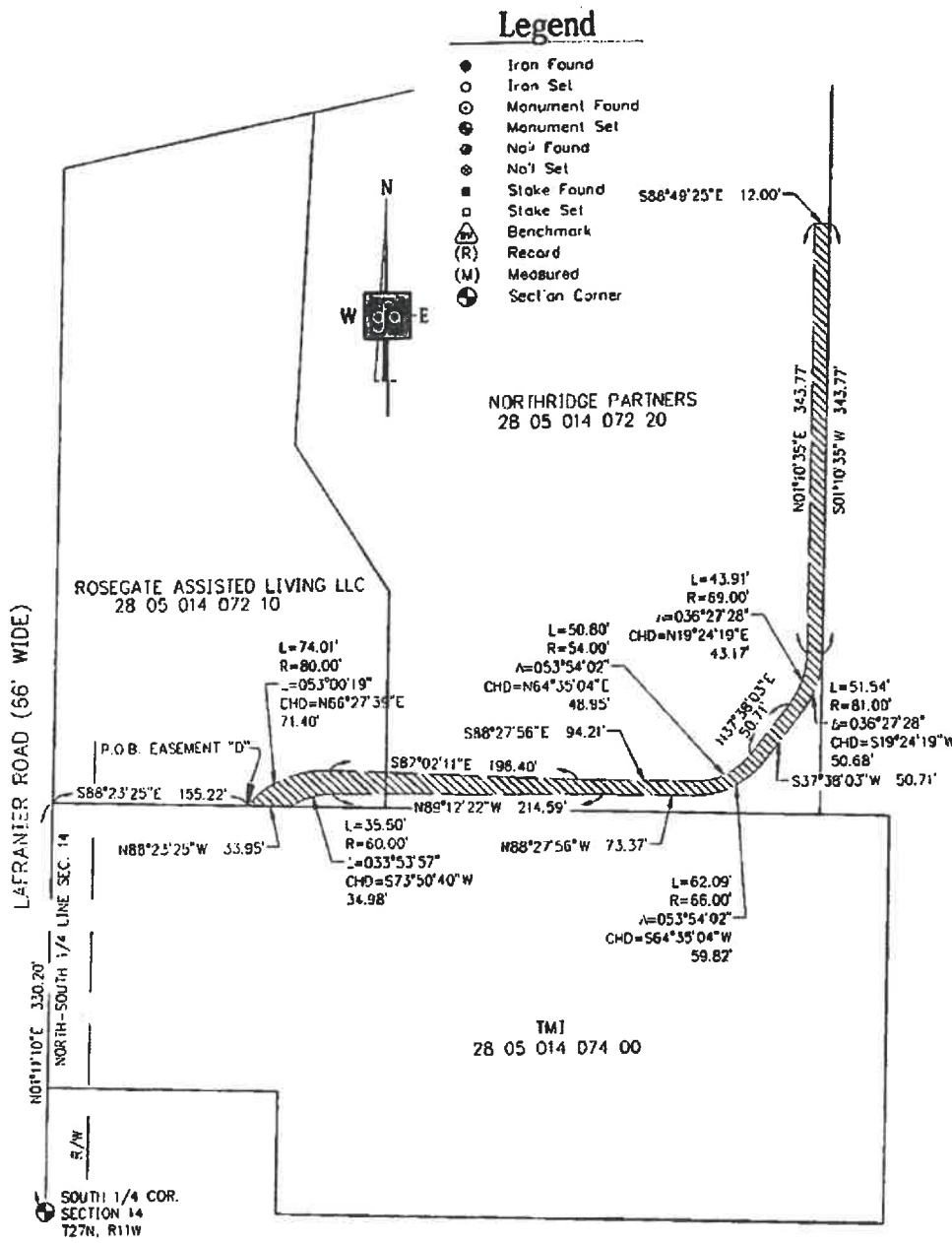
<b>ROSEGATE ASSISTED LIVING, LLC</b>		<b>BASE OF MEASUREMENT: MICHIGAN STATE PLANE COORDINATES</b>	
PREPARED FOR: <b>ENGINEERING SURVEYING TESTING &amp; OPERATIONS</b> 123 West Front Street Traverse City, MI 49684		http://gfa.io 231.946.5874 (p) 231.946.3705 (f)	LOCATION: PART OF SOUTHEAST 1/4 SECTION 14, TOWN 27 NORTH, RANGE 11 WEST GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY, MI
			DATE: 10/23/2015 BY: FDC SHEET: 15446 2 OF 2
THIS DOCUMENT IS PREPARED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THE CONTRACT FOR THIS PROJECT.			

EXHIBIT B

EASEMENT SKETCH



<b>PREPARED FOR: ROSEGATE ASSISTED LIVING, LLC</b>		<b>DATE: 12/23/2015</b>	
<b>ENGINEERING SURVEYING TESTING &amp; OPERATIONS</b>		<b>PROJECT: PART OF SOUTHEAST 1/4 SECTION 14, TOWN 27 NORTH, RANGE 11 WEST GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY, MI</b>	
		<b>CLIENT: CLL (c) PDC</b>	
<a href="http://gfa.lc">http://gfa.lc</a> 231.946.5874 (p) 231.946.5708 (f)		<b>15446</b>	
123 West Front Street Traverse City, MI 49684		<b>SHT 1 OF 2</b>	


## EASEMENT DESCRIPTION

**LEGAL DESCRIPTION OF EASEMENT "D"**

A variable width easement for ingress and egress purposes located in the Southwest 1/4 of the Southeast 1/4 of Section 14, Township 27 North, Range 11 West, Garfield Township, Grand Traverse County, Michigan, being more particularly described as: Commencing at the South 1/4 corner of said Section 14; thence North 01°11'10" East, 330.20 feet along the North-South 1/4 line of said Section 14; thence South 88°23'25" East, 155.22 feet to the POINT OF BEGINNING; thence 74.01 feet along the arc of a non-tangential curve to the right, having a radius of 80.00 feet, central angle of 53°00'19", and a long chord bearing North 66°27'39" East a distance of 71.40 feet; thence South 87°02'11" East, 196.40 feet; thence South 88°27'56" East, 94.21 feet; thence 50.80 feet along the arc of a curve to the left, having a radius of 54.00 feet, central angle of 53°54'02", and a long chord bearing North 64°35'04" East a distance of 48.95 feet; thence North 37°38'03" East, 50.71 feet; thence 43.91 feet along the arc of a curve to the left, having a radius of 69.00 feet, central angle of 36°27'28", and a long chord bearing North 19°24'19" East a distance of 43.17 feet; thence North 01°10'35" East, 343.77 feet; thence South 88°49'25" East, 12.00 feet; thence South 01°10'35" West, 343.77 feet; thence 51.54 feet along the arc of a curve to the right, having a radius of 81.00 feet; central angle of 36°27'28", and a long chord bearing South 19°24'19" West a distance of 50.68 feet; thence South 37°38'03" West, 50.71 feet; thence 62.09 feet along the arc of a curve to the right, having a radius of 66.00 feet, central angle of 53°54'02", and a long chord bearing South 64°35'04" West 59.82 feet; thence North 88°27'56" West, 73.37 feet; thence North 89°12'22" West, 214.59 feet; thence 35.50 feet along the arc of a curve to the left, having a radius of 60.00 feet, central angle of 33°53'57", and a long chord bearing South 73°50'40" West a distance of 34.98 feet; thence North 88°23'25" West, 33.95 feet to the POINT OF BEGINNING.

PREPARED FOR: **ROSEGATE ASSISTED LIVING, LLC**

BASES OF BEARINGS: MICHIGAN STATE PLAIN COORDINATES

<p><b>ENGINEERING SURVEYING TESTING &amp; OPERATIONS</b></p> <p>123 West Front Street Traverse City, MI 49684</p>		<p><a href="http://gfa.lc">http://gfa.lc</a></p> <p>231.946.5874 (p)</p> <p>231.946.3703 (f)</p>	<p>Location: PART OF SOUTHEAST 1/4 SECTION 14, TOWN 27 NORTH, RANGE 11 WEST GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY, MI</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>DATE</td> <td>12/23/2015</td> </tr> <tr> <td>BY</td> <td>PJC</td> </tr> <tr> <td>NO. OF</td> <td>ELL CAP PDC</td> </tr> <tr> <td></td> <td style="text-align: center;">15446</td> </tr> <tr> <td>SHEET</td> <td style="text-align: center;">2 OF 2</td> </tr> </table>	DATE	12/23/2015	BY	PJC	NO. OF	ELL CAP PDC		15446	SHEET	2 OF 2
DATE	12/23/2015													
BY	PJC													
NO. OF	ELL CAP PDC													
	15446													
SHEET	2 OF 2													
<p>THESE DOCUMENTS ARE PREPARED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THE CONTRACT FOR THIS PROJECT.</p>														

# BURDCO, INC

# FRENCH MANOR LaFRAINER ADDITION

## CIVIL SITE PLAN

### AGENCIES

#### PLANNING/ZONING

GARFIELD TOWNSHIP  
3848 VETERANS DR.  
TRAVERSE CITY, MI 49684  
Contact: MICHAEL GREEN  
Phone: (231) 941-1620

#### BUILDING CODES

GARFIELD TOWNSHIP  
3848 VETERANS DR.  
TRAVERSE CITY, MI 49684  
Contact: CARL STUDZINSKI  
Phone: (231) 941-1620

#### D.P.W.

GRAND TRAVERSE COUNTY  
2650 LAFRANIER RD.  
TRAVERSE CITY, MI 49686  
Contact: JOHN DIVOZZO  
Phone: (231) 995-6039

#### ELECTRIC

CONSUMERS ENERGY  
821 HASTINGS ST.  
TRAVERSE CITY, MI 49686  
Contact: .  
Phone: (800) 477-5050

#### EGLE

ENVIRONMENT, GREAT LAKES & ENERGY  
120 W CHAPIN ST  
CADILLAC, MI 49601  
Contact: .  
Phone: (231) 775-1511

#### CABLE TELEVISION

SPECTRUM  
1392 TRADE CENTER DR  
TRAVERSE CITY, MI 49686  
Contact: .  
Phone: (231) 775-1511

#### SOIL AND EROSION

GRAND TRAVERSE COUNTY  
2650 LAFRANIER RD.  
TRAVERSE CITY, MI 49686  
Contact: FAITH SOUSA  
Phone: (231) 995-6051

#### TELEPHONE

AT&T  
142 E. STATE ST  
TRAVERSE CITY, MI 49684  
Contact: .  
Phone: (231) 941-2707

#### ROADS AND STREETS

GRAND TRAVERSE COUNTY ROAD COMMISSION  
1881 LAFRANIER RD.  
TRAVERSE CITY, MI 49686  
Contact: STEVE BARRY  
Phone: (231) 922-4848

#### NATURAL GAS

DTE  
1011 HASTINGS ST  
TRAVERSE CITY, MI 49686  
Contact: LAUREL HALL  
Phone: (231) 932-2832

#### FIRE CODE

GRAND TRAVERSE METRO EMERGENCY SERVICES  
897 PARSONS ROAD  
TRAVERSE CITY, MI 49686  
Contact: CHIEF - PAUL MACKIN  
Phone: (231) 947-3000, EXT 1235

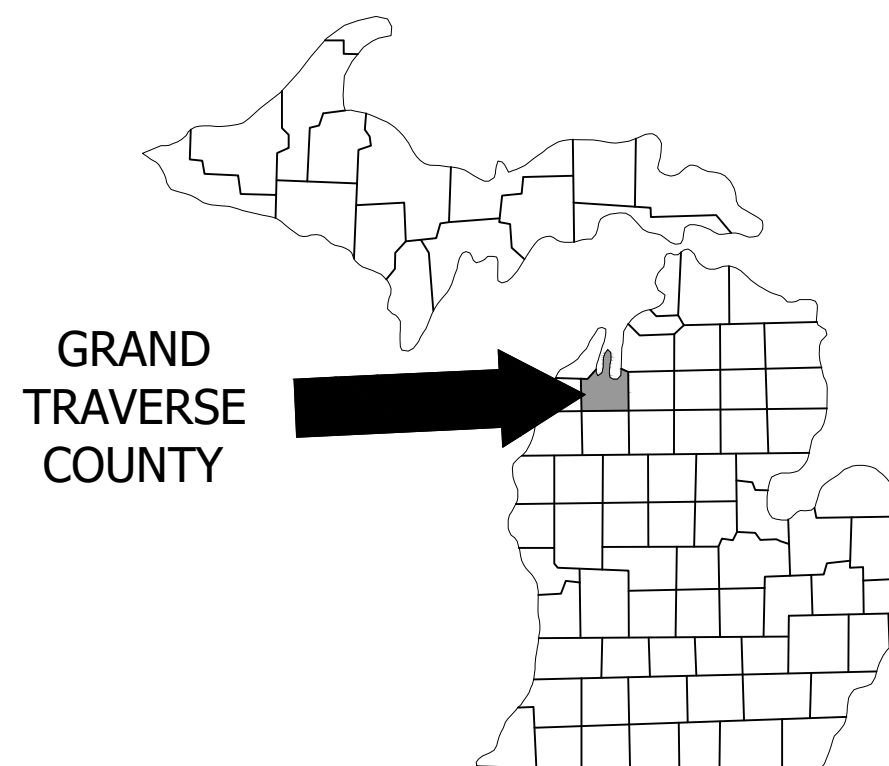
#### EMERGENCIES

POLICE DEPARTMENT: 9-1-1  
FIRE DEPARTMENTS: 9-1-1  
AMBULANCE: 9-1-1



### LOCATION MAP

SECTION 14, T27N, R11W, GARFIELD TOWNSHIP, GRAND TRAVERSE CO, MI  
NO SCALE



### VICINITY MAP

PROJECT LOCATION

### SHEET INDEX

T1	COVER SHEET
R1	NOTES & SPECIFICATIONS
C1	EXISTING SITE CONDITIONS & DEMOLITION PLAN
C2	PROPOSED DIMENSIONAL SITE PLAN
C3	PROPOSED UTILITIES PLAN
C4	GRADING, SOIL EROSION & STORMWATER CONTROL PLAN
C5	CONSTRUCTION DETAILS
C6	CONSTRUCTION DETAILS
D1	EXISTING DRAINAGE PLAN
D2	PROPOSED DRAINAGE PLAN
D3	FLOOD ROUTE PLAN
L1	SITE LANDSCAPE CONDITIONS

### OWNER

R&K ACKERMAN, LLC  
3735 YORKSHIRE DRIVE  
TRAVERSE CITY, MI 49685

### APPLICANT

BURDCO, INC  
1222 VETERANS DRIVE, SUITE A  
TRAVERSE CITY, MI 49684



Know what's below.  
Call before you dig.  
(3 WORKING DAYS)

THE LOCATION OF THE EXISTING UTILITIES, AS SHOWN ON THIS PLAN, ARE APPROXIMATE ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ACTUAL LOCATION AND DEPTH OF ALL EXISTING UTILITIES. THE OWNER AND THE SURVEYOR SHALL NOT BE RESPONSIBLE FOR ANY OMISSION OR VARIATION FROM THE LOCATION SHOWN. THE CONTRACTOR SHALL NOTIFY "MISS DIG" AT 1 (800) 482-7171 OR 811 THREE (3) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION

**MACHIN**  
ENGINEERING  
1235 E FRONT ST, Suite A  
TRAVERSE CITY, MI PH 231.935.1530  
www.machinengineering.net

**BURDCO**  
INCORPORATED  
DESIGN-BUILD-FINANCE  
1222 VETERANS DRIVE, SUITE A  
TRAVERSE CITY, MI 49684  
TELEPHONE: 231-941-9074  
FACSIMILE: 231-947-9135  
www.BURDCO.com



ON 22x34 SHEET SCALE: FULL (AS NOTED)  
ON 11x17 SHEET SCALE: HALF

REV	DESCRIPTION	DATE
A	REVIEW - 30% DESIGN	08/05/2024
B	REVIEW - 50% DESIGN	08/05/2024
C	REVIEW - 70% DESIGN	08/05/2024
D	ISSUED FOR PERMIT	08/05/2024
E	REVIEW - 90% DESIGN	08/05/2024
F	ISSUED FOR CONSTRUCTION	08/05/2024

DATE ISSUED: 08/05/2024  
ISSUE PHASE: CONSTRUCTION

PROJECT TITLE:  
PROPOSED  
FRENCH MANOR  
LaFRANIER  
ADDITION

CLIENT:  
BURDCO, INC  
1222 VETERANS DRIVE, SUITE A  
TRAVERSE CITY, MI 49684

PROJECT LOCATION:  
GRAND TRAVERSE CO, MI

SHEET TITLE:  
COVER  
SHEET

PROJECT NUMBER: 24130  
SHEET NUMBER: T1

**SPECIFICATIONS**

- ALL ELEVATIONS ARE BASED ON NAVD88 VERTICAL DATUM.
- ALL PROPERTY IRONS AND MONUMENTS, IF DISTURBED OR DESTROYED BY THE CONTRACTOR, SHALL BE REPLACED BY A MICHIGAN REGISTERED PROFESSIONAL SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- LOCATION OF UTILITIES OR OTHER STRUCTURES SHOWN ON THE PLANS ARE TAKEN FROM UTILITY COMPANY OR OTHER RECORDS BELIEVED TO BE RELIABLE. THE OWNER AND ENGINEER ARE NOT RESPONSIBLE FOR ANY OMISSIONS OR VARIATIONS IN THE LOCATION OF THE UTILITIES ENCOUNTERED IN THE WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS DIG" (800) 482-7171, A MINIMUM OF THREE WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION IN THE AREA OF THE WORK.
- PRIOR TO THE INSTALLATION OF ANY PROPOSED STORMWATER MANAGEMENT, THE EXISTING UTILITIES WHICH CROSS THE PROPOSED WORK AREA SHALL BE EXPOSED BY THE CONTRACTOR TO DETERMINE ANY POSSIBLE CONFLICTS WITH THE PROPOSED WORK.
- ANY UTILITIES, MAINS, SERVICES, UNDERDRAINS, OIL LINES, OR OTHER SIMILAR ITEMS DAMAGED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE UTILITY OWNER IN A MANNER ACCEPTABLE TO THE UTILITY OWNER. ALL COSTS FOR REPAIR OR REPLACEMENT SHALL BE PAID BY THE CONTRACTOR, INCIDENTAL TO THE PROJECT.
- CONTRACTOR SHALL PROVIDE ADEQUATE SUPPORT FOR UTILITY POLES AS NECESSARY. CONTRACTOR SHALL CONSULT WITH THE UTILITY COMPANY PRIOR TO ANY DISTURBANCE OF UTILITY POLE OR ANCHORING SYSTEM.
- ALL TREES, SHRUBS AND LANDSCAPING NOT DESIGNATED TO BE REMOVED SHALL BE PROTECTED DURING CONSTRUCTION. ANY TREES, SHRUBS OR LANDSCAPING DAMAGED IN ANY WAY BY THE CONTRACTOR INCLUDING DAMAGING ROOTS, SHALL BE REPLACED WITH LIKE SPECIES AND SIZE AT THE CONTRACTOR'S EXPENSE.

**SPECIFICATIONS (CONTINUED)**

**DIVISION 02 – EXISTING CONDITIONS**

**GENERAL**

- ALL ITEMS TO BE DEMOLISHED SHALL BE REMOVED FROM SITE UNLESS OTHERWISE STATED.
- SITE IS NOT BALANCED. SPOILS WILL BE GENERATED AND HAULED TO APPROVED OFFSITE LOCATION FOR DISPOSAL.

**DIVISION 03 – CONCRETE**

**CAST IN-PLACE CONCRETE**

- ALL CONCRETE WORK SHALL CONFORM TO ACI SPECIFICATIONS, 5% ±1% AIR ENTRAINED.
- FORM ALL CONCRETE WORK.
- CEMENT TYPE I OR II
- SLABS AND WALKS: F'c =4,000 PSI @ 28-DAYS.
- REINFORCING STEEL TO CONFORM TO ASTM A-615 (GRADE 60).
- SLABS ADJOINING OTHER STRUCTURES AND WHERE ELSE INDICATED ON THE PLANS SHALL HAVE MIN 1/2" EXPANSION FELT WITH PVC ZIP STRIPS AND SEALANT
- SUBGRADE SHALL BE COMPACTED TO A MIN. OF 95% OF MAXIMUM DRY DENSITY BY MODIFIED PROCTOR IN ACCORDANCE WITH ASTM D1557.
- COORDINATE WORK BY OTHERS THAT WOULD IMPACT THE QUALITY AND PERFORMANCE OF THE FINISHED CONCRETE.
- COMPLY WITH THE PAVEMENT PLAN FOR FINISH REQUIREMENTS.
- CONTROL JOINTS SHALL BE SAW CUT IN MAX 100 SFT INCREMENTS FOR PAVEMENTS OR EVEN SQUARES FOR SIDEWALKS.
- MAXIMUM SPACING FOR CONTRACTION AND EXPANSION JOINTS IS 40 FEET U.N.O.
- FIBER REINFORCEMENT SHALL COMPLY WITH ASTM C1116. FIBERS SHALL BE DESIGNED AND ENGINEERED SPECIFICALLY FOR CONCRETE REINFORCEMENT AND HAVE LONG-TERM RESISTANCE TO DETERIORATION WHEN EXPOSED TO MOISTURE AND ALKALIS. ADD FIBER REINFORCEMENT TO MIX AT A RATE OF 1.5 POUNDS PER CUBIC YARD, OR AS RECOMMENDED BY MANUFACTURER FOR SPECIFIC PROJECT CONDITIONS.

**DIVISION 31 – EARTHWORK**

**SITE CLEARING**

- CONTACT MISS DIG AT 8-1-1 A MIN. OF 72 HOURS PRIOR TO COMMENCING WORK
- INSTALL TEMPORARY SOIL AND EROSION CONTROL MEASURES. REMOVE UPON COMPLETION OF PROJECT AND ONCE VEGETATION IS ESTABLISHED. MAINTAIN THESE MEASURES IN WORKING ORDER AT ALL TIMES.
- COMPLY WITH THE INDIVIDUAL REQUIREMENTS ON THE AGENCY PERMITS.

**EARTHWORK**

- PROTECT ALL STRUCTURES AND THOSE AREAS DESIGNATED FOR PROTECTION.
- CONSTRUCT ALL GRADES TO THAT DESIGNATED ON THE PLANS. ANY DISCREPANCIES SHOULD BE IDENTIFIED AHEAD OF CONSTRUCTION TO THE ENGINEER. ENGINEER WILL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES THAT ARE NOT DISCUSSED PRIOR TO CONSTRUCTION.
- ALL STORED MATERIALS SUCH AS FILL MATERIALS, TOPSOIL, AND ANY OTHER TEMP. STOCKPILES SHALL BE STORED ON OWNER'S PROPERTY IN DESIGNATED AREAS.
- MAINTAIN ALL SLOPES TO A MIN OF 3H:1V U.N.O. WHERE SLOPES ARE GREATER THAN 3H:1V, SLOPE STABILIZATION PRACTICES SHALL BE MAINTAINED UNTIL ADEQUATE VEGETATION IS ESTABLISHED.
- ALL SUBBASE MATERIAL SHALL BE MDOT CLASS II
- COMPACT ALL BACKFILLS AND FOUNDATIONS SOILS TO A MIN. OF 98% OF MAX. DRY DENSITY.
- CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING GROUND COVER ON AREAS DISTURBED BY CONSTRUCTION AND SHALL REPAIR ALL WASHOUTS AND EROSION DURING THE GUARANTEE PERIOD ON ONE (1) YEAR AFTER GROUND COVER IS ESTABLISHED AT NO ADDITIONAL COST TO THE OWNER.
- FINAL GRADES OF PAVED PARKING AREA SHALL BE SUCH THAT POSITIVE DRAINAGE IS ATTAINED TOWARD LOW POINTS OR VALLEYS WHERE INDICATED.

**DIVISION 32 – EXTERIOR IMPROVEMENTS**

**LAWNS AND GRASSES**

- PROCEED WITH PLANTING ONLY WHEN EXISTING AND FORECASTED WEATHER CONDITIONS PERMIT PLANTING TO BE PERFORMED WHEN BENEFICIAL AND OPTIMUM RESULTS MAY BE OBTAINED.
- SEEDING ON NON-MAINTAINED AREAS: CEREAL RYE MIX.
- FERTILIZER: 240 LBS/ACRE.
- MULCH: STRAW MULCH AT 2 TONS/ACRE OR SPRAY APPLIED TACKIFIER.
- EXCELSIOR MULCH BLANKETS: NORTH AMERICAN GREEN DS150 ON SLOPES GREATER THAN 3H:1V AND ALONG ALL TRAFFIC AREAS.
- USE TURF REINFORCEMENT MATS IN AREAS WHERE SLOPES ARE GREATER THAN 3H:1V
- ROLL AND RAKE TOPSOIL, REMOVE RIDGES, FILL DEPRESSIONS, REMOVE ALL DELETERIOUS DEBRIS, ROCKS GREATER THAN 1" IN DIA., CONSTRUCTION DEBRIS, ET CETERA.
- PROMPTLY CLEANUP DEBRIS FROM OPERATIONS.

**DIVISION 33 – UTILITIES/STORMWATER**

**MATERIAL**

- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE TOWNSHIPS CURRENT STANDARDS, SPECIFICATIONS AND DETAILS (2017 GRAND TRAVERSE COUNTY STANDARD TECHNICAL SPECIFICATIONS AND CONSTRUCTION DETAILS, ADOPTED ON SEPTEMBER 26, 2017 (AS AMENDED).
- PIPE BEDDING, THRUST BLOCKS, HYDRANT, VALVES, VALVES MANHOLES, AND ALL APPURTENANCES SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS & DETAILS.
- CATCH BASINS SHALL BE INSTALLED WITH FINAL RIM ELEVATION AND INVERTS AS SHOWN ON PLANS. CATCH BASINS SHALL HAVE SUMPS MATCHING THE DIMENSIONS AS IDENTIFIED IN THE DETAILS WHERE SHOWN. MINIMUM SUMP DEPTH TO BE 2.0' U.N.O.
- ALL STONE SHALL BE CLEAN, CRUSHED, AND ANGULAR MEETING MDOT 6A CRUSHED REQUIREMENTS OR EQUAL.

**SPECIFICATIONS (CONTINUED)**

- PIPING SHALL BE SMOOTHED LINED, CORRUGATED PLASTIC PIPE SIMILAR TO ADS N-12 WT IB OR EQUAL AND SHALL BE DESIGNED TO MEET APPLICABLE AASHTO LOADING FOR INSTALLATIONS UNDER ASPHALT ROADS.
- INSTALLATION OF STORMWATER PIPE SHALL BE IN ACCORDANCE WITH ASTM D2321 AND MANUFACTURER GUIDELINES.
- GEOTEXTILE FABRIC SHALL BE FREE DRAINING, NON-WOVEN WITH AN EQUIVALENT WEIGHT TO 60Z AS PRODUCED BY CSI GEOTEURF OR EQUAL.
- POSITIVE DRAINAGE TO STORM SEWER AT BUILDING PERIMETERS AND ENTRIES IS REQUIRED.
- STORM DRAINAGE LINES AND CULVERTS REQUIRED TO BE WATERTIGHT.
- ALL DRAIN GRATES AND MANHOLE COVERS SHALL BE CAST IRON AND FABRICATED TO SUPPORT AN HS-20 DESIGN AXLE LOAD.
- ALL DRAIN GRATES AND MANHOLE COVERS SHALL BE SET TO FINAL GRADE BY USE OF CONCRETE RINGS AND ADJUSTMENT COLLARS MADE FOR THAT PURPOSE.

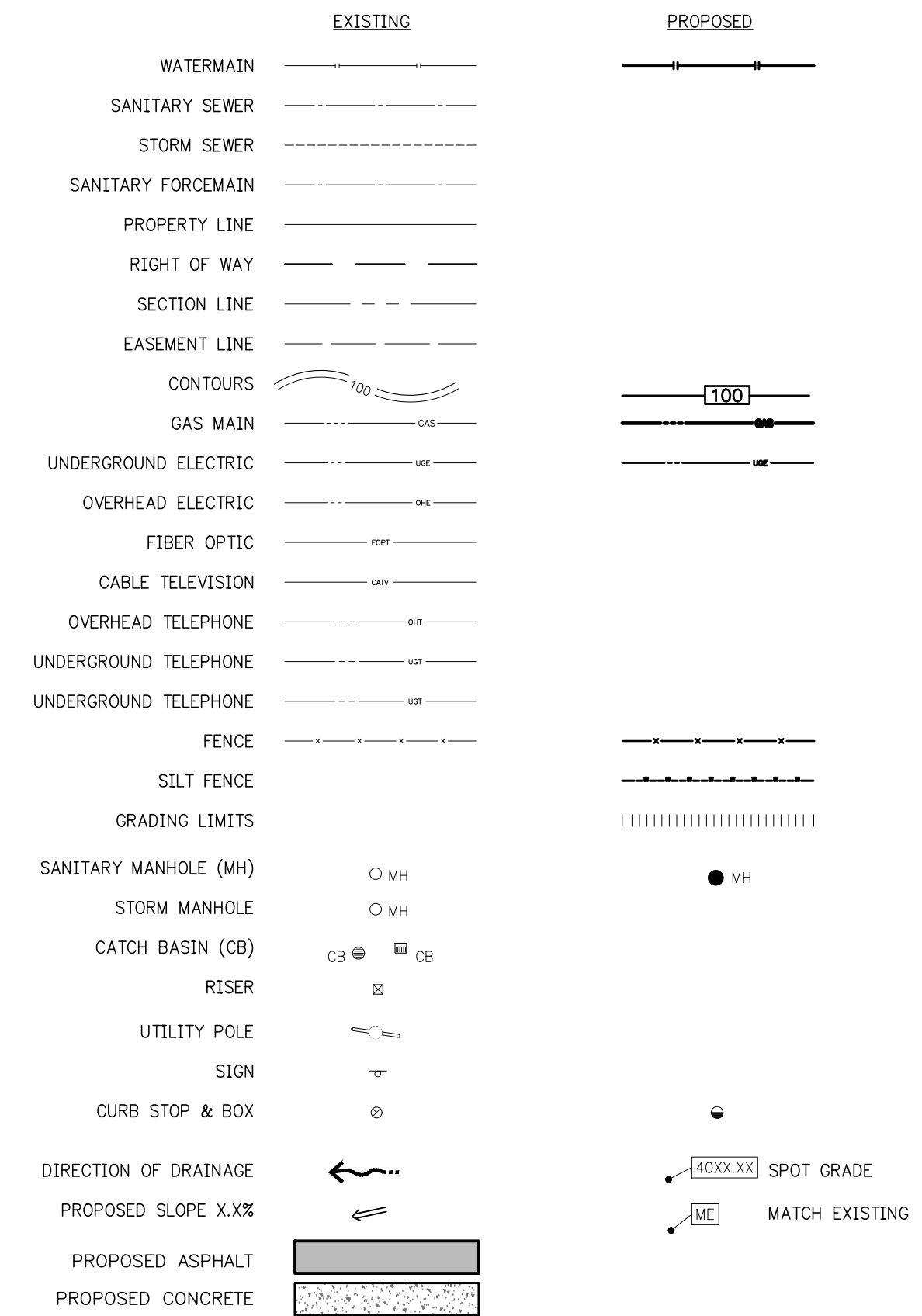
**SNOW STORAGE REQUIRED**

PARKING AREA = 17,061.8 SFT > 2,700 SFT PER ORDINANCE

SNOW STORAGE AREA REQUIRED = 17,061.8 SFT x (10 SFT / 100 SFT) = 1,706.2 SFT  
SHOWN TO SATISFY TOWNSHIP COMMENT

SNOW STORAGE PROVIDED  
1,052 SFT + 933 SFT = 1,985 SFT  
STORAGE PROVIDED > REQUIRED STORAGE

**LEGEND**



**MACHIN ENGINEERING**  
1235 E FRONT ST, Suite A  
TRAVERSE CITY, MI PH 231.935.1530  
www.machinengineering.net

**BURDCO INCORPORATED**  
1222 VETERANS DRIVE, SUITE A  
TRAVERSE CITY, MI 49684  
TELEPHONE: 231-941-9074  
FACSIMILE: 231-947-9135  
www.BURDCO.com

STATE OF MICHIGAN  
ERIC R. SANDMANN  
Licenses No.  
6201313372  
09/30/2024  
LICENSED PROFESSIONAL ENGINEER

ON 22x34 SHEET SCALE: FULL (AS NOTED)  
ON 11x17 SHEET SCALE: HALF

REV#	DESCRIPTION	DATE
A	REVIEW 50% DESIGN	KAS09/08/24
B	REVIEW 70% DESIGN	KAS09/10/24
C	REVIEW 70% DESIGN	KAS09/10/24
D	ISSUED FOR PERMIT	KAS09/10/24
E	REVIEW 90% DESIGN	KAS09/11/24
F	ISSUED FOR CONSTRUCTION	KAS09/11/24

DESIGNED BY	CHECKED BY	APPROVED BY	CREATED
ESJ	FJM	ENC	08/05/2024

REVISION . . . . .  
DATE ISSUED: 08/05/2024  
ISSUE PHASE: CONSTRUCTION

PROJECT TITLE:  
**PROPOSED FRENCH MANOR LaFRANIER ADDITION**

CLIENT:  
BURDCO, INC.  
1222 VETERANS DRIVE, SUITE A  
TRAVERSE CITY, MI 49684

PROJECT LOCATION:  
**GRAND TRAVERSE CO, MI**

SHEET TITLE:  
**NOTES & SPECIFICATIONS**

PROJECT NUMBER **24130**  
SHEET NUMBER **R1**



**BENCHMARK DATA**  
 BM #1: NAIL IN SOUTH SIDE OF LIGHT POLE  
 ELEV= 706.80' (NAVD 88)

**MACHIN ENGINEERING**  
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 TRAVERSE CITY, MI PH 231.935.1530  
 www.machinengineering.net

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 TRAVERSE CITY, MI 49684  
 TELEPHONE: 231-941-9074  
 FACSIMILE: 231-947-9135  
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STATE OF MICHIGAN  
 ERIC R. SANDMANN  
 License No. 6201313372  
 09/30/2024  
 LICENSED PROFESSIONAL ENGINEER

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REV#	DESCRIPTION	DATE
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F	ISSUED FOR CONSTRUCTION	08/05/2024

DATE ISSUED: 08/05/2024

ISSUE PHASE: CONSTRUCTION

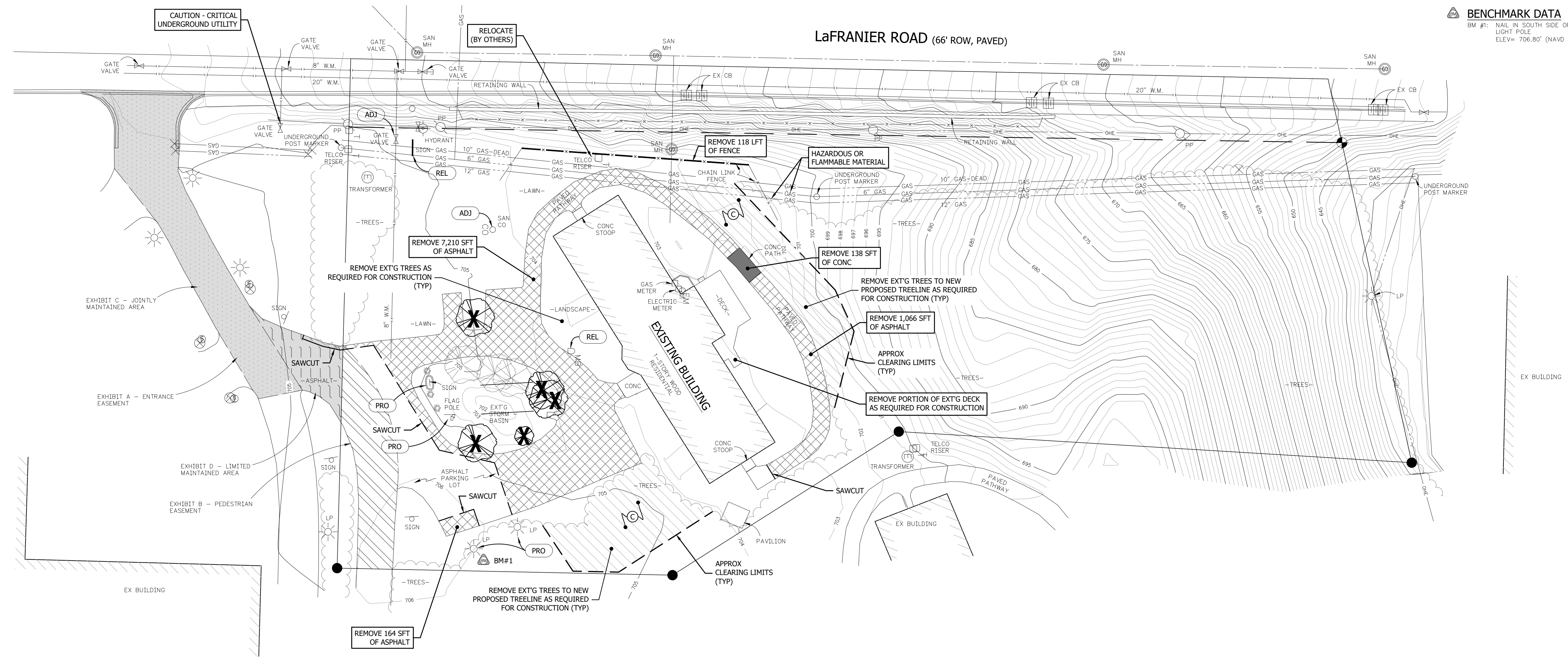
PROJECT TITLE:  
**PROPOSED FRENCH MANOR LaFRANIER ADDITION**

CLIENT:  
 BURDCO, INC.  
 1222 VETERANS DRIVE, SUITE A  
 TRAVERSE CITY, MI 49684

PROJECT LOCATION:  
**GRAND TRAVERSE CO, MI**

SHEET TITLE:  
**EXISTING SITE CONDITIONS & DEMOLITION PLAN**

PROJECT NUMBER: **24130**  
 SHEET NUMBER: **C1**



**NOTES**

- ALL BOUNDARY SURVEY INFORMATION PROVIDED BY SIMMER LAND SURVEYING, MESICK, MI. ENGINEER MAKES NO REPRESENTATION OR GUARANTEES TO ITS ACCURACY. CONTACT SIMMER LAND SURVEYING (231) 429-4914 SHOULD ANY CONFLICTS WITH THIS INFORMATION ARISE.
- REMOVE ALL TREES AS REQUIRED TO PERFORM REQUIRED WORK.
- CLEAR AND GRUB IN CONFORMANCE WITH TECHNICAL SPECIFICATIONS.
- COORDINATE ALL INDIVIDUAL TREE REMOVALS (NOT SHOWN ON SURVEY) WITH OWNER.

**LEGAL DESCRIPTION (as provided)**

A PARCEL 05-014-072-10;  
 DESCRIPTION AS FURNISHED - PHASE 1 DESCRIPTION  
 PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER, SECTION 14, TOWN 27 NORTH, RANGE 11 WEST, GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY, MI, MORE FULLY DESCRIBED AS: COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 14; THENCE NORTH 00° 19' 00" WEST, 330.00 FEET ALONG THE NORTH AND SOUTH QUARTER LINE OF SAID SECTION 14 TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID QUARTER LINE NORTH 00° 19' 00" WEST, 509.05 FEET; THENCE NORTH 76° 14' 04" EAST, 204.41 FEET; THENCE SOUTH 01° 59' 42" WEST, 267.76 FEET; THENCE SOUTH 33° 49' 00" EAST, 139.49 FEET; THENCE SOUTH 00° 19' 00" EAST, 174.43 FEET PARALLEL WITH SAID NORTH AND SOUTH QUARTER LINE; THENCE NORTH 89° 57' 00" WEST, 265.01 FEET TO THE POINT OF BEGINNING.  
 SAID PARCEL CONTAINS 2.74 ACRES (2.0 ACRES EXCLUDING RIGHT-OF-WAY AND EASEMENTS).  
 SUBJECT TO THE RIGHT-OF-WAY OF LaFRANIER ROAD OVER THE WEST 33 FEET THEREOF.  
 ALSO SUBJECT TO A 66 FOOT WIDE EASEMENT FOR THE PURPOSE OF INGRESS, EGRESS, AND INSTALLATION AND MAINTENANCE OF PUBLIC AND PRIVATE UTILITIES OVER THE SOUTH 66 FEET THEREOF.  
 SUBJECT TO OTHER EASEMENTS OR RESTRICTIONS, IF ANY.

**LEGEND**

	EXISTING CONC. SIDEWALK TO BE REMOVED		EXHIBIT A - ENTRANCE EASEMENT
	EXISTING BIT., CONC., & GRAVEL TO BE REMOVED		EXHIBIT B - PEDESTRIAN EASEMENT
	EXISTING SITE FEATURES TO BE REMOVED		EXHIBIT C - JOINTLY MAINTAINED AREA
	EXISTING CONTOURS		EXHIBIT D - LIMITED MAINTAINED AREA
	REMOVE ITEM		
	RELOCATE ITEM		
	ADJUST ITEM		
	PROTECTION ITEM		
	SALVAGE ITEM		
	CLEARING		
	REMOVAL		

E:\MACHIN\ENGINEERING\2024\24130\_BURDCO\PROJECTS\2024\24130\_BURDCO\_ML\FRENCH MANOR LaFRANIER\_GARBFIELD\DRAWINGS\24130\_DWG\_REV\24130\_DWG\_08-05-24\_2:06 PM\_KIRTSCHULTZ



ON 22x34 SHEET SCALE: FULL (AS NOTED)  
 ON 11x17 SHEET SCALE: HALF

REV#	DESCRIPTION	DATE
A	REVIEW - 50% DESIGN	KAS08/02/24
B	REVIEW - 50% DESIGN	KAS08/02/24
C	REVIEW - 70% DESIGN	KAS08/02/24
D	ISSUED FOR PERMIT	KAS08/02/24
E	REVIEW - 90% DESIGN	KAS08/02/24
F	ISSUED FOR CONSTRUCTION	KAS08/02/24

DESIGNED BY:	CHECKED BY:	APPROVED BY:	CREATED:
ERIC R. SANDMANN	ERIC R. SANDMANN	ERIC R. SANDMANN	08/05/2024

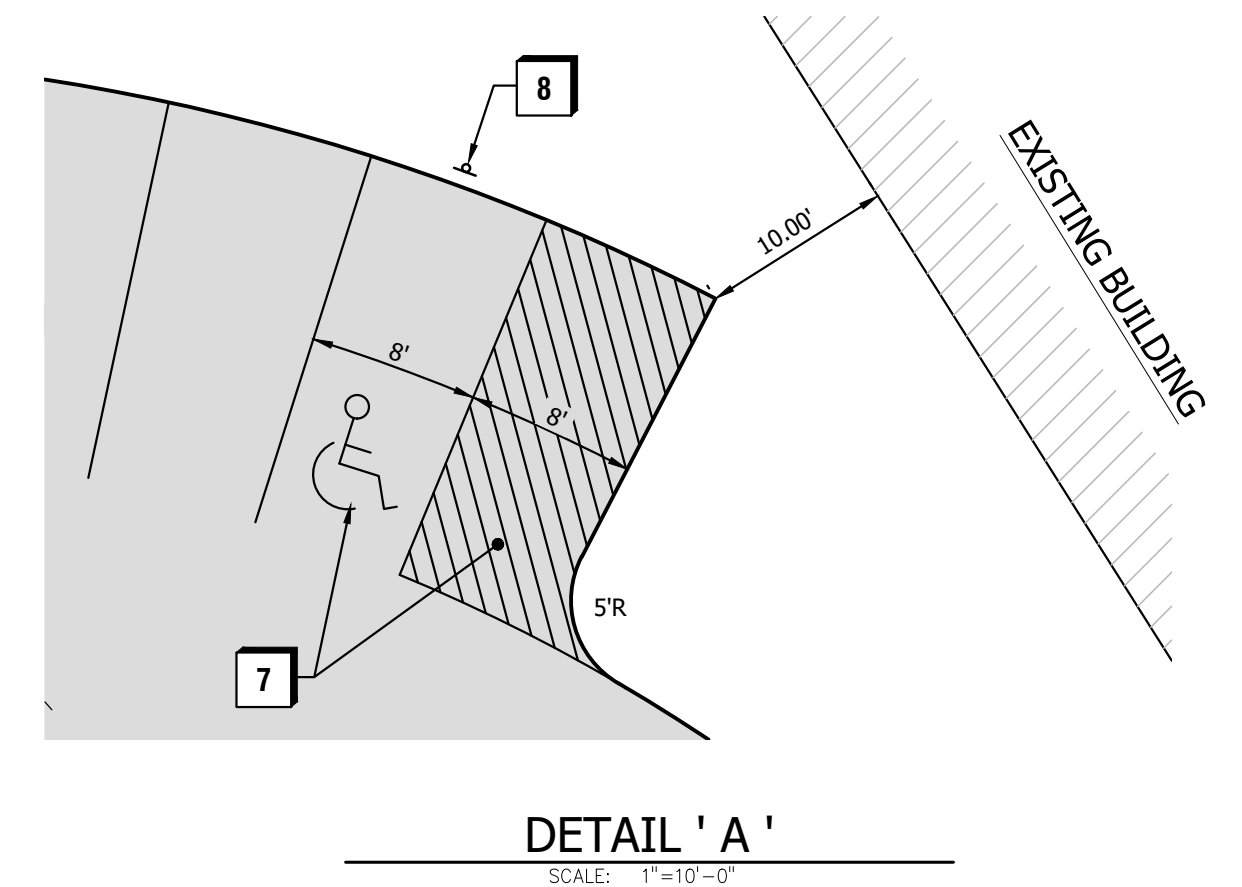
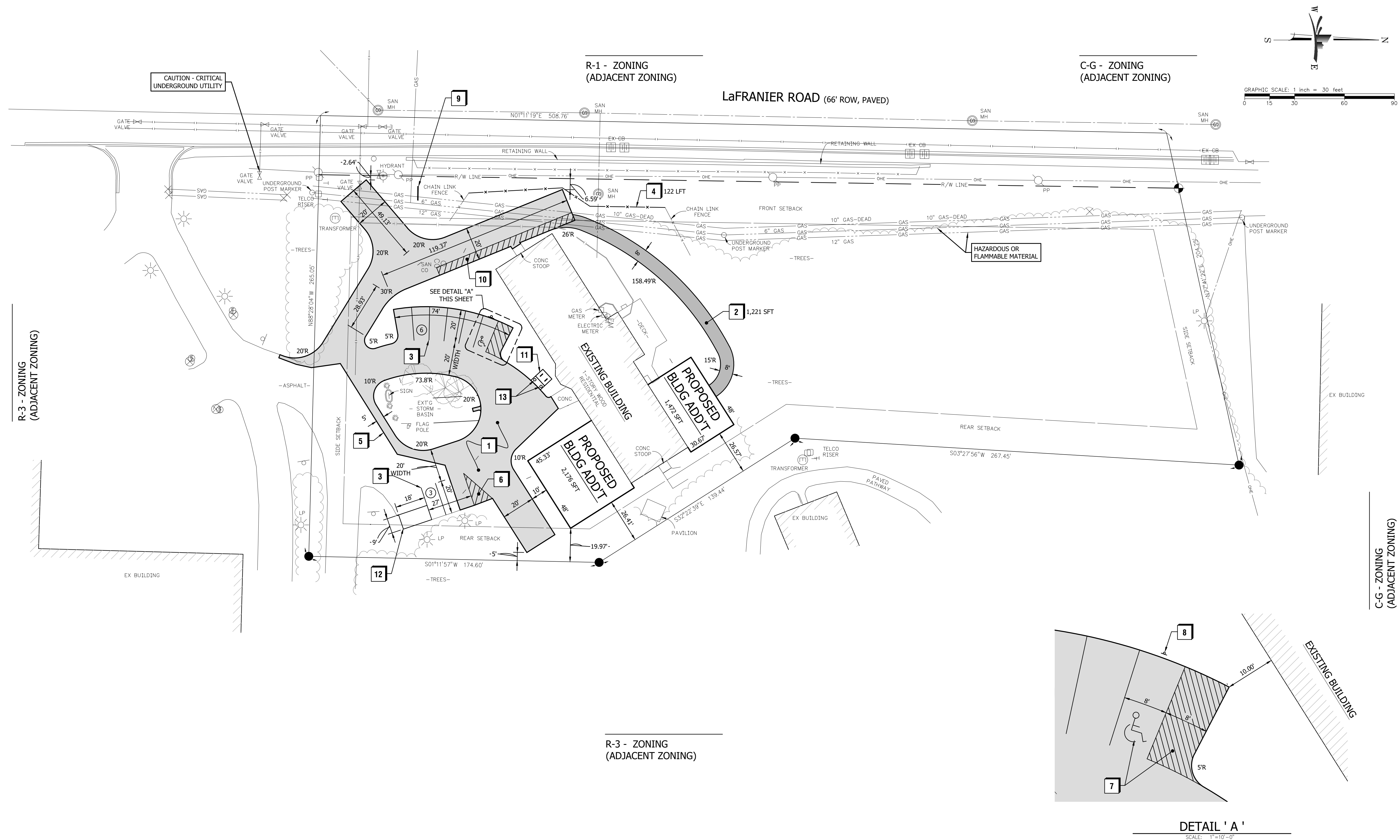
DATE ISSUED: 08/05/2024  
 ISSUE PHASE: CONSTRUCTION  
 PROJECT TITLE:  
**PROPOSED FRENCH MANOR LaFRANIER ADDITION**

CLIENT:  
 BURDCO, INC  
 1222 VETERANS DRIVE, SUITE A  
 TRAVERSE CITY, MI 49684

PROJECT LOCATION:  
**GRAND TRAVERSE CO, MI**

SHEET TITLE:  
**PROPOSED DIMENSIONAL SITE PLAN**

PROJECT NUMBER: **24130**  
 SHEET NUMBER: **C2**



**NOTES**

- DEVELOPMENT OF THIS SITE SHALL BE IN ACCORDANCE WITH STATE, COUNTY AND CITY REQUIREMENTS.
- VERIFY FINAL BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
- EXISTING SIGNAGE NOT TO CHANGE.
- LANDSCAPE REQUIREMENTS USES TRADE-OFF FOR NEIGHBORING TREE LINE TO SOUTH AND EAST OF PROPOSED ADDITION.
- ALL DISTURBED AREAS SHALL BE TOPSOILED, SEEDED, MULCHED, AND FERTILIZED.
- ALL BIKE RACKS TO MEET GARFIELD TOWNSHIP SPECIFICATIONS.

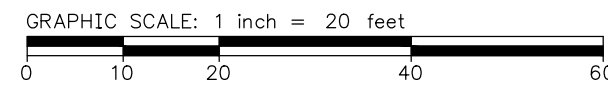
**PROJECT INFORMATION**

<b>SITE INFORMATION</b>	
PARCEL CURRENT ZONING:	R-3 MULTI-FAMILY RESIDENTIAL
PROPOSED USE:	ADULT FOSTER CARE
PARCEL ADDRESS:	3090 LaFRANIER RD
PROPERTY TAX ID:	05-014-072-10
SECTION, TOWN, RANGE:	14, T27N, R11W
GROSS AREA OF PARCELS (EXCLUDING R/W):	101,373.70 SFT (2.33 AC)
DEVELOPED AREA:	61,698 SFT (1.42 AC)
MIN LOT SIZE:	+/-15,000 SFT (0.34 AC)
MIN LOT WIDTH:	153 FT
BUILDING COVERAGE:	10,058 SFT (10%)
YARD SETBACK:	

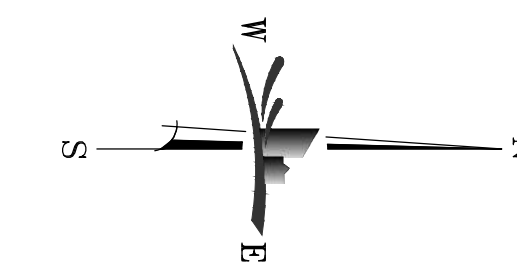
**CONSTRUCTION NOTES**

- INSTALL BITUMINOUS PAVT SEE DETAIL '1/C'
- INSTALL 8' WIDE BITUMINOUS PATHWAY SEE DETAIL '2/C'
- 20' x 9' PARKING STALL. PARKING STALL STRIPE, 4" YELLOW
- INSTALL CHAIN LINK FENCE
- INSTALL FULL DEPTH ASPHALT PAVEMENT SEE DETAIL '3/C'
- INSTALL "NO PARKING" STRIPS, 4" YELLOW
- ADA PARKING SPACE. ADA PARKING STALL STRIPE, 4" BLUE HANDICAP SYMBOL - WHITE ON BLUE BACKGROUND SEE DETAIL '8/C'
- INSTALL ADA COMPLIANT SIGNAGE SEE DETAIL '7/C'
- RE-INSTALL SALVAGE BUSINESS SIGN. CONTRACTOR TO COORDINATED WITH OWNER.
- INSTALL 5' WIDE STRIPED PATHWAY, 4" YELLOW
- INSTALL 8' x 6' CONCRETE PAD FOR BICYCLE PARKING SEE DETAIL '11/C'
- INSTALL DUMPSTER AREA ON 4" CONCRETE PAD ENCLOSED W/ 6' HIGH SOLID SCREEN SEE DETAIL '2/C'
- INSTALL 6" BOLLARD POST SEE DETAIL '12/C'

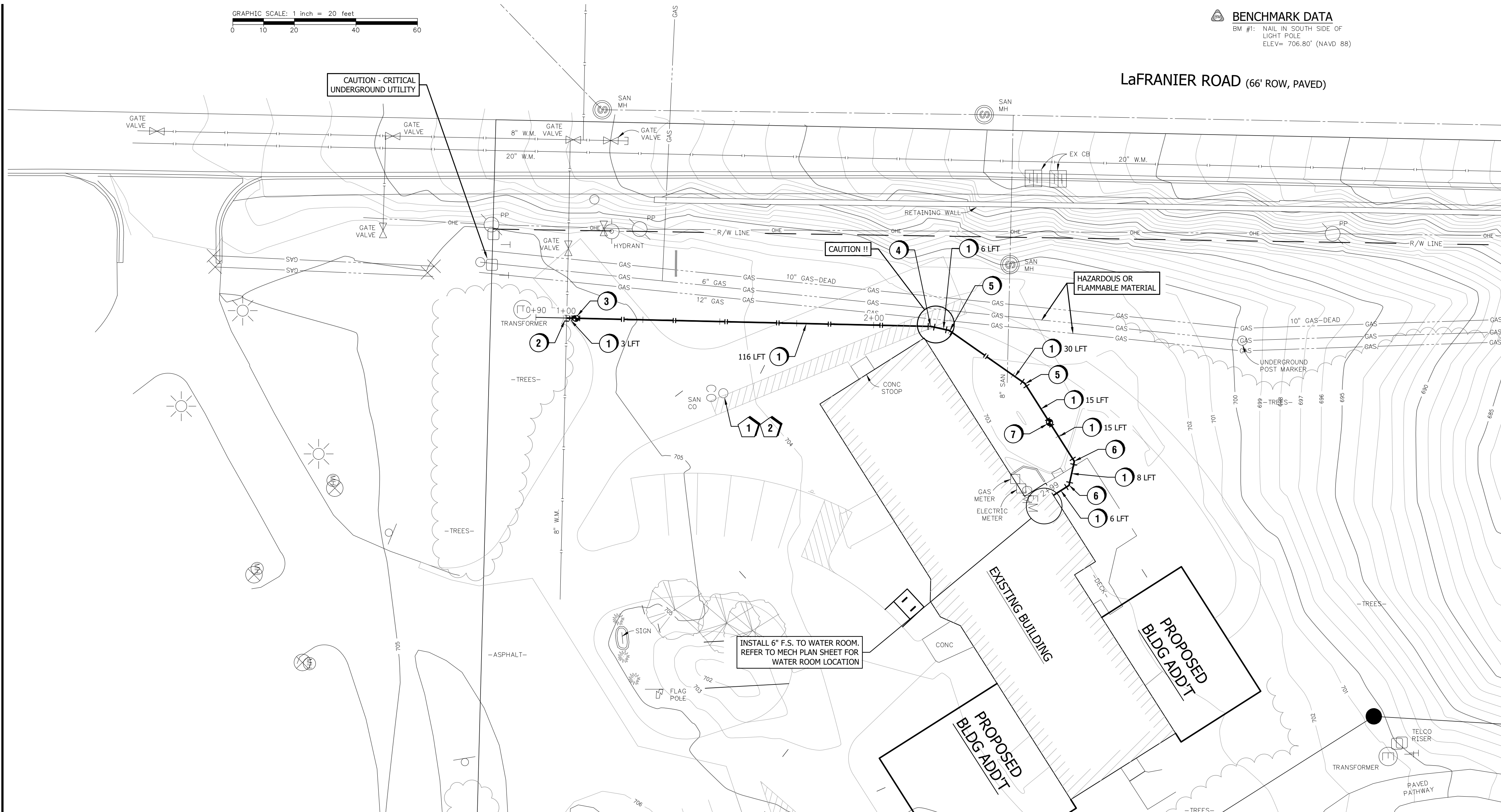
<b>BUILDING</b>	
EXISTING BUILDING 1-STORY STRUCTURE =	6,410 SFT 18'-6"
PROPOSED BUILDING ADDITION 1-STORY STRUCTURE =	3,648 SFT 18'-6"
<b>PARKING REQUIREMENTS</b>	
PROPOSED SPACES PROVIDED: (INCLUDES 1 HANDICAPPED SPACE)	9 SPACES
BICYCLE PARKING REQUIRED: PROPOSED:	2 SPACES 4 SPACES
MINIMUM REQUIRED: 1 SPACE PER 4 BEDS (20 BEDS) (1 SPACE / 4 BEDS) =	5 SPACES
MAXIMUM REQUIRED: 1 SPACE PER 2 BEDS (20 BEDS) (1 SPACE / 2 BEDS) =	10 SPACES
TYPICAL SPACE:	20' x 9'



**BENCHMARK DATA**  
 BM #1: NAIL IN SOUTH SIDE OF LIGHT POLE  
 ELEV= 706.80' (NAVD 88)



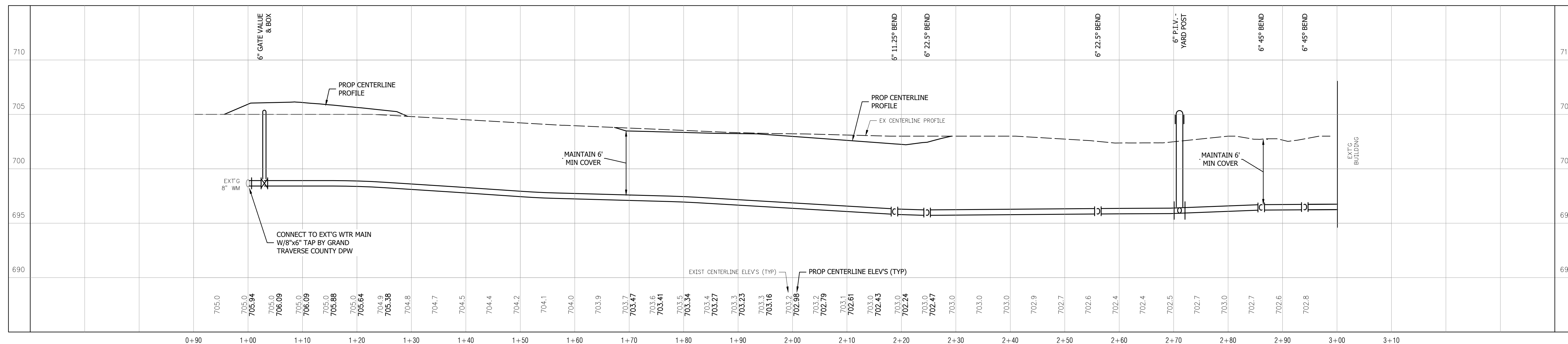
LaFRANIER ROAD (66' ROW, PAVED)



- NOTES**
1. ALL BACKFILL MATERIAL SHALL CONFORM TO ASTM D2321 STANDARDS.
  2. ALL WATERMAIN, SANITARY SEWER AND RELATED SERVICES SHALL COMPLY WITH COUNTY DPW STANDARDS AND SPECIFICATIONS.
  3. CONTRACTOR IS TO SUBMIT A CONNECTION PLAN AND COORDINATE WATER/SEWER CONNECTIONS WITH THE COUNTY DPW.
  4. NO CONNECTIONS SHALL BE MADE TO EXISTING WATERMAIN UNTIL ALL BACK AND PRESSURE TESTS OF THE NEW WATERMAIN ARE COMPLETED AND APPROVED FOR SERVICE.
  5. MAINTAIN 10' HORIZONTAL AND 18 INCHES VERTICAL SEPARATION BETWEEN ALL WATER AND SANITARY SEWER.

- KEY NOTES**
- 1 6" CLASS 52 D.I. WATERMAIN
  - 2 CONNECT TO EXT'G WATERMAIN W/8"x6" TAP BY GTC DPW
  - 3 6" GATE VALVE & BOX
  - 4 6" 11.25° BEND
  - 5 6" 22.5° BEND
  - 6 6" 45° BEND
  - 7 INSTALL 6" P.I.V. - YARD POST INDICATOR VALVE
  - 1 INSTALL 2' DIA MANHOLE W/ SOLID LID SEE DETAIL 16/C4'
  - 2 ADJUST EXT'G SANITARY CLEAN-OUT ASSEMBLY

**PROPOSED FIRE SERVICE - PLAN & PROFILE**  
 SCALE:  
 HORIZONTAL: 1"=10'  
 VERTICAL: 1"=5'



**MACHIN ENGINEERING**  
 1235 E FRONT ST, Suite A  
 TRAVERSE CITY, MI PH 231.935.1530  
 www.machinengineering.net

**BURDCO INCORPORATED**  
 DESIGN-BUILD-FINANCE  
 1222 VETERANS DRIVE, SUITE A  
 TRAVERSE CITY, MI 49684  
 TELEPHONE: 231-941-9074  
 FACSIMILE: 231-947-9135  
 www.BURDCO.com

STATE OF MICHIGAN  
 ERIC R. SANDMANN  
 License No. 6201313372  
 09/30/2024  
 LICENSED PROFESSIONAL ENGINEER

ON 22x34 SHEET SCALE: FULL (AS NOTED)  
 ON 11x17 SHEET SCALE: HALF

REV#	DESCRIPTION	DATE
A	REVIEW - 50% DESIGN	KASD/2024
B	REVIEW - 75% DESIGN	KASD/2024
C	REVIEW - 75% DESIGN	KASD/2024
D	ISSUED FOR PERMIT	KASD/2024
E	REVIEW - 50% DESIGN	KASD/2024
F	ISSUED FOR CONSTRUCTION	KASD/2024

REVISION . . . . .  
 DATE ISSUED: 08/05/2024  
 ISSUE PHASE: CONSTRUCTION  
 PROJECT TITLE:  
**PROPOSED FRENCH MANOR LaFRANIER ADDITION**

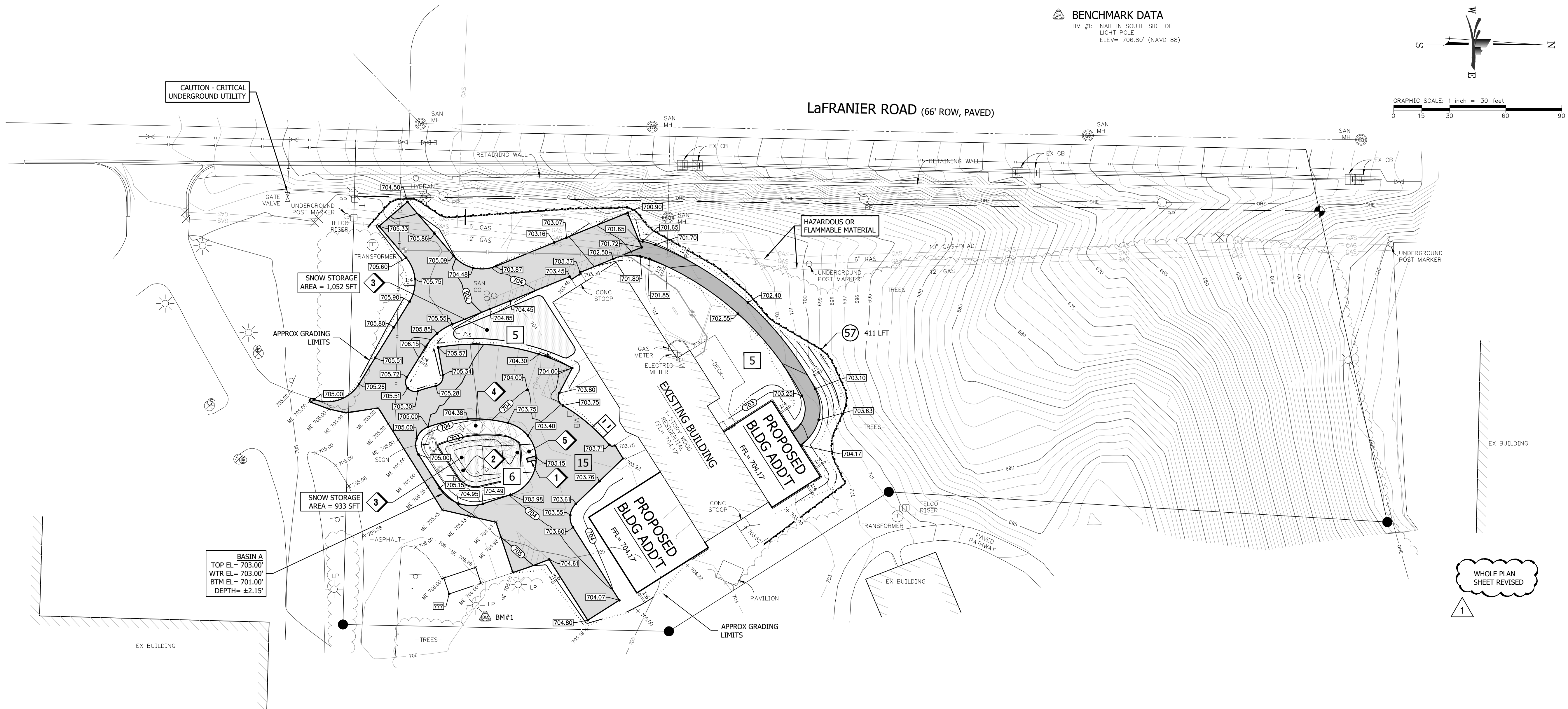
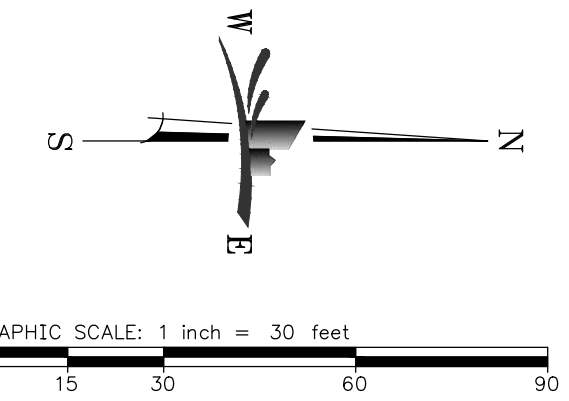
CLIENT:  
 BURDCO, INC.  
 1222 VETERANS DRIVE, SUITE A  
 TRAVERSE CITY, MI 49684

PROJECT LOCATION:  
**GRAND TRAVERSE CO, MI**

SHEET TITLE:  
**PROPOSED UTILITIES PLAN**

PROJECT NUMBER **24130**  
 SHEET NUMBER **C3**

**BENCHMARK DATA**  
 BM #1: NAIL IN SOUTH SIDE OF  
 LIGHT POLE  
 ELEV= 706.80' (NAVD 88)



CAUTION - CRITICAL  
UNDERGROUND UTILITY

LaFRANIER ROAD (66' ROW, PAVED)

HAZARDOUS OR  
FLAMMABLE MATERIAL

SNOW STORAGE  
AREA = 1,052 SFT

SNOW STORAGE  
AREA = 933 SFT

BASIN A  
TOP EL= 703.00'  
WTR EL= 703.00'  
BTM EL= 701.00'  
DEPTH= ±2.15'

WHOLE PLAN  
SHEET REVISED

**MACHIN ENGINEERING**  
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 TRAVERSE CITY, MI PH 231.935.1530  
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 TRAVERSE CITY, MI 49684  
 TELEPHONE: 231-941-9074  
 FACSIMILE: 231-947-9135  
 www.BURDCO.com



ON 22x34 SHEET SCALE: FULL (AS NOTED)  
 ON 11x17 SHEET SCALE: HALF

REV#	DESCRIPTION	DATE
A	REVIEW 30% DESIGN	08/05/2024
B	REVIEW 50% DESIGN	08/05/2024
C	REVIEW 70% DESIGN	08/05/2024
D	ISSUED FOR PERMIT	08/05/2024
E	REVIEW 90% DESIGN	08/05/2024
F	ISSUED FOR CONSTRUCTION	08/05/2024
1	UPDATED PER TAP REVIEW COMMENTS	08/20/2024

REVISION REV #1 08/20/2024  
 DATE ISSUED: 08/05/2024  
 ISSUE PHASE: CONSTRUCTION

PROJECT TITLE:  
**PROPOSED  
 FRENCH MANOR  
 LaFRANIER  
 ADDITION**

CLIENT:  
 BURDCO, INC  
 1222 VETERANS DRIVE, SUITE A  
 TRAVERSE CITY, MI 49684

PROJECT LOCATION:  
**GRAND TRAVERSE CO, MI**

SHEET TITLE:  
**GRADING,  
 SOIL EROSION  
 &  
 STORMWATER CONTROL PLAN**

PROJECT NUMBER: 24130  
 SHEET NUMBER: C4

**NOTES**

- VERTICAL DATUM IS NAVD88, CONTOUR INTERVAL IS 1.0 FEET.
  - LOCATION AND TYPE OF EROSION CONTROL MEASURES ARE IDENTIFIED ON THE SKETCH BY KEY NUMBERS. EG, RELATING TO THE MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY UNIFIED KEYING SYSTEM AND BEST MANAGEMENT PRACTICES.
  - ALL STRUCTURES SHALL BE KEPT FREE OF DEBRIS DURING CONSTRUCTION USING CATCH BASIN INLET FILTERS.
  - ALL DISTURBED AREAS SHALL BE TOPSOILED, SEEDDED, MULCHED, AND FERTILIZED
  - POSITIVE DRAINAGE SHALL BE MAINTAINED AWAY FROM BUILDING.
- ⑤ DENOTES TEMPORARY PRACTICES  
 ⑤ DENOTES PERMANENT PRACTICES

**SE & SC KEYING SYSTEM**

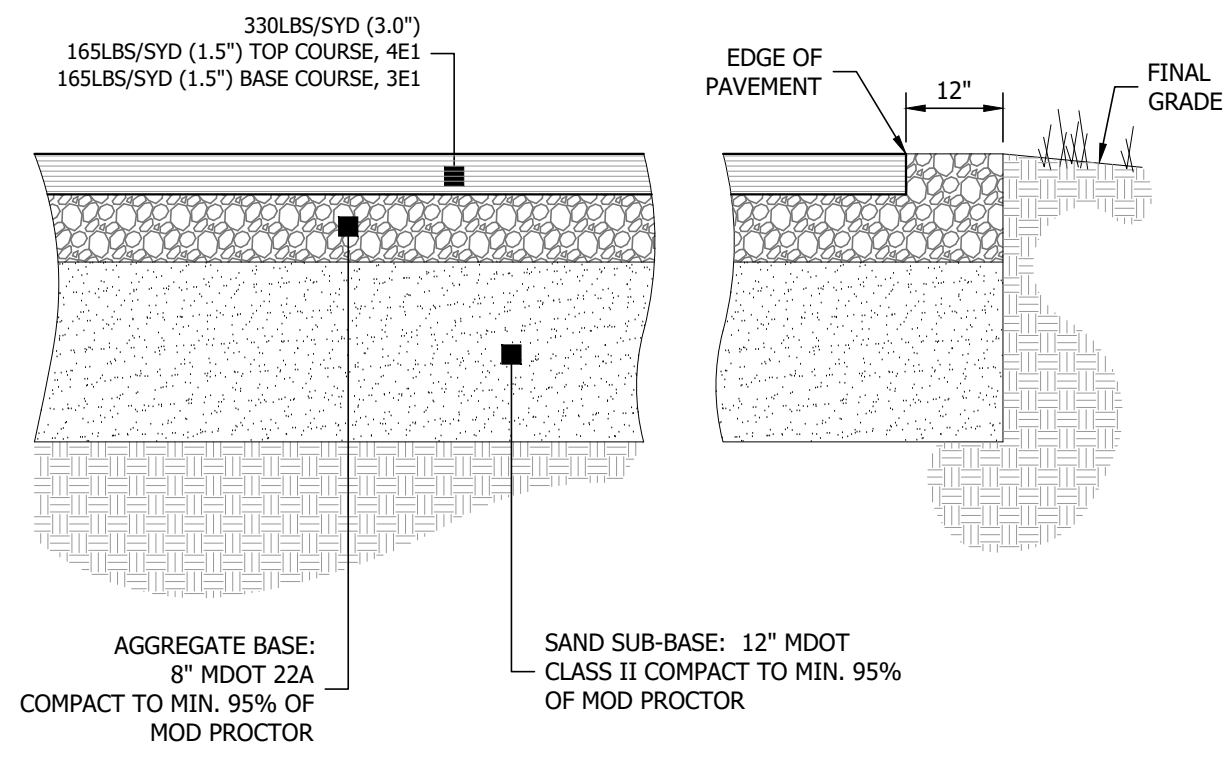
5	SEEDING	INEXPENSIVE AND VERY EFFECTIVE. STABILIZES SOIL, THUS MINIMIZING EROSION. PERMITS RUNOFF TO INFILTRATE SOIL, REDUCING RUNOFF VOLUME. SHOULD INCLUDE PREPARED TOPSOIL BED.
6	SEEDING w/ MULCH OR MATING	FACILITATES ESTABLISHMENT OF VEGETATIVE COVER, EFFECTIVE FOR DRAINAGEWAYS w/ LOW VELOCITY. EASILY PLACED IN SMALL QUANTITIES BY INEXPERIENCED PERSONNEL. SHOULD INCLUDE PREPARED TOPSOIL BED.
15	PAVING	PROTECTS AREA WHICH OTHERWISE CANNOT BE PROTECTED, BUT INCREASES RUNOFF VOLUME AND VELOCITY. IRREGULAR SURFACE WILL HELP SLOW VELOCITY.
57	GEOTEXTILE SILT FENCE	USES GEOTEXTILE AND POSTS OR BALES MAY BE CONSTRUCTED OR PREPACKAGED. EASY TO CONSTRUCT AND LOCATE AS NECESSARY.

**CONSTRUCTION NOTES**

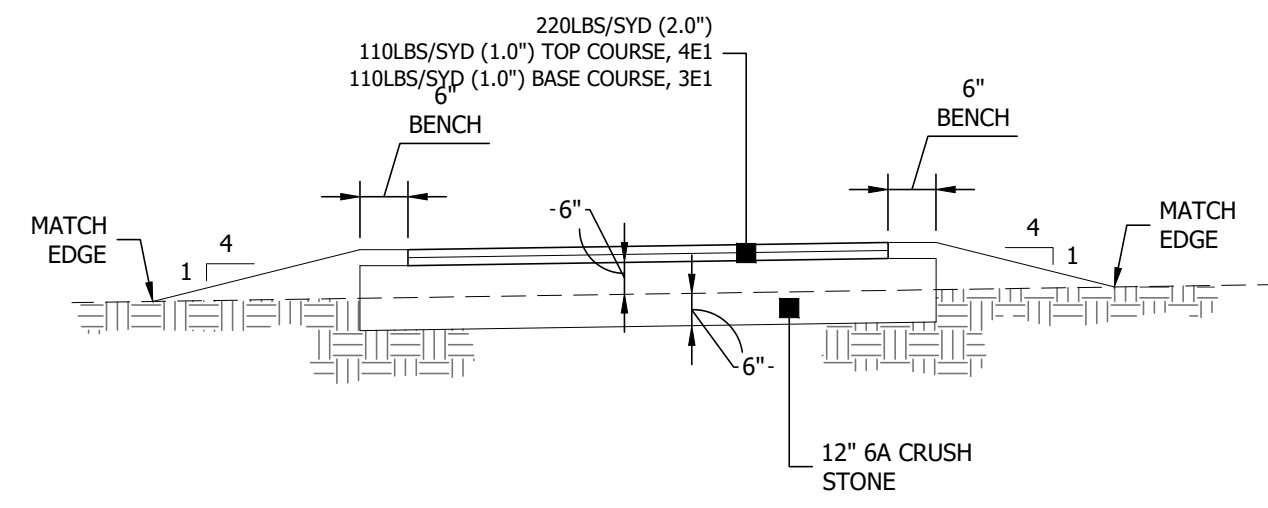
- INSTALL BIT SPILLWAY SEE DETAIL '4/C4'
- EXISTING STORMWATER BASIN TO BE MODIFIED
- APPROX SNOW STORAGE AREA
- 5 FT WIDE BENCH
- 15 FT WIDE MAINTENANCE ACCESS

**LEGEND**

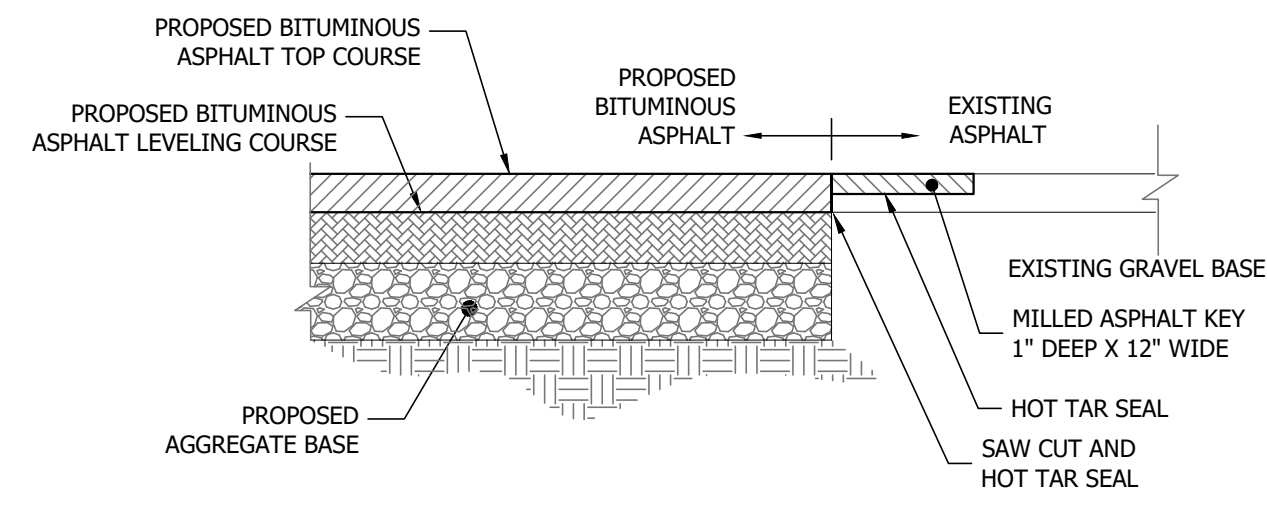
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BITUMINOUS PAVEMENT DETAIL N.T.S. 1

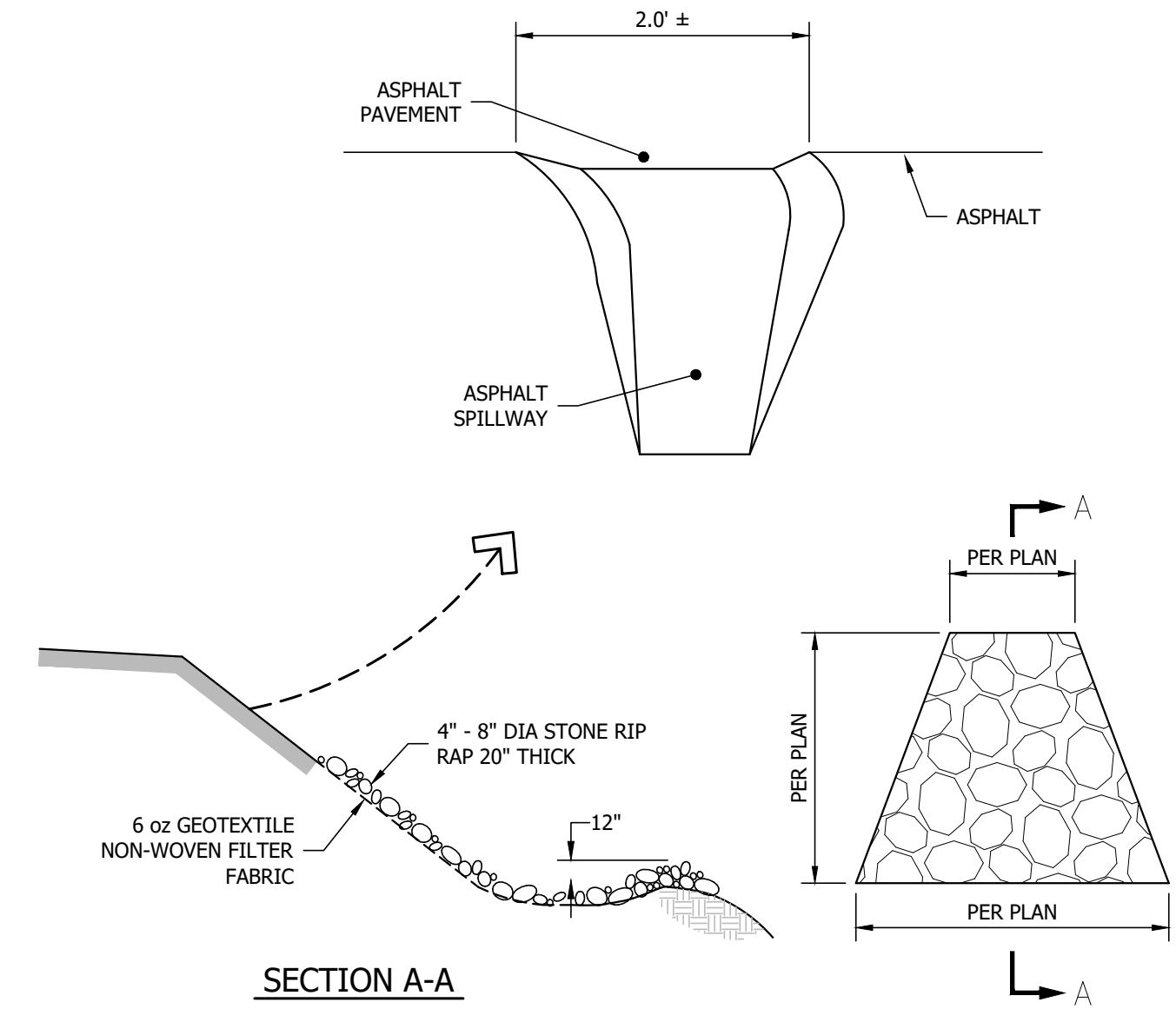


BITUMINOUS PATHWAY DETAIL N.T.S. 2

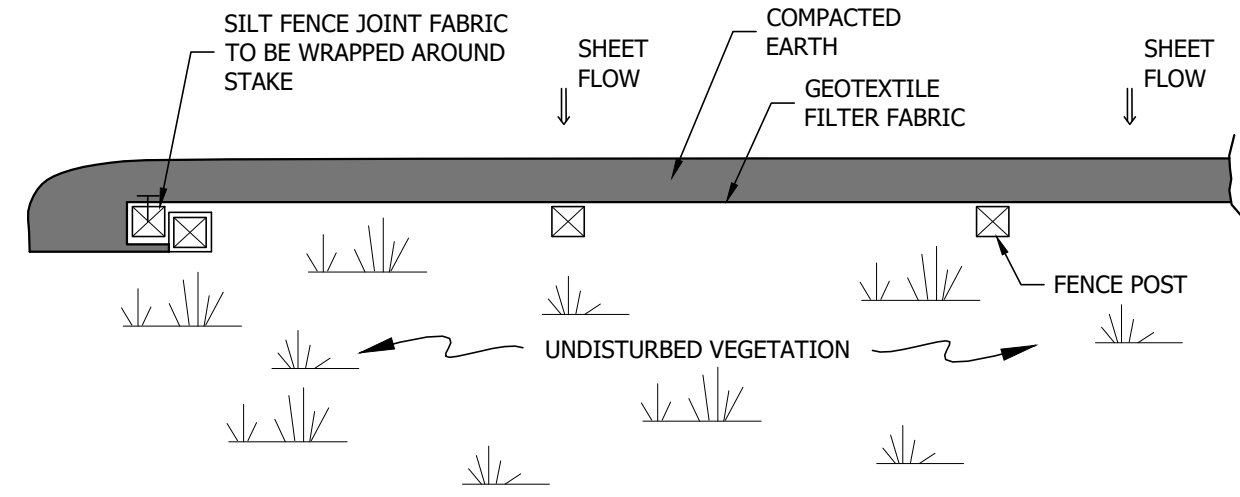


NOTE:  
 1. HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.  
 2. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR THE PAVEMENT CROSS SECTION

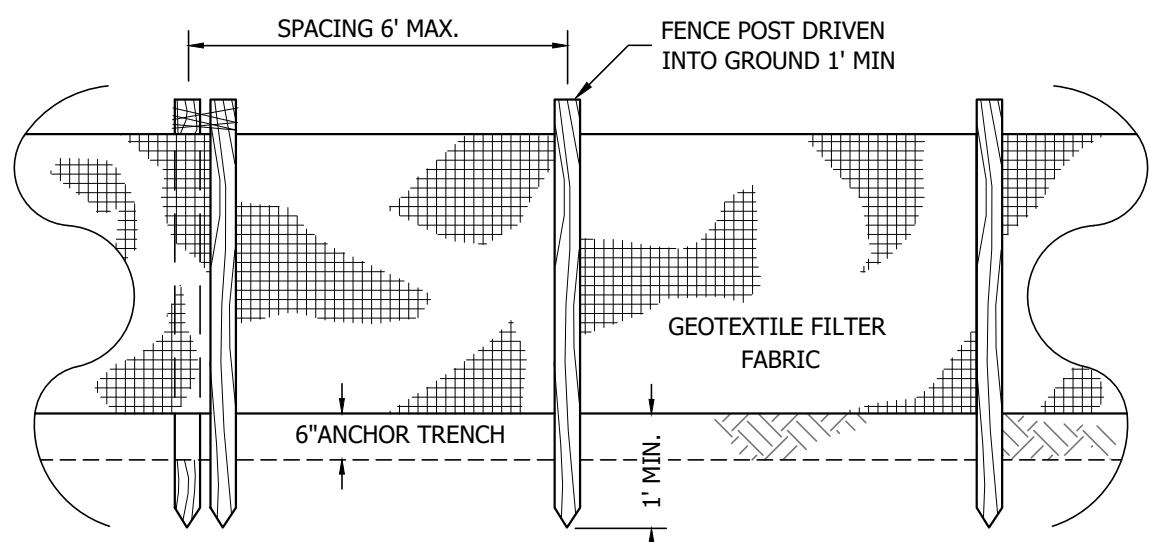
FULL DEPTH ASPHALT PAVEMENT DETAIL N.T.S. 3



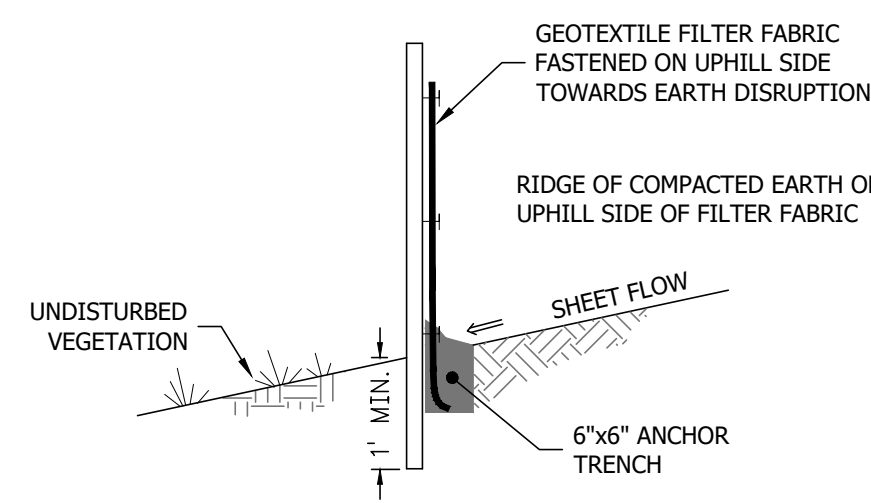
ASPHALT SPILLWAY & STONE RIP-RAP APRON DETAIL N.T.S. 4



PLAN VIEW

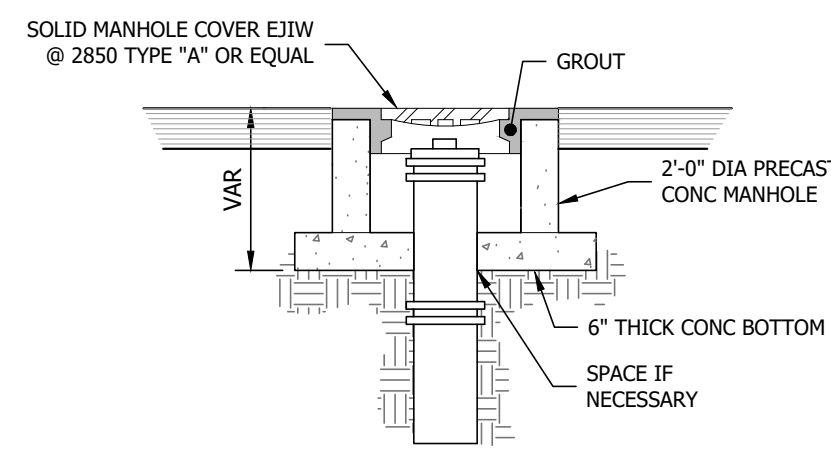


FRONT ELEVATION

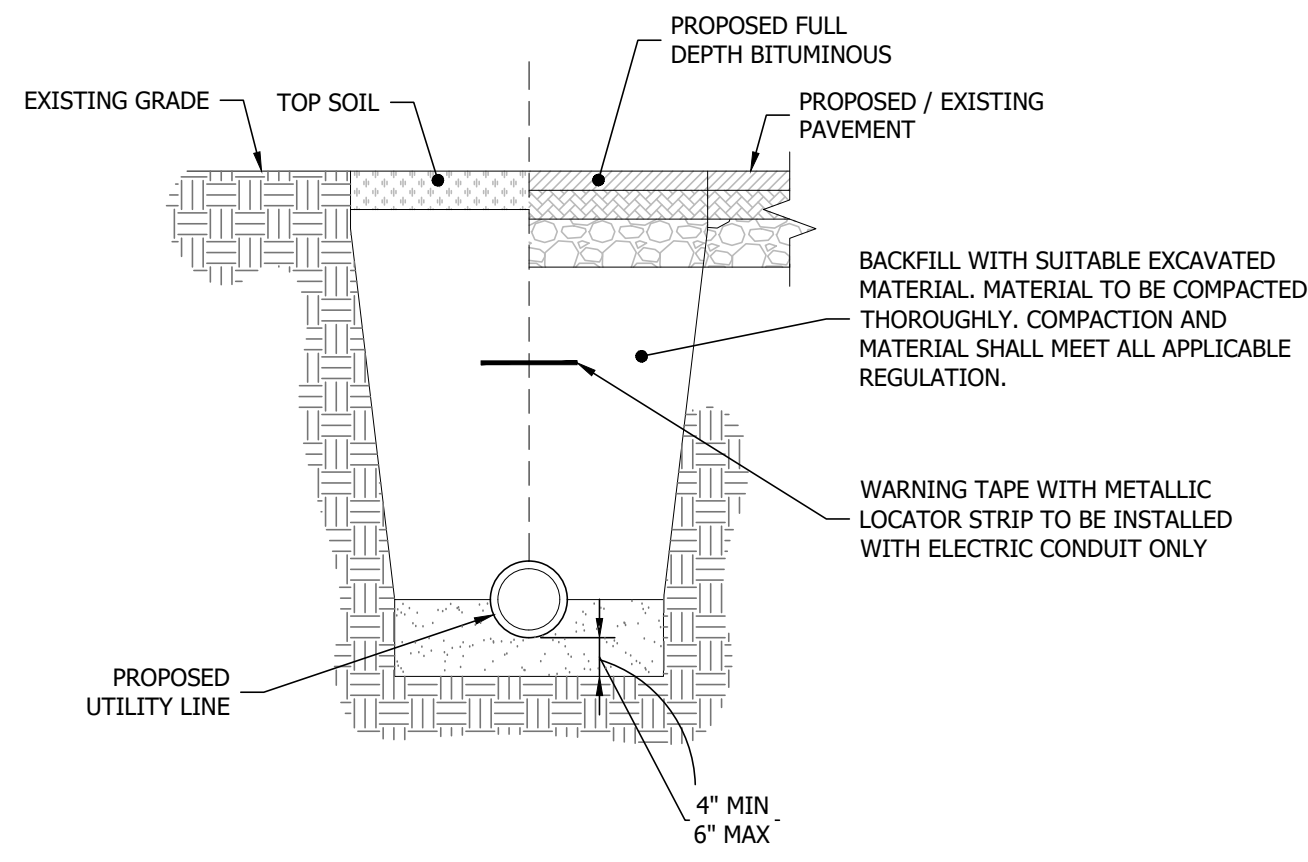


SECTION VIEW

SILT FENCE N.T.S. 9

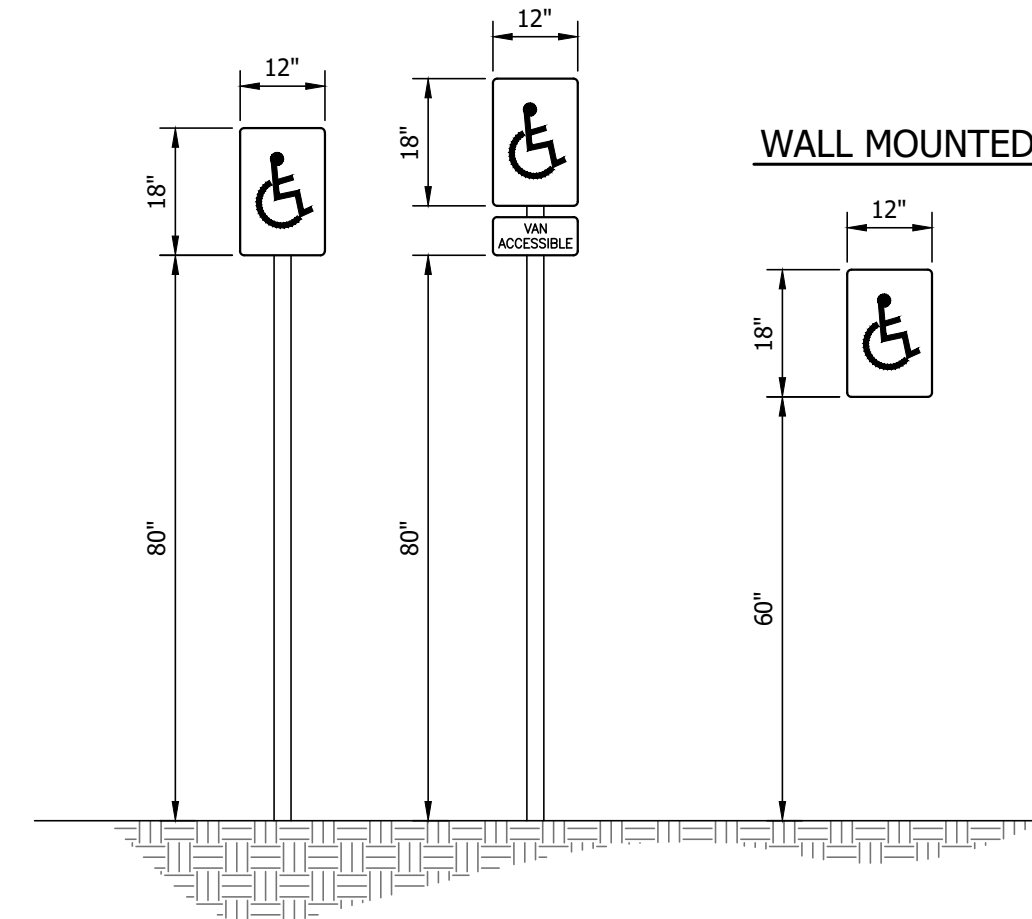


SANITARY CLEAN-OUT N.T.S. 6

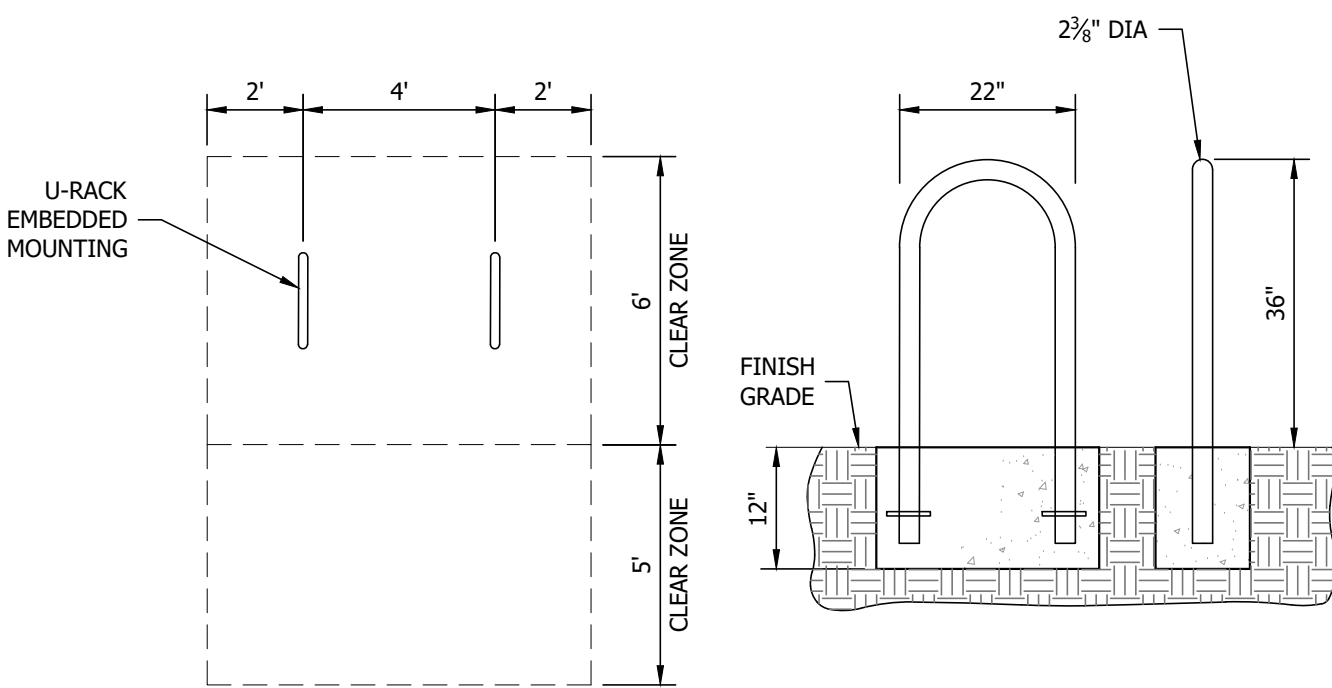


NOTES:  
 • MINIMUM PIPE COVER SHALL BE AS FOLLOW:  
 • ELECTRIC SERVICE - PER APPLICABLE UTILITY AUTHORITY  
 • GAS SERVICE - PER APPLICABLE UTILITY AUTHORITY  
 • WATER SERVICE - 70" MINIMUM

UTILITY TRENCH DETAIL N.T.S. 10

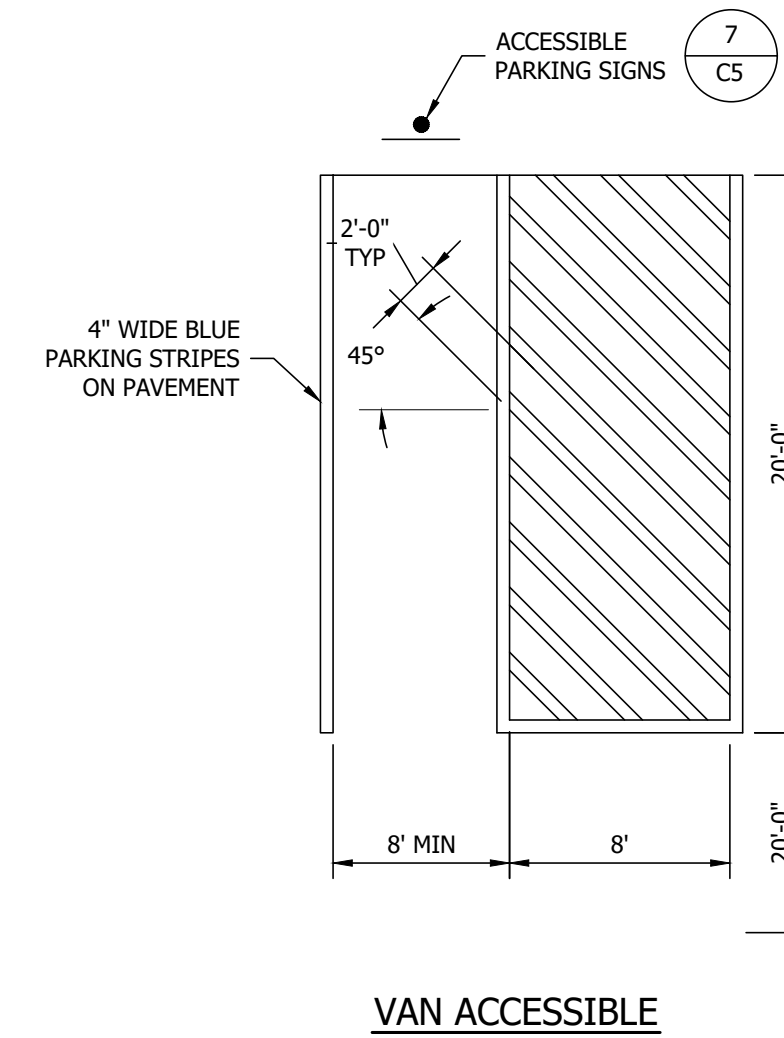


BARRIER FREE SIGN DETAIL N.T.S. 7

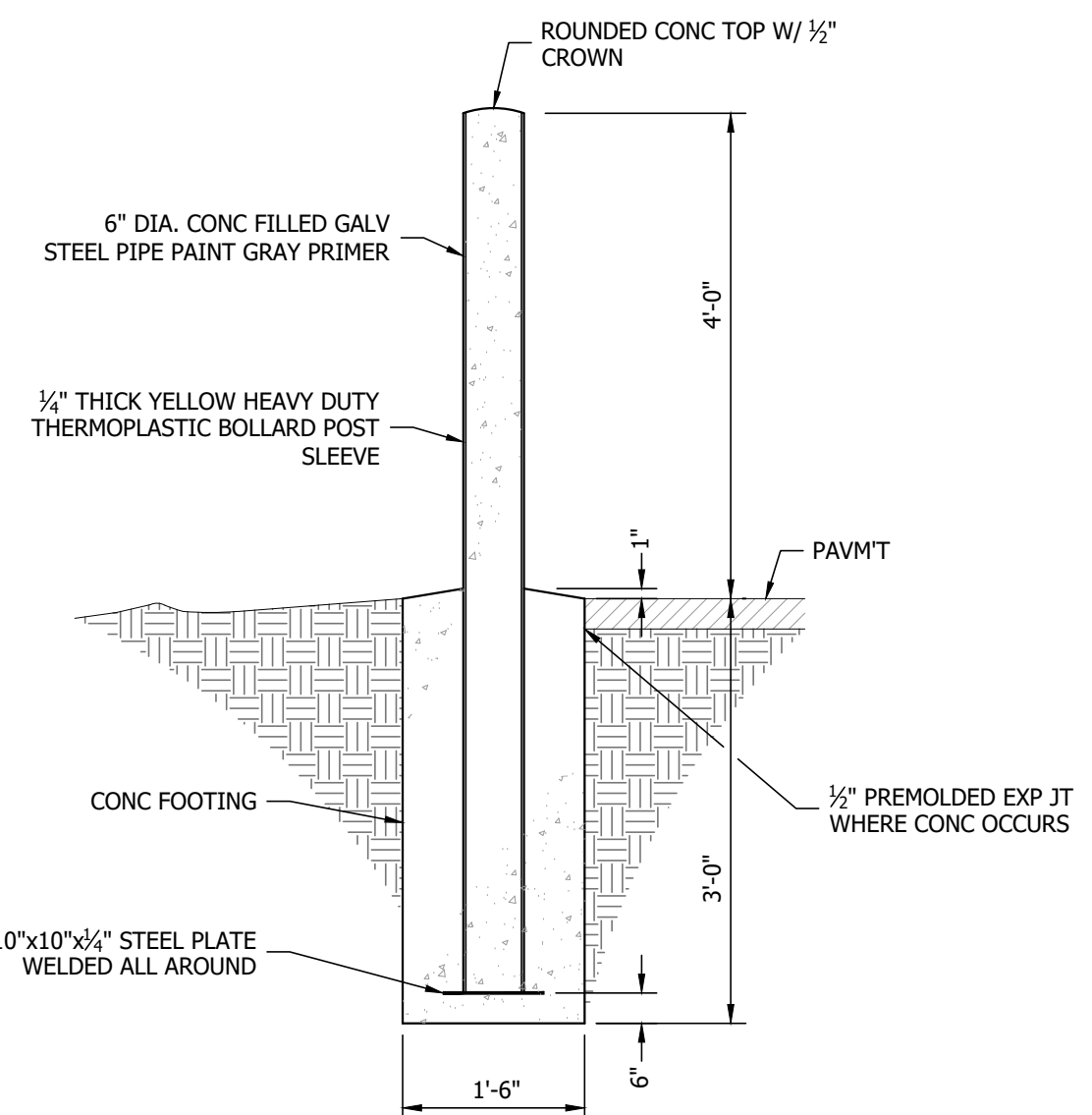


NOTES:  
 • U-RACK BIKE RACK SUPPORTS 2-POINT CONTACT WITH FRAME  
 • EMBEDMENT DETAILS ARE FOR REFERENCE ILLUSTRATION ONLY. MINIMUM FOUNDATION SIZES DEPEND ON LOCAL SOIL CONDITIONS, WEATHER CONDITIONS AND ENGINEERING REQUIREMENTS.  
 • U-RACK BIKE RACK SUPPORT MODELS AVAILABLE FOR SURFACE OR IN-GROUND MOUNT INSTALLATION.

BIKE RACK EMBEDDED MOUNTING DETAIL N.T.S. 11



LAYOUT FOR STANDARD AND ACCESSIBLE PARKING SPACES N.T.S. 8



BOLLARD GUARD POST N.T.S. 12



ON 22x34 SHEET SCALE: FULL (AS NOTED)  
 ON 11x17 SHEET SCALE: HALF

REV	DESCRIPTION	DATE
A	REVIEW - 50% DESIGN	08/05/2024
B	REVIEW - 75% DESIGN	08/05/2024
C	REVIEW - 75% DESIGN	08/05/2024
D	ISSUED FOR PERMIT	08/05/2024
E	REVIEW - 90% DESIGN	08/05/2024
F	ISSUED FOR CONSTRUCTION	08/05/2024

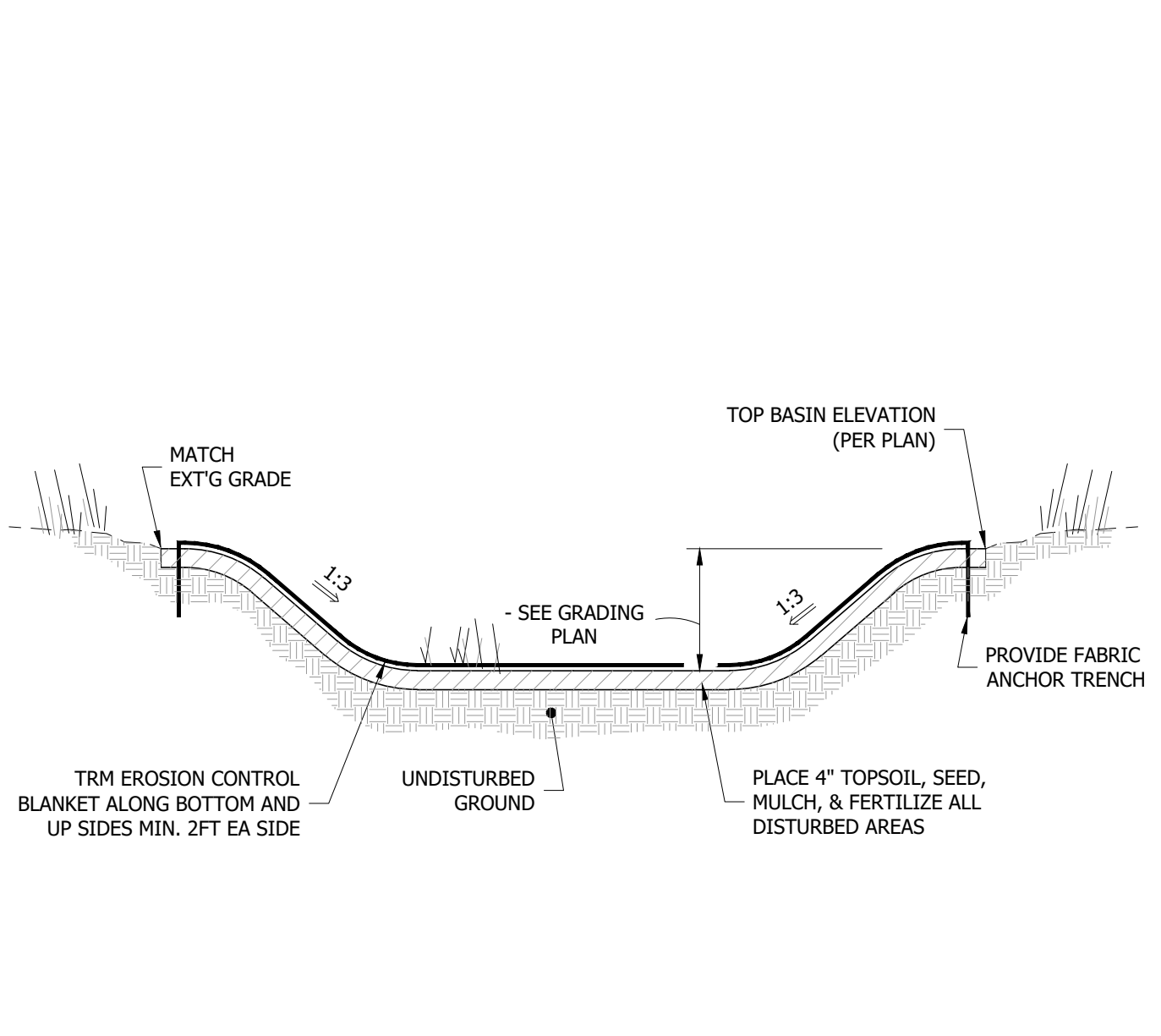
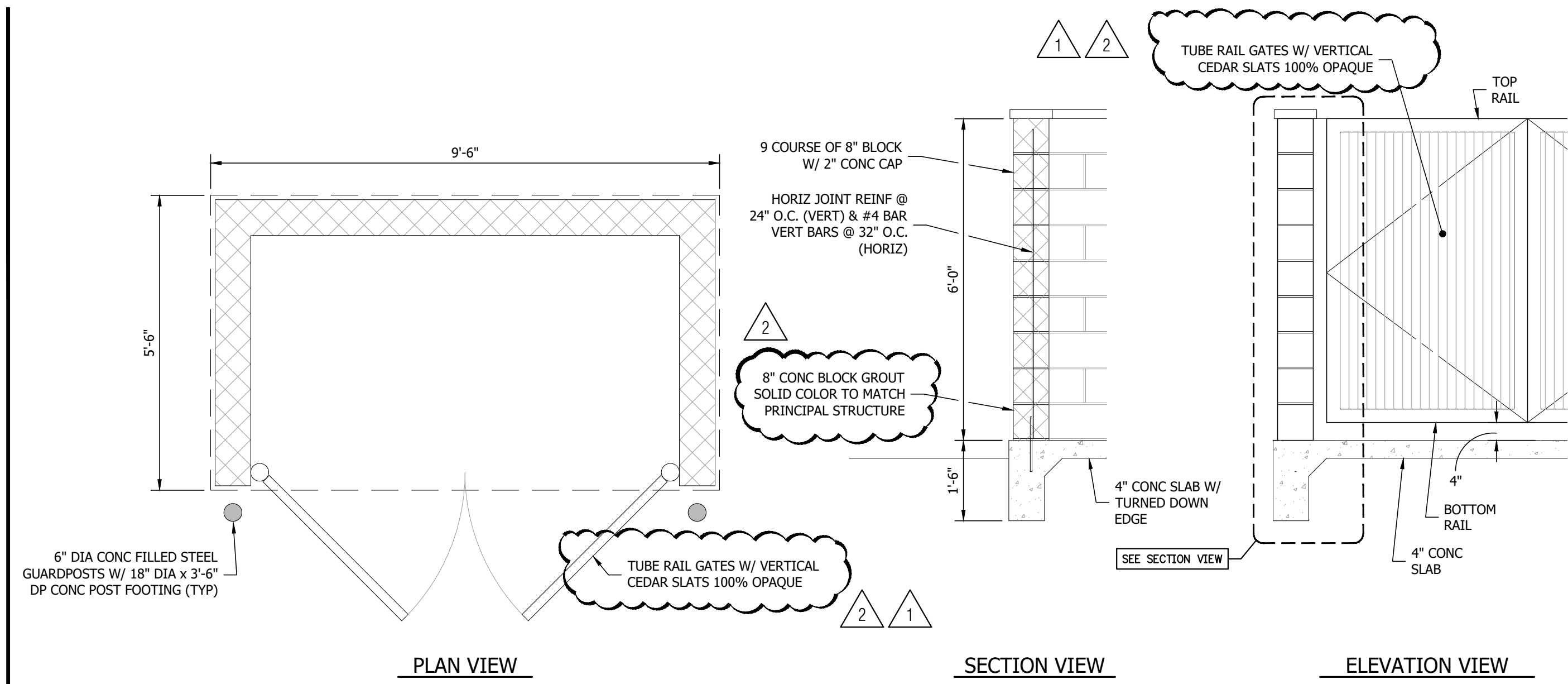
REVISION: 08/05/2024  
 DATE ISSUED: 08/05/2024  
 ISSUE PHASE: CONSTRUCTION  
 PROJECT TITLE: PROPOSED FRENCH MANOR LaFRANIER ADDITION

CLIENT: BURDCO, INC  
 1222 VETERANS DRIVE, SUITE A  
 TRAVERSE CITY, MI 49684

PROJECT LOCATION: GRAND TRAVERSE CO, MI

SHEET TITLE: CONSTRUCTION DETAILS

PROJECT NUMBER: 24130  
 SHEET NUMBER: C5



DUMPSTER ENCLOSURE	N.T.S.	2	TYPICAL X-SECTION INFILTRATION BASIN	N.T.S.	3	NOT USED	N.T.S.	4
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NOT USED	N.T.S.	5
----------	--------	---

NOT USED	N.T.S.	6
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NOT USED	N.T.S.	7
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NOT USED	N.T.S.	8
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NOT USED	N.T.S.	9
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NOT USED	N.T.S.	10
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NOT USED	N.T.S.	11
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NOT USED	N.T.S.	12
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ON 22x34 SHEET SCALE: FULL (AS NOTED)  
 ON 11x17 SHEET SCALE: HALF

REV#	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	08/05/2024
2	ISSUED FOR PERMITS	08/05/2024
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82	ISSUED FOR PERMITS	08/05/2024
83	ISSUED FOR PERMITS	08/05/2024
84	ISSUED FOR PERMITS	08/05/2024
85	ISSUED FOR PERMITS	08/05/2024
86	ISSUED FOR PERMITS	08/05/2024
87	ISSUED FOR PERMITS	08/05/2024
88	ISSUED FOR PERMITS	08/05/2024
89	ISSUED FOR PERMITS	08/05/2024
90	ISSUED FOR PERMITS	08/05/2024
91	ISSUED FOR PERMITS	08/05/2024
92	ISSUED FOR PERMITS	08/05/2024
93	ISSUED FOR PERMITS	08/05/2024
94	ISSUED FOR PERMITS	08/05/2024
95	ISSUED FOR PERMITS	08/05/2024
96	ISSUED FOR PERMITS	08/05/2024
97	ISSUED FOR PERMITS	08/05/2024
98	ISSUED FOR PERMITS	08/05/2024
99	ISSUED FOR PERMITS	08/05/2024
100	ISSUED FOR PERMITS	08/05/2024

REVISION REV #2 09/23/2024  
 DATE 08/05/2024  
 ISSUE PHASE: CONSTRUCTION  
 PROJECT TITLE: PROPOSED FRENCH MANOR LaFRANIER ADDITION

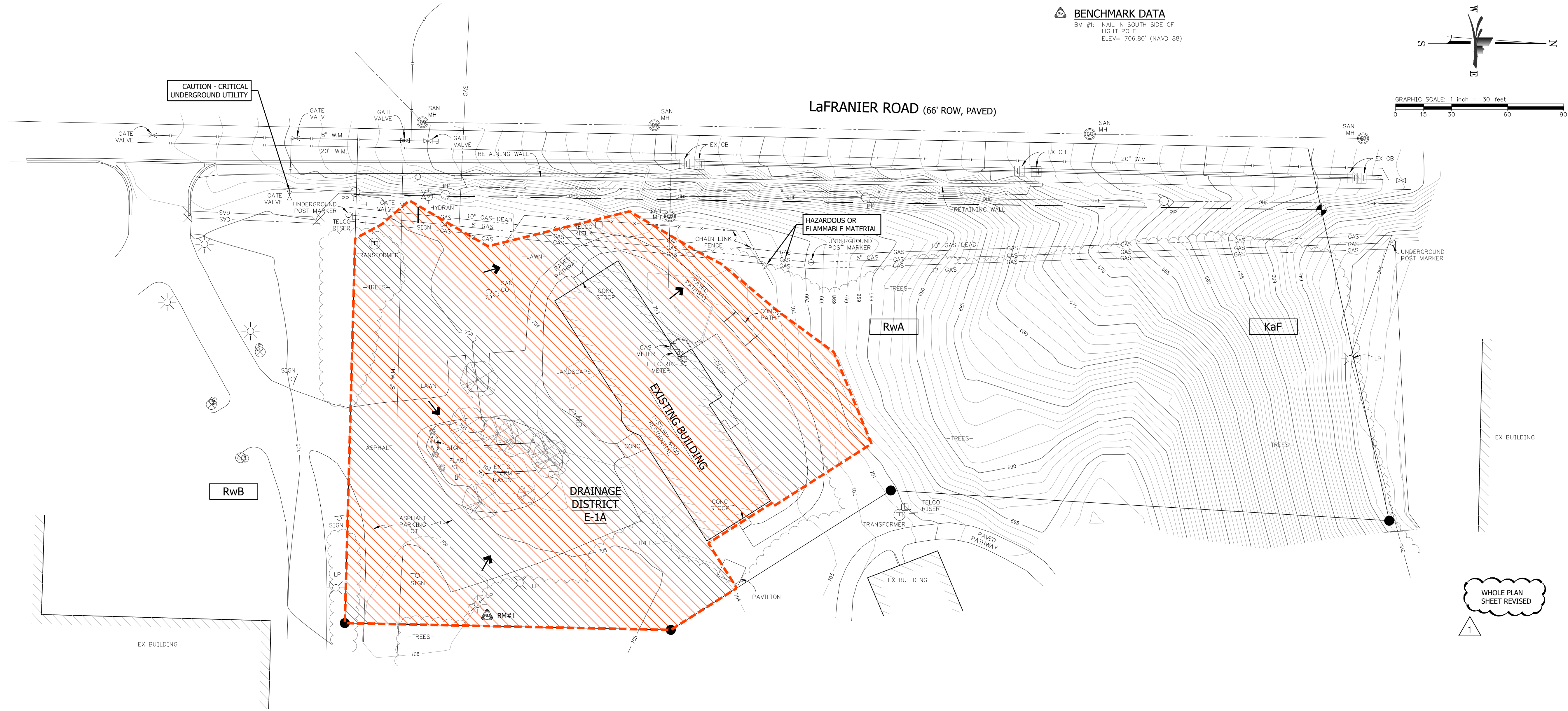
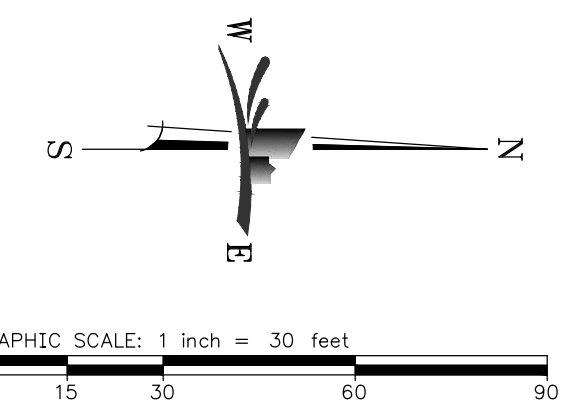
CLIENT: BURDCO, INC.  
 1222 VETERANS DRIVE, SUITE A  
 TRAVERSE CITY, MI 49684

PROJECT LOCATION: GRAND TRAVERSE CO, MI

SHEET TITLE: CONSTRUCTION DETAILS

PROJECT NUMBER 24130  
 SHEET NUMBER C6

**BENCHMARK DATA**  
 BM #1: NAIL IN SOUTH SIDE OF  
 LIGHT POLE  
 ELEV= 706.80' (NAVD 88)



WHOLE PLAN  
 SHEET REVISED

**MACHIN ENGINEERING**

1235 E FRONT ST, Suite A  
 TRAVERSE CITY, MI PH 231.935.1530  
 www.machinengineering.net

**BURDCO INCORPORATED**  
 1222 VETERANS DRIVE, SUITE A  
 TRAVERSE CITY, MI 49684  
 TELEPHONE: 231-941-9074  
 FACSIMILE: 231-947-9135  
 www.BURDCO.com



ON 22x34 SHEET SCALE: FULL (AS NOTED)  
 ON 11x17 SHEET SCALE: HALF

REV#	DESCRIPTION	DATE
A	REVIEW - 30% DESIGN	08/05/2024
B	REVIEW - 50% DESIGN	08/05/2024
C	REVIEW - 70% DESIGN	08/05/2024
D	ISSUED FOR PERMIT	08/05/2024
E	REVIEW - 90% DESIGN	08/05/2024
F	ISSUED FOR CONSTRUCTION	08/05/2024
1	UPDATED PER TWP REVIEW COMMENTS	08/05/2024

REVISION #1 08/20/2024

DATE ISSUED: 08/05/2024

ISSUE PHASE: CONSTRUCTION

PROJECT TITLE:  
**PROPOSED  
 FRENCH MANOR  
 LaFRANIER  
 ADDITION**

CLIENT:  
 BURDCO, INC.  
 1222 VETERANS DRIVE, SUITE A  
 TRAVERSE CITY, MI 49684

PROJECT LOCATION:  
 GRAND TRAVERSE CO, MI

SHEET TITLE:  
 EXISTING  
 DRAINAGE PLAN

PROJECT NUMBER: 24130  
 SHEET NUMBER: D1

**EXISTING DRAINAGE AREA (E-1A)**

AREA (SFT)	DESCRIPTION
48,989	> 75% GRASS, GOOD (HSG A)
48,989	TOTAL

NOTE:  
 PER CHARTER TOWNSHIP OF GARFIELD ZONING ORDINANCE, THE SITE IS  
 CONSIDERED UNDEVELOPED IN EXISTING CONDITIONS.

**USDA SOIL DATA**

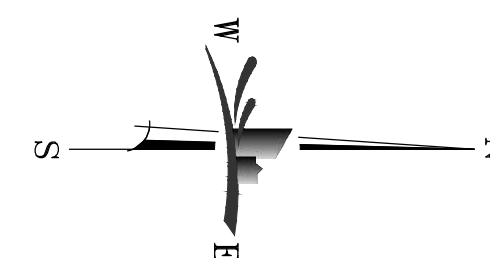
RwA - RUBICON SAND 0 TO 2 PERCENT SLOPES  
 RwB - RUBICON SAND 2 TO 6 PERCENT SLOPES  
 KaF - KALKASKA LOAMY SAND 25 TO 45 PERCENT SLOPES

**LEGEND**

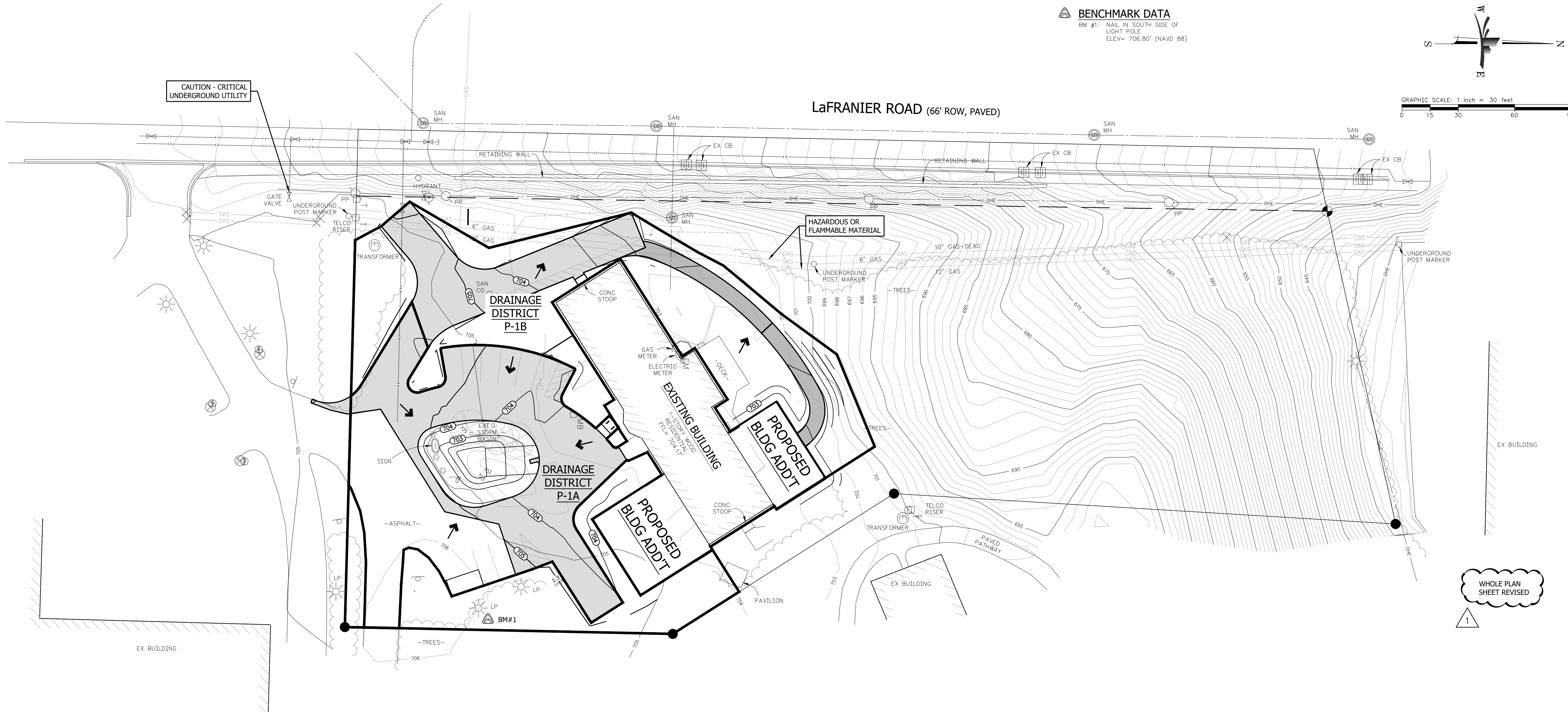


E:\MACHIN ENGINEERING, INC\ME - PROJECTS\2024\14130\_BURDCO\_MJ\_FRENCH MANOR\_LAFRANIER\_GARFIELD\DRAWINGS\24130\_DWG\_REV.DWG (08-28-24 2:06 PM) KIRTSCHULTZ

**BENCHMARK DATA**  
 BM #1: NAIL IN SOUTH SIDE OF  
 LIGHT POLE  
 ELEV= 706.80' (NAVD 88)



GRAPHIC SCALE: 1 inch = 30 feet  
 0 15 30 60 90



WHOLE PLAN  
 SHEET REVISED

**MACHIN ENGINEERING**  
 1235 E FRONT ST, Suite A  
 TRAVERSE CITY, MI PH 231.935.1530  
 www.machinengineering.net

**BURDCO INCORPORATED**  
 1222 VETERANS DRIVE, SUITE A  
 TRAVERSE CITY, MI 49684  
 TELEPHONE: 231-941-9074  
 FACSIMILE: 231-947-9135  
 www.BURDCO.com



ON 22x34 SHEET SCALE: FULL (AS NOTED)  
 ON 11x17 SHEET SCALE: HALF

REV#	DESCRIPTION	DATE
A	REVIEW - 50% DESIGN	08/05/2024
B	REVIEW - 75% DESIGN	08/05/2024
C	REVIEW - 75% DESIGN	08/05/2024
D	ISSUED FOR PERMIT	08/05/2024
E	REVIEW - 90% DESIGN	08/05/2024
F	ISSUED FOR CONSTRUCTION	08/05/2024
1	UPDATED PER TWP REVIEW COMMENTS	08/05/2024

REVISION REV #1 08/22/2024  
 DATE ISSUED: 08/05/2024  
 ISSUE PHASE: CONSTRUCTION

PROJECT TITLE:  
**PROPOSED FRENCH MANOR LaFRANIER ADDITION**

CLIENT:  
 BURDCO, INC.  
 1222 VETERANS DRIVE, SUITE A  
 TRAVERSE CITY, MI 49684

PROJECT LOCATION:  
 GRAND TRAVERSE CO, MI

SHEET TITLE:  
**PROPOSED DRAINAGE PLAN**

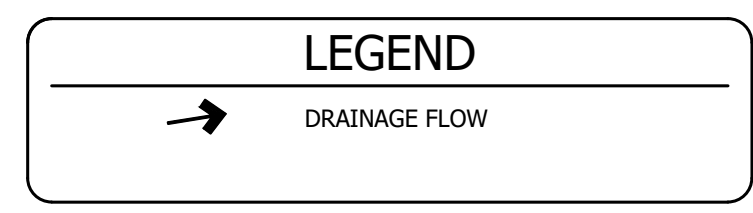
PROJECT NUMBER: 24130  
 SHEET NUMBER: D2

**PROPOSED DRAINAGE AREA TO ON-SITE BASIN (P-1A)**

AREA (SFT)	C	ADJ	DESCRIPTION
24,055	0.99		IMPERVIOUS SURFACE
12,000	0.25		PERVIOUS, GOOD (HSG A)
36,055	0.74	1.00	WEIGHTED AVERAGE, FREQUENCY ADJUSTED

**PROPOSED DRAINAGE AREA TO ON-SITE FIRE LANE & REAR SITE (P-1B)**

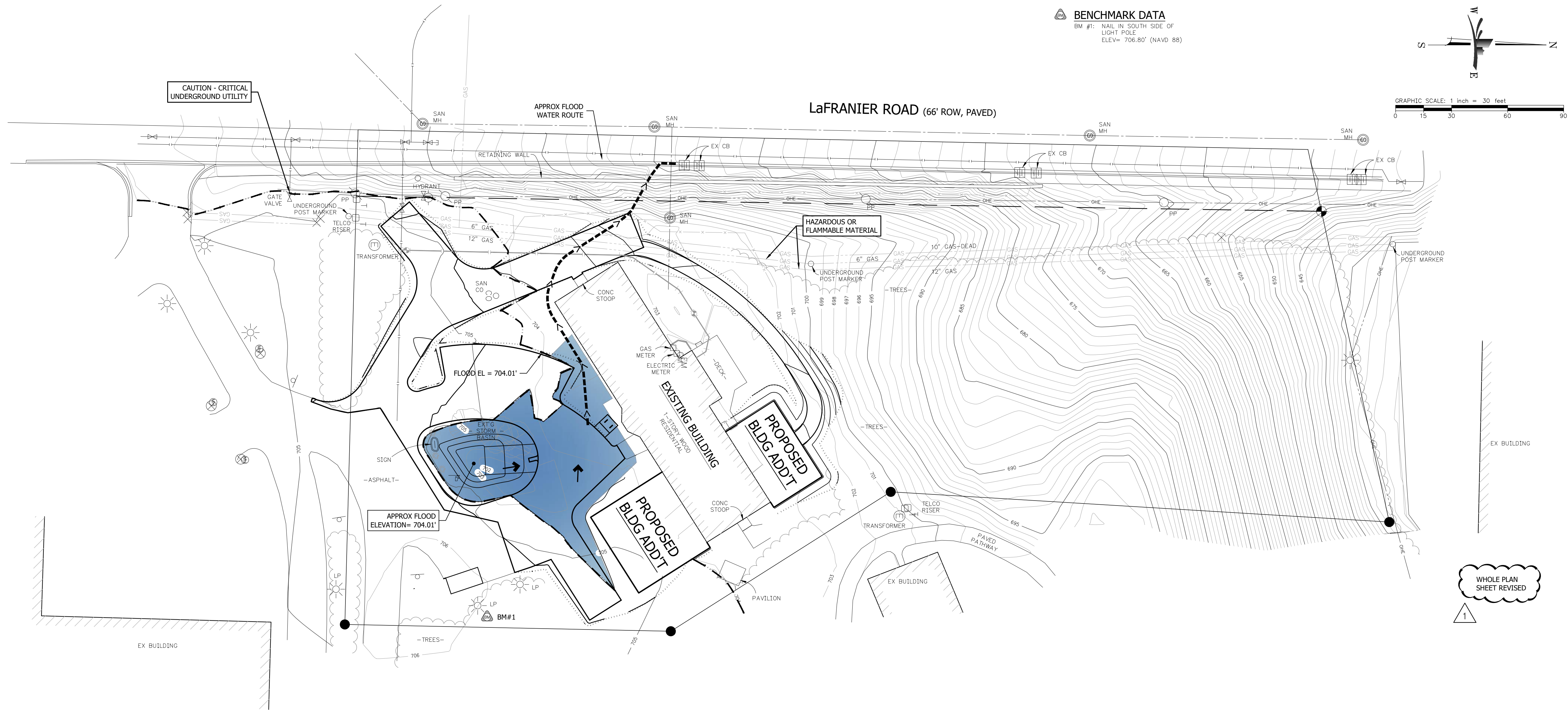
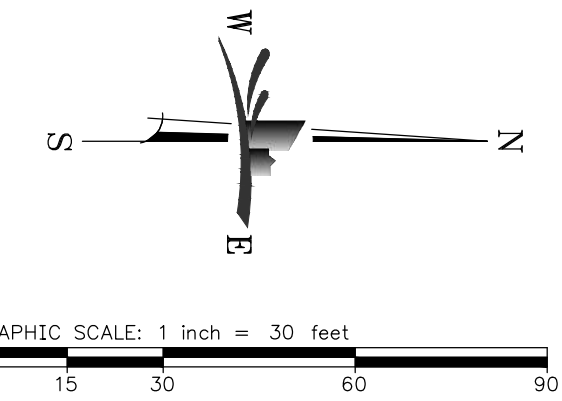
AREA (SFT)	C	ADJ	DESCRIPTION
4,935	0.99		IMPERVIOUS SURFACE
7,999	0.25		PERVIOUS, GOOD (HSG A)
12,934	0.53	1.00	WEIGHTED AVERAGE, FREQUENCY ADJUSTED



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**BENCHMARK DATA**  
 BM #1: NAIL IN SOUTH SIDE OF  
 LIGHT POLE  
 ELEV= 706.80' (NAVD 88)



WHOLE PLAN  
 SHEET REVISED

**NOTE**  
 1. VERTICAL DATUM IS NAVD88,  
 CONTOUR INTERVAL IS 1.0 FEET.

**LEGEND**

	FLOOD AREA
	EXISTING CONTOURS
	PROPOSED CONTOUR
	DRAINAGE FLOW
	Flood Elevation
	Water Flow

**MACHIN**  
 ENGINEERING

1235 E FRONT ST, Suite A  
 TRAVERSE CITY, MI PH 231.935.1530  
 www.machinengineering.net

**BURDCO**  
 INCORPORATED  
 DESIGN-BUILD-FINANCE  
 1222 VETERANS DRIVE, SUITE A  
 TRAVERSE CITY, MI 49684  
 TELEPHONE: 231-941-9074  
 FACSIMILE: 231-947-9135  
 www.BURDCO.com



ON 22x34 SHEET SCALE: FULL (AS NOTED)  
 ON 11x17 SHEET SCALE: HALF

REV#	DESCRIPTION	DATE
A	REVIEW - 30% DESIGN	08/05/2024
B	REVIEW - 50% DESIGN	08/05/2024
C	REVIEW - 70% DESIGN	08/05/2024
D	ISSUED FOR PERMIT	08/05/2024
E	REVIEW - 90% DESIGN	08/05/2024
F	ISSUED FOR CONSTRUCTION	08/05/2024
1	UPDATED PER TWP REVIEW COMMENTS	08/05/2024

REVISION REV #1 08/22/2024

DATE ISSUED: 08/05/2024

ISSUE PHASE: CONSTRUCTION

PROJECT TITLE:  
**PROPOSED  
 FRENCH MANOR  
 LaFRANIER  
 ADDITION**

CLIENT:  
 BURDCO, INC.  
 1222 VETERANS DRIVE, SUITE A  
 TRAVERSE CITY, MI 49684

PROJECT LOCATION:  
**GRAND TRAVERSE CO, MI**

SHEET TITLE:  
**FLOOD ROUTE  
 PLAN**

PROJECT NUMBER: 24130  
 SHEET NUMBER: D3

**BENCHMARK DATA**  
 BM #1: NAIL IN SOUTH SIDE OF LIGHT POLE  
 ELEV= 706.80' (NAVD 88)

**MACHIN ENGINEERING**  
 1235 E FRONT ST, Suite A  
 TRAVERSE CITY, MI PH 231.935.1530  
 www.machinengineering.net

**BURDCO INCORPORATED**  
 1222 VETERANS DRIVE, SUITE A  
 TRAVERSE CITY, MI 49684  
 TELEPHONE: 231-941-9074  
 FACSIMILE: 231-947-9135  
 www.BURDCO.com



ON 22x34 SHEET SCALE: FULL (AS NOTED)  
 ON 11x17 SHEET SCALE: HALF

REV	DESCRIPTION	DATE
A	REVIEW - 50% DESIGN	08/05/2024
B	REVIEW - 50% DESIGN	08/05/2024
C	REVIEW - 50% DESIGN	08/05/2024
D	ISSUED FOR PERMIT	08/05/2024
E	REVIEW - 50% DESIGN	08/05/2024
F	ISSUED FOR CONSTRUCTION	08/05/2024
1	UPDATED PER TRF REVIEW COMMENTS	08/05/2024

REVISION REV #1 08/22/2024  
 DATE ISSUED: 08/05/2024  
 ISSUE PHASE: CONSTRUCTION

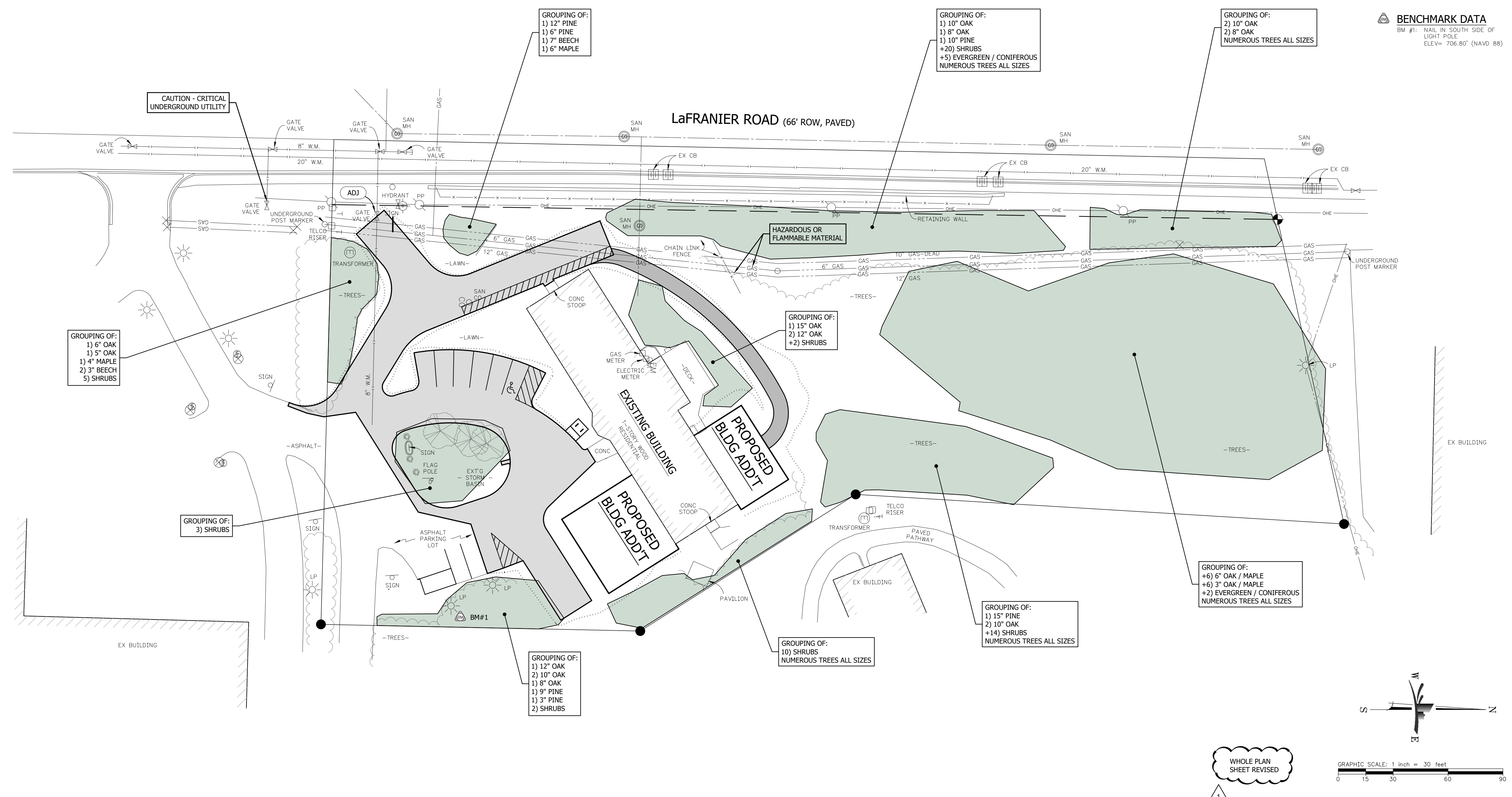
PROJECT TITLE:  
**PROPOSED FRENCH MANOR LaFRANIER ADDITION**

CLIENT:  
 BURDCO, INC  
 1222 VETERANS DRIVE, SUITE A  
 TRAVERSE CITY, MI 49684

PROJECT LOCATION:  
**GRAND TRAVERSE CO, MI**

SHEET TITLE:  
**SITE LANDSCAPE CONDITIONS**

PROJECT NUMBER: **24130**  
 SHEET NUMBER: **L1**



**LANDSCAPING REQUIREMENT CALCULATION**

PROPERTY LINE	REQUIRED BUFFER TYPE	LENGTH OF BUFFER	REQUIRED PLANTINGS	EXISTING TREES	EXISTING TREES CREDIT	EXISTING + TREE CREDIT	TOTAL PROPOSED
NORTH	Type C	170 FT	6 Large Trees 6 Medium / Small Trees 24 shrubs	Six (6) 6" Large Canopy Trees Six (6) 3" Medium Trees Two (2) Small Evergreen Trees Twenty-four (24) Shrubs	1:3 1:2 1:1 1:1	18 Large Trees 12 Medium Trees 2 Small Trees 24 Shrubs	18 Large Trees 14 Medium / Small Trees 24 Shrubs
EAST	Type B	550 FT	12 Large Trees 6 Medium / Small Trees 24 Shrubs	One (1) 12" Large Canopy Tree Three (3) 10" Large Canopy Tree One (1) 8" Large Canopy Tree One (1) Large Evergreen Tree Greater than 16' One (1) Medium Evergreen Tree Greater than 16' Two (1) Medium Evergreen Tree 12' - 16' Twenty-four (24) Shrubs	1:4 1:3 1:3 1:4 1:4 1:3 1:1	4 Large Trees 9 Large Trees 3 Large Trees 4 Large Trees 4 Medium Trees 6 Medium Trees 24 Shrubs	20 Large Trees 10 Medium / Small Trees 24 Shrubs
SOUTH	Type B	230 FT	4 Large Trees 2 Medium / Small Trees 8 Shrubs	One (1) 6" Large Canopy Tree One (1) 5" Large Canopy Tree One (1) 4" Medium Canopy Tree Two (2) 3" Medium Canopy Tree Eight (8) Shrubs	1:3 1:2 1:2 1:2 1:1	3 Large Trees 2 Large Trees 2 Medium Trees 4 Medium Trees 8 Shrubs	5 Large Trees 6 Medium / Small Trees 8 Shrubs
WEST	Type C	500 FT	15 Large Trees 15 Medium / Small Trees 5 Evergreen / Coniferous Trees	One (1) 15" Large Canopy Tree Two (2) 12" Large Canopy Tree Three (3) 10" Large Canopy Tree Three (3) 8" Large Canopy Tree Three (3) Medium Evergreen Trees Greater than 16' One (1) 7" Medium Canopy Tree One (1) 6" Medium Canopy Tree Five (5) Evergreen / Coniferous Trees	1:5 1:5 1:4 1:3 1:4 1:3 1:3 1:1	5 Large Trees 10 Large Trees 12 Large Trees 9 Large Trees 12 Medium Trees 3 Medium Trees 3 Medium Trees 5 Evergreen / Coniferous Trees	36 Large Trees 18 Medium Trees 5 Evergreen / Coniferous Trees

E:\MACHIN ENGINEERING, INC\ME - PROJECTS\2024\24130\_BURDCO\_ML\_FRENCH MANOR\_LAFRANIER\_GARBELDO\DRAWINGS\24130\_LSC\_REV.DWG (08-28-24 2:06 PM) KIRTSCHULTZ

**PHOTOMETRIC EVALUATION  
 NOT FOR CONSTRUCTION**  
 Based on the information provided, all dimensions and luminaire locations represent a recommended application. The engineer and/or architect must determine the applicability of the layout regarding existing or future field conditions.  
 This lighting layout represents illumination levels calculated using laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved method. Actual performance of a manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in LEDs, and other field conditions. Calculations may not include obstructions such as buildings, curbs, landscaping, or other architectural elements. Future nomenclature may not include mounting hardware or poles. This layout is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

DESIGNED FOR:

**FRENCH MANOR**  
 ADDRESS

SALES

A GRACE

DATE

8.9.2024

DESIGNER

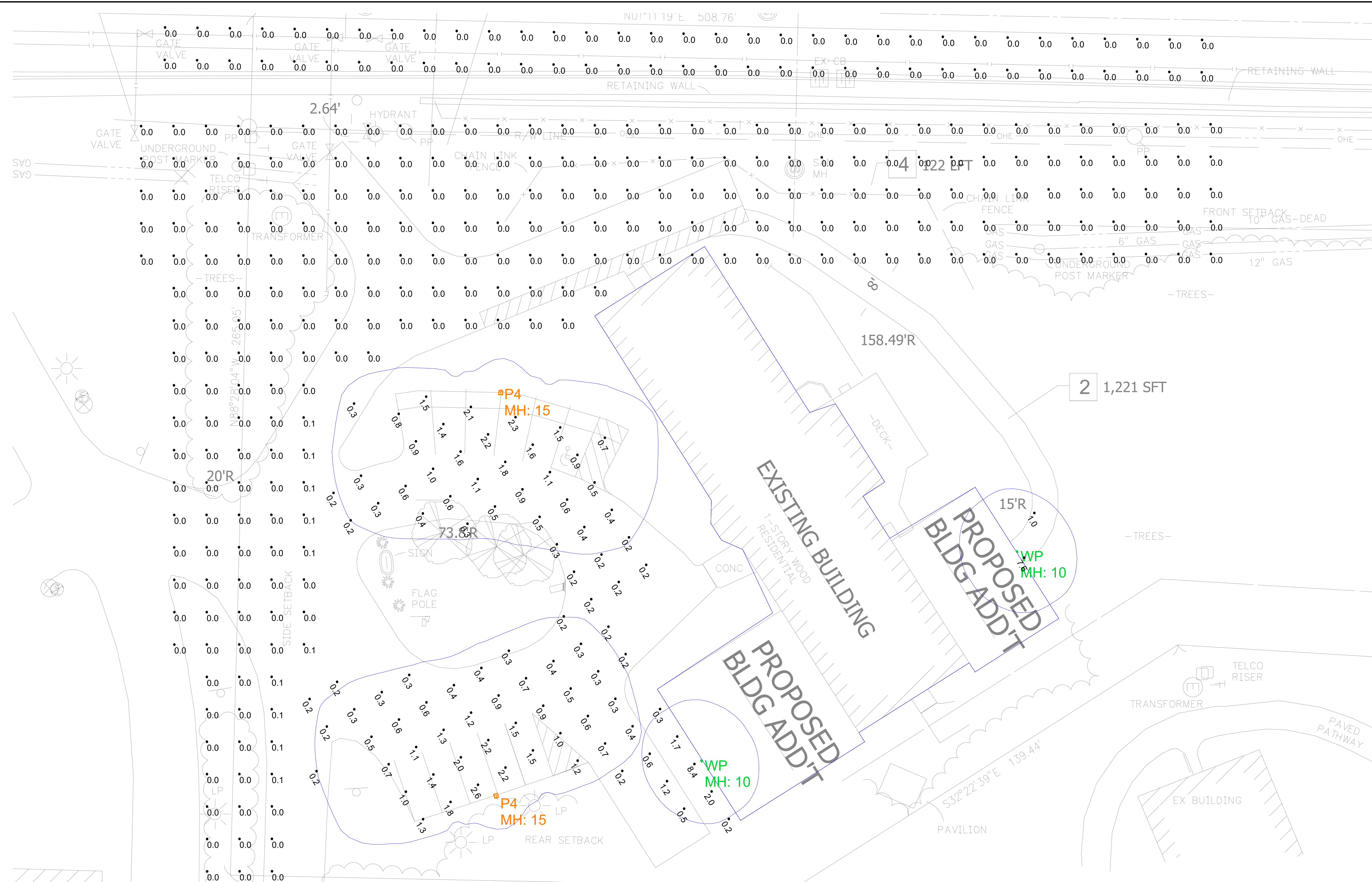
J YONKERS

REVISIONS

DATE	NAME
XX	XX

SHEET

**1**

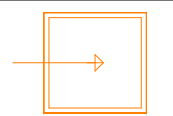


**PHOTOMETRIC PLAN**

SCALE: NTS

Luminaire Schedule

Scenario: GEN

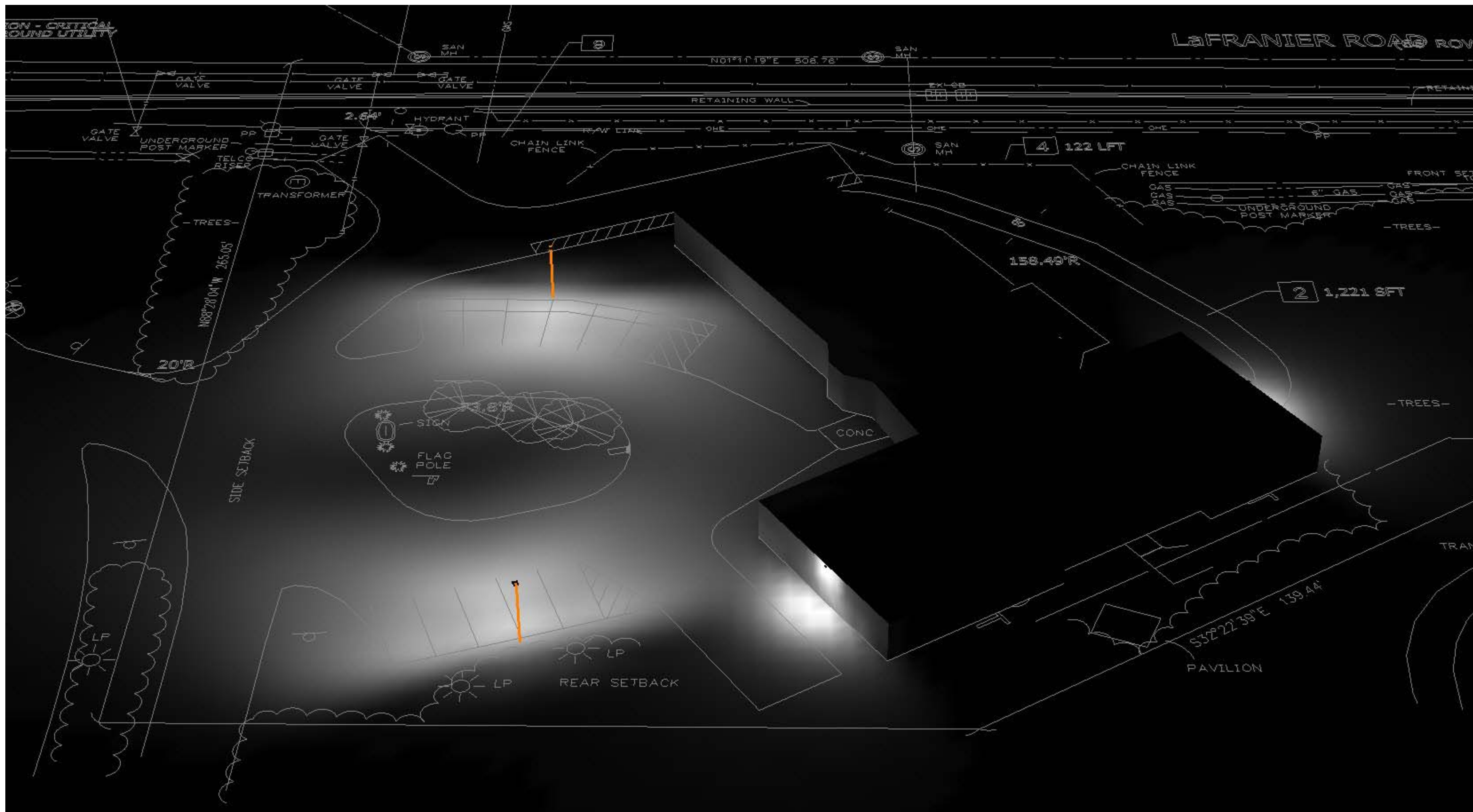
SYMBOL	QTY	LABEL	ARRANGMENT	LLF	[MANUFAC]	DESCRIPTION	MNT HEIGHT	MNT TYPE	TLT WATTS	LUMENS
	2	P4	Single	0.921	COOPER - LUMARK	PRV-PA1A-730-U-T4W-HSS	15	POLE	108	4936
	2	WP	Single	0.921	COOPER - LUMARK	ASWPLED1S-15W-3000K	10	WALL	30	2026

Calculation Summary

Scenario: GEN

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
LIGHT TRESPASS	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.
PARKING LOT	Illuminance	Fc	0.97	8.4	0.2	4.85	42.00
PROPERTY	Illuminance	Fc	0.00	0.1	0.0	N.A.	N.A.

NOTES:  
- CALC AT GRADE



CTA LIGHTING & CONTROLS  
908C West River Center Dr  
Comstock Park, MI 49321  
616.647.2400  
www.cta-lc.com

**PHOTOMETRIC EVALUATION  
NOT FOR CONSTRUCTION**  
Based on the information provided, all dimensions and luminaire locations represent a recommended application. The engineer and/or architect must determine the applicability of the layout regarding existing or future field conditions.  
This lighting layout represents illumination levels calculated using laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved method. Actual performance of a manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in LEDs, and other field conditions. Calculations may not include obstructions such as buildings, curbs, landscaping, or other architectural elements. Future nomenclature may not include mounting hardware or poles. This layout is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

DESIGNED FOR:

**FRENCH MANOR**  
ADDRESS

SALES

A GRACE

DATE

8.9.2024

DESIGNER

J YONKERS

REVISIONS

DATE	NAME
XX	XX

SHEET

**2**

**SCHEDULES**

SCALE: NTS

Project		Catalog #		Type	
Prepared by		Notes		Date	



# Lumark

## Prevail Discrete LED

Area / Site Luminaire

### Product Features



### Product Certifications



### Interactive Menu

- Ordering Information [page 2](#)
- Mounting Details [page 3, 4](#)
- Optical Configurations [page 5](#)
- Product Specifications [page 5](#)
- Energy and Performance Data [page 6](#)
- Control Options [page 8](#)

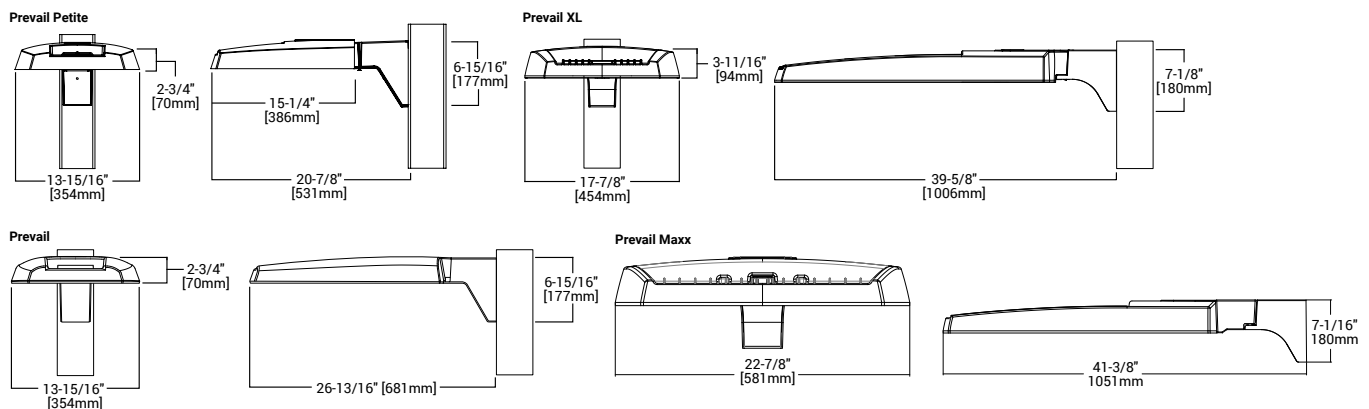
### Quick Facts

- Direct-mounted discrete light engine for improved optical uniformity and visual comfort
- Lumen packages range from 4,300 - 68,000 nominal lumens (30W - 550W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 157 lumens per watt
- Standard universal quick mount arm with universal drill pattern

### Connected Systems

- WaveLinx PRO Wireless
- WaveLinx LITE Wireless

### Dimensional Details




NOTES:  
 1. Visit <https://www.designlights.org/search/> to confirm qualification. Not all product variations are DLC qualified.  
 2. IDA Certified for 3000K CCT and warmer only.

Ordering Information

SAMPLE NUMBER: PRV-XL-PA4B-740-U-T4W-BZ

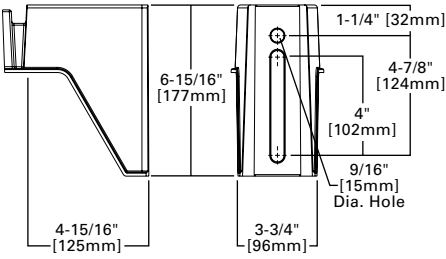
Product Family <sup>1,2</sup>	Light Engine		Color Temperature	Voltage	Distribution	Mounting (Included)	Finish		
	Configuration	Drive Current <sup>4</sup>							
<b>PRV-P</b> =Prevail Petite <b>BAA-PRV-P</b> =Prevail Petite BAA Buy American Act Compliant <sup>3</sup> <b>TAA-PRV-P</b> =Prevail Petite TAA Trade Agreements Act Compliant <sup>3</sup>	<b>PA1</b> =1 Panel, 24 LED Rectangle	<b>A</b> =400mA Nominal <b>B</b> =700mA Nominal <b>C</b> =950mA Nominal <b>D</b> =1200mA Nominal	<b>740</b> =70CRI, 4000K <b>730</b> =70CRI, 3000K <b>750</b> =70CRI, 5000K <b>8540</b> =85CRI, 4000K	<b>U</b> =Universal, 120-277V <b>H</b> =High Voltage, 347-480V 1=120V 2=208V 3=240V 4=277V 8=480V <sup>5</sup> 9=347V <b>DV</b> =DuraVolt, 277-480V <sup>5,6</sup>	<b>T2R</b> =Type II Roadway <b>T2U</b> =Type II Urban <b>T3</b> =Type III <b>T4W</b> =Type IV Wide <b>5WQ</b> =Type V Square Wide	<b>SA=QM Standard Versatile Arm</b> <b>MA</b> =QM Mast Arm <b>FMA</b> =Fixed Mast Arm <sup>27</sup> <b>WM</b> =QM Wall Mount Arm <b>ADJA-WM</b> = Adjustable Arm - Wall Mount <sup>29</sup> <b>ADJA</b> =Adjustable Arm - Pole Mount <sup>29</sup> <b>ADJS</b> =Adjustable Arm - Slipfitter, 3" vertical tenon <sup>29</sup> <b>SP2</b> =Adjustable Arm - Slipfitter, 2 3/8" vertical tenon <sup>27, 29</sup>	<b>AP</b> =Grey <b>BZ</b> =Bronze <b>BK</b> =Black <b>DP</b> =Dark Platinum <b>GM</b> =Graphite Metallic <b>WH</b> =White		
<b>PRV-Prevail</b> <b>BAA-PRV-Prevail</b> BAA Buy American Act Compliant <sup>3</sup> <b>TAA-PRV-Prevail</b> TAA Trade Agreements Act Compliant <sup>3</sup>	<b>PA1</b> =1 Panel, 24 LED Rectangle <b>PA2</b> =2 Panels, 48 LED Rectangles	<b>A=700mA Nominal</b> <b>B=950mA Nominal</b>							
<b>PRV-XL</b> =PRV XL <b>BAA-PRV-XL</b> =Prevail XL BAA Buy American Act Compliant <sup>3</sup> <b>TAA-PRV-XL</b> =Prevail XL TAA Trade Agreements Act Compliant <sup>3</sup>	<b>PA3</b> =3 Panels, 72 LED Rectangles <b>PA4</b> =4 Panels, 96 LED Rectangles	<b>A=750mA Nominal</b> <b>B=950mA Nominal</b>							
<b>PRV-M</b> =Prevail Maxx <b>BAA-PRV-M</b> =Prevail Maxx BAA Buy American Act Compliant <sup>3</sup> <b>TAA-PRV-M</b> =Prevail Maxx TAA Trade Agreements Act Compliant <sup>3</sup>	<b>PA6</b> = 6 Panels, 144 LED Rectangles	<b>A</b> =600mA Nominal <b>B</b> =800mA Nominal <b>C</b> =1000mA Nominal <b>D</b> =1200mA Nominal							
<b>Options (Add as Suffix)</b>			<b>Accessories (Order Separately) <sup>20, 21</sup></b>						
<b>10K</b> =10kV UL 1449 Fused Surge Protective Device <b>20MSP</b> =20kV MOV Surge Protective Device <b>20K</b> =20kV UL 1449 Fused Surge Protective Device <b>F</b> =Single Fuse (Used with Voltages 120, 277 or 347V) <b>FF</b> =Double Fuse (Used with Voltages 208, 240 or 480V) <b>FADC</b> =Field Adjustable Dimming Controller <sup>30</sup> <b>L90</b> =Optics Rotated 90° Left <b>R90</b> =Optics Rotated 90° Right <b>CC</b> =Coastal Construction finish <sup>9</sup> <b>HSS</b> =House Side Shield (Factory Installed) <sup>7</sup> <b>HA</b> =50°C High Ambient Temperature <sup>8</sup> <b>PR</b> =NEMA 3-PIN Twistlock Photocontrol Receptacle <sup>10</sup> <b>PR7</b> =NEMA 7-PIN Twistlock Photocontrol Receptacle <sup>10</sup> <b>MS7/DIM-L08</b> =Motion Sensor for Dimming Operation, Up to 8' Mounting Height <sup>11, 12, 13</sup> <b>MS7/DIM-L20</b> =Motion Sensor for Dimming Operation, 9' - 20' Mounting Height <sup>11, 12, 13</sup> <b>MS7/DIM-L40</b> =Motion Sensor for Dimming Operation, 21' - 40' Mounting Height <sup>11, 12, 13</sup> <b>SPB1</b> =Motion Sensor for Dimming Operation, BLE Interface, Up to 8' Mounting Height <sup>11, 14</sup> <b>SPB2</b> =Motion Sensor for Dimming Operation, BLE Interface, 8' - 20' Mounting Height <sup>11, 14, 27, 28</sup> <b>SPB4</b> =Motion Sensor for Dimming Operation, BLE Interface, 21' - 40' Mounting Height <sup>11, 14, 28</sup>			<b>WPS2XX</b> =Wavelinx Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting Height <sup>11, 12, 15, 16, 17</sup> <b>WPS4XX</b> =Wavelinx Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting Height <sup>11, 12, 15, 16, 17</sup> <b>WLS2XX</b> =WaveLinx Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting <sup>11, 12, 15, 16, 17</sup> <b>WLS4XX</b> =WaveLinx Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting <sup>11, 12, 15, 16, 17</sup> <b>(See Table Below)</b> =LumenSafe Integrated Network Security Camera <sup>18, 19</sup>		<b>PRVSA-XX</b> =Standard Arm Mounting Kit <sup>22</sup> <b>PRVMA-XX</b> =Mast Arm Mounting Kit <sup>22</sup> <b>PRVWM-XX</b> =Wall Mount Kit <sup>22</sup> <b>PRV-ADJA-XX</b> =Adjustable Arm - Pole Mount Kit <sup>22</sup> <b>PRV-ADJS-XX</b> =Adjustable Arm - Slipfitter Kit <sup>22</sup> <b>PRV-ADJA-WM-XX</b> =Adjustable Arm - Wall Mount Kit <sup>22</sup> <b>PRVXLSA-XX</b> =Standard Arm Mounting Kit <sup>28</sup> <b>PRVXLSMA-XX</b> =Mast Arm Mounting Kit <sup>28</sup> <b>PRVXLWM-XX</b> =Wall Mount Kit <sup>28</sup> <b>PRV-XL-ADJA-XX</b> =Adjustable Arm - Pole Mount Kit <sup>28</sup> <b>PRV-XL-ADJA-WM-XX</b> = Adjustable Arm - Wall Mount Kit <sup>28</sup> <b>PRV-XL-ADJS-XX</b> = Adjustable Arm - Slipfitter Kit <sup>28</sup> <b>PRV-M-ADJA-XX</b> =Adjustable Arm - Pole Mount Kit <sup>27</sup> <b>PRV-M-ADJS-XX</b> =Adjustable Arm - Slipfitter Kit <sup>27</sup> <b>PRV-M-ADJA-WM-XX</b> =Adjustable Arm - Wall Mount Kit <sup>27</sup> <b>MA1010-XX</b> =Single Tenon Adapter for 3-1/2" O.D. Tenon <b>MA1011-XX</b> =2@180° Tenon Adapter for 3-1/2" O.D. Tenon <b>MA1017-XX</b> =Single Tenon Adapter for 2-3/8" O.D. Tenon <b>MA1018-XX</b> =2@180° Tenon Adapter for 2-3/8" O.D. Tenon <b>SRA238</b> =Tenon Adapter from 3" to 2-3/8" <b>PRV/DIS-FDV</b> =Full Drop Visor <sup>23</sup> <b>PRVXL/DIS-FDV</b> =Full Drop Visor <sup>18</sup> <b>HSS-VP</b> =House Side Shield Kit, Vertical Panel <sup>7, 24</sup> <b>HSS-HP</b> =House Side Shield Kit, Horizontal Panel <sup>7, 24</sup> <b>VGS-ARCH</b> = Panel Drop Shield, Short <b>VGL-ARCH</b> = Panel Drop Shield, Long <b>OA/RA1013</b> =Photocontrol Shorting Cap <b>OA/RA1014</b> =NEMA Photocontrol - 120V <b>OA/RA1016</b> =NEMA Photocontrol - Multi-Tap 105-285V <b>OA/RA1201</b> =NEMA Photocontrol - 347V <b>OA/RA1027</b> =NEMA Photocontrol - 480V <b>FSIR-100</b> =Wireless Configuration Tool for Occupancy Sensor <sup>25</sup> <b>WOLC-7P-10A</b> =WaveLinx Outdoor Control Module (7-PIN) <sup>26</sup>				
<b>NOTES:</b> 1. DesignLights Consortium® Qualified. Refer to <a href="http://www.designlights.org">www.designlights.org</a> Qualified Products List under Family Models for details. 2. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications. Refer to installation instructions and pole white paper WPS13001EN for additional support information. 3. Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to <a href="http://www.designlights.org">www.designlights.org</a> website for more information. Components shipped separately may be separately analyzed under domestic preference requirements. 4. Nominal drive currents shown here. For actual drive current by configuration, refer to Power and Lumens tables. 5. 480V not to be used with ungrounded or impedance grounded systems. 6. DuraVolt drivers feature added protection from power quality issues such as loss of neutral, transients and voltage fluctuations. Visit <a href="http://www.signify.com/duravolt">www.signify.com/duravolt</a> for more information. 7. House Side Shield not for use with 5WQ distribution. 8. Not available with PATD light engine in Petite housing (PRV-P). 9. Coastal construction finish salt spray tested to over 5,000-hours per ASTM B117, with a scribe rating of 9 per ASTM D1654. 10. If High Voltage (H) or DuraVolt (DV) is specified, use a photocontrol that matches the input voltage used. 11. Controls system is not available in combination with a photocontrol receptacle (PR or PR7) or another controls system (MS SPB). 12. Option not available with High Voltage (H) or DuraVolt (DV). Must specify Universal (U), 347V (9), or 480V (8) voltage. 13. Utilizes the Wattstopper sensor FSP-211. Sensor color white unless specified otherwise via PDR. To field-configure, order FSIR-100 accessory separately. 14. Utilizes the Wattstopper sensor FSP-3XX series. Sensor color determined by product finish. See Sensor Color Reference Table. Field-configures via mobile application. See Controls section for details. 15. Sensor passive infrared (PIR) may be overly sensitive when operating below -20°C (-4°F). 16. In order for the device to be field-configurable, requires WAC Gateway components WAC-PoE and WPOE-120 in appropriate quantities. Only compatible with WaveLinx system and software and requires system components to be installed for operation. See website for more WaveLinx application information. 17. Replace XX with sensor color (WH, BZ or BK). 18. Only available in PRV-XL configurations. 19. Not available with High Voltage (H, DV, 8 or 9) or HA options. Consult LumenSafe system product pages for additional details and compatibility information. 20. Replace XX with paint color. 21. For BAA or TAA requirements, Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information. 22. Not for use with PRV-XL or PRV-M configurations. 23. Only for use with PRV. Not applicable to PRV-M, PRV-XL, or PRV-P. 24. Must order one per optic/LED when ordering as a field-installable accessory (1, 2, 3, 4, or 6). Refer to House Side Shield reference table for details. 25. This tool enables adjustment to Motion Sensor (MS) parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative for more information. 26. Requires 7-PIN NEMA twistlock photocontrol receptacle (PR7) option. The WOLC-7 cannot be used in conjunction with other controls systems (MS or LWR). Only for use at 120-347V. 27. Only available for PRV-M configurations. 28. Only for use with PRV-XL. 29. Fixed for PRV-M. 30. Cannot be used with PR7 or other motion response control options.									

LumenSafe Integrated Network Security Camera Technology Options (Add as Suffix)

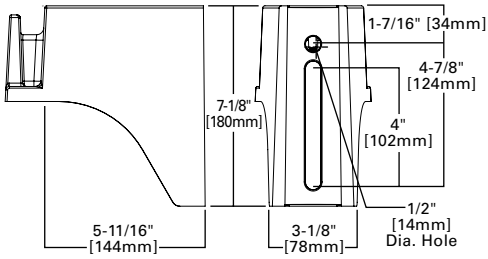
Product Family	Camera Type	Data Backhaul
<b>L</b> =LumenSafe Technology 	<b>H</b> =Dome Camera, High Res <b>Z</b> =Dome Camera, Remote PTZ	<b>C</b> =Cellular, Customer Installed SIM Card <b>A</b> =Cellular, Factory Installed AT&T SIM Card <b>V</b> =Cellular, Factory Installed Verizon SIM Card <b>S</b> =Cellular, Factory Installed Sprint SIM Card <b>E</b> =Ethernet Networking

Mounting Details

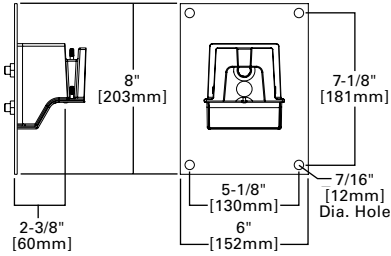
SA=QM Pole Mount Arm (PRV & PRV-P)



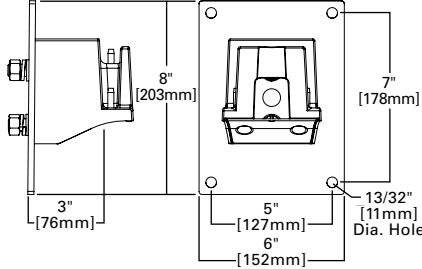
SA=QM Pole Mount Arm (PRV-XL)



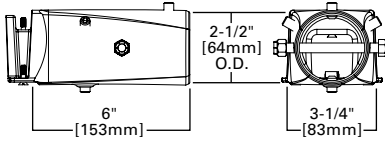
WM=QM Wall Mount Arm (PRV & PRV-P)



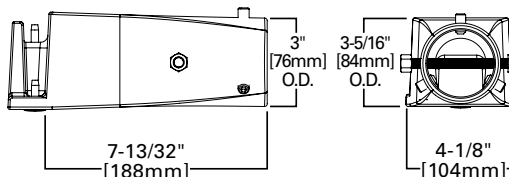
WM=QM Wall Mount Arm (PRV-XL)



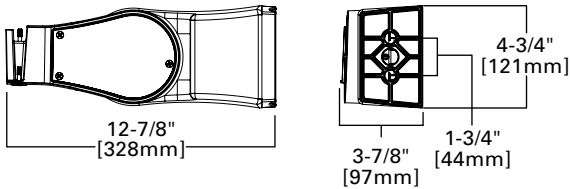
MA=QM Mast Arm (PRV & PRV-P)



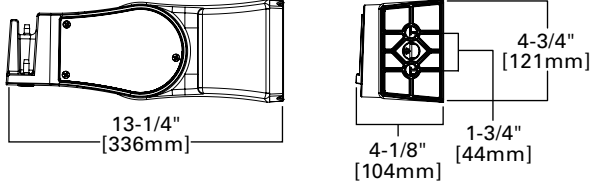
MA=QM Mast Arm (PRV-XL)



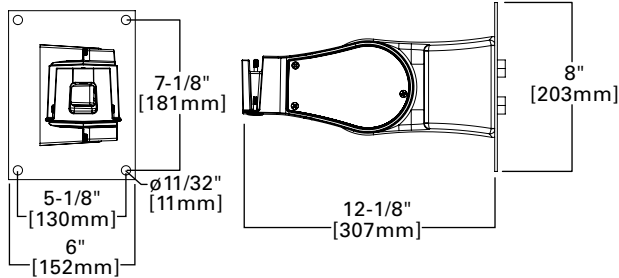
ADJA=Adjustable Arm Pole Mount (PRV & PRV-P)



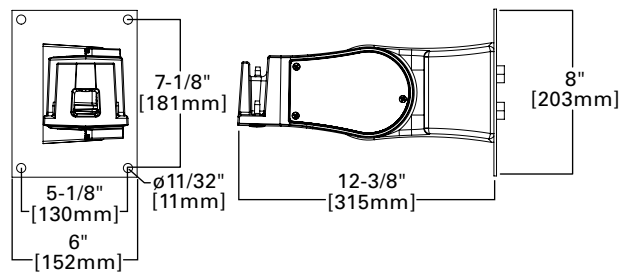
ADJA=Adjustable Arm Pole Mount (PRV-XL)



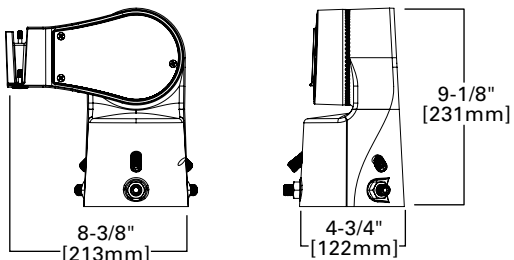
ADJA-WM=Adjustable Arm Wall Mount (PRV & PRV-P)



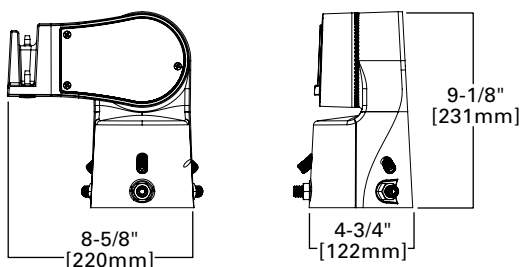
ADJA-WM=Adjustable Arm Wall Mount (PRV-XL)



ADJS=Adjustable Slipfitter 3 (PRV & PRV-P)

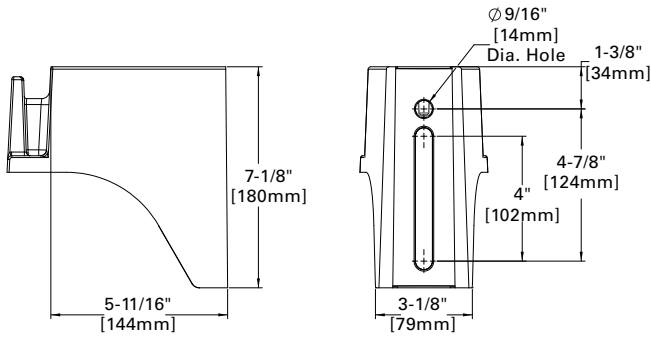


ADJS=Adjustable Slipfitter 3 (PRV-XL)

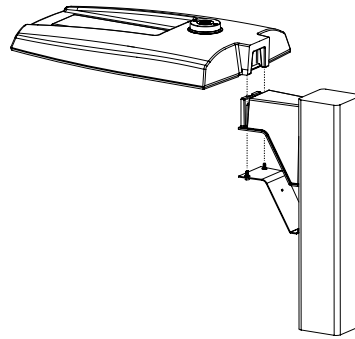


## Mounting Details

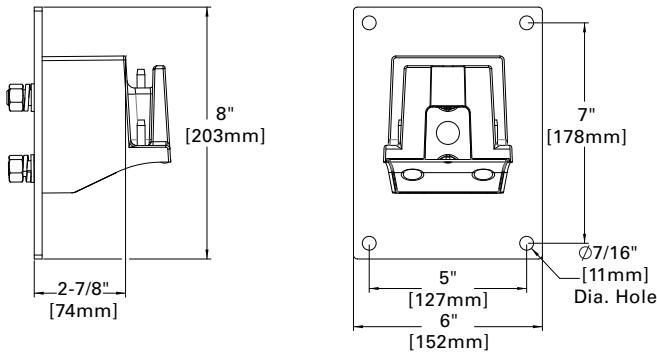
**SA=QM Pole Mount Arm (PRV-M)**



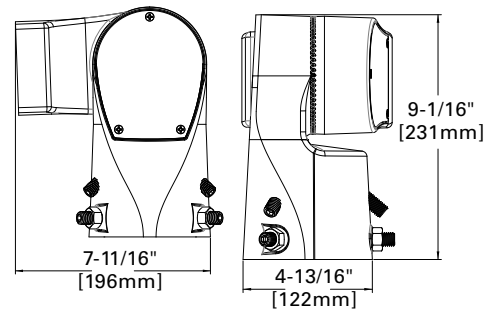
**Versatile Mount System**



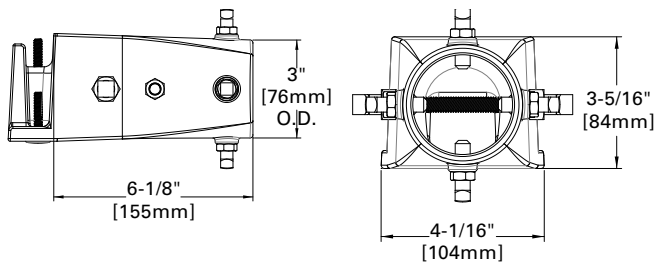
**WM=QM Wall Mount Arm (PRV-M)**



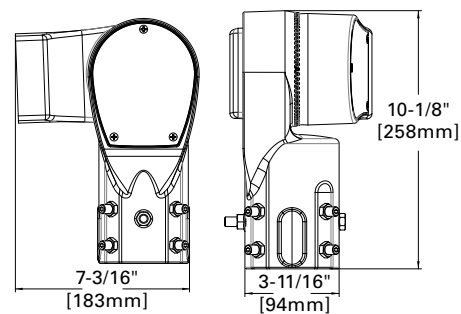
**ADJS=Adjustable Slipfitter (PRV-M)**



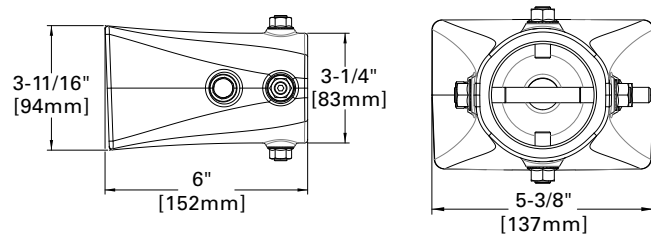
**MA=QM Mast Arm (PRV-M)**



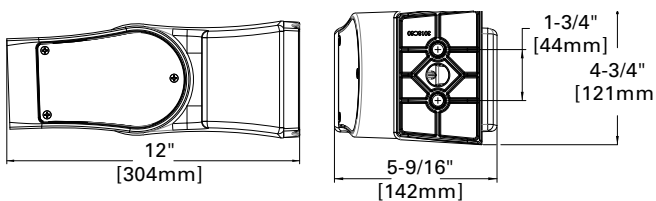
**SP2=Adjustable Slipfitter 2-3/8" (PRV-M)**



**FMA=Fixed Mast Arm (PRV-M)**



**ADJA=Adjustable Pole Mount Arm (PRV-M)**





## Mounting Details

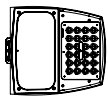
### Mounting Configurations and EPAs

**NOTE:** For 2 PRV's mounted at 90°, requires minimum 3" square or 4" round pole for fixture clearance. For 2 PRV-XL's mounted at 90°, requires minimum 4" square or round pole for fixture clearance. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications

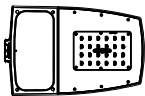
Housing Size	Tilt Angle (Degrees)	Arm Mount Single	Arm Mount 2 @ 180°	Arm Mount 2 @ 90°	Arm Mount 3 @ 90°	Arm Mount 4 @ 90°
Prevail Petite	0°	0.54	1.08	0.84	1.38	1.38
	60°	1.68	1.85	2.42	3.15	3.30
Prevail	0°	0.92	1.35	1.42	1.63	1.63
	60°	2.20	2.40	3.05	3.88	4.07
	60° + Full Drop Visor	2.20	2.40	3.25	4.28	4.47
Prevail XL	0°	1.12	2.25	2.13	2.52	2.52
	60°	3.99	4.30	5.26	6.51	6.79
	60° + Full Drop Visor	3.99	4.30	5.59	7.17	7.49
Prevail Maxx	0°	1.28	2.56	1.7	2.69	2.69
	60°	5.09	5.52	6.34	7.49	7.81

## Optical Configurations

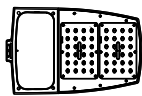
PRV-P-PA1X



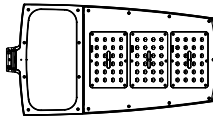
PRV-PA1X



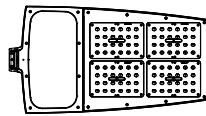
PRV-PA2X



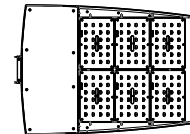
PRV-XL-PA3X



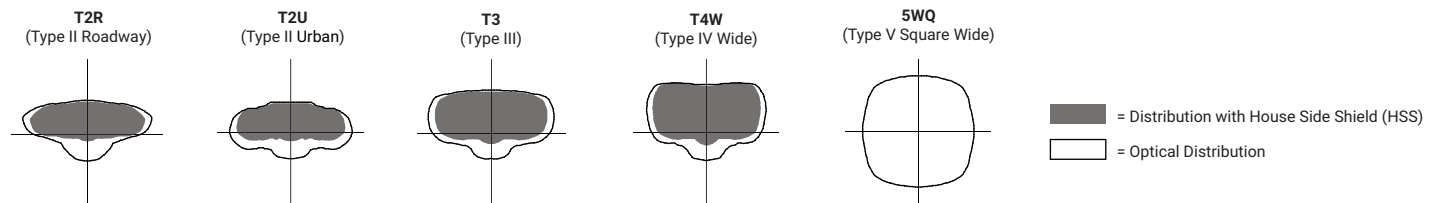
PRV-XL-PA4X



PRV-M-PA6X



### Optical Distributions



## Product Specifications

### Construction

- Single-piece die-cast aluminum housing
- Tethered die-cast aluminum door

### Optics

- Dark Sky Approved (3000K CCT and warmer only)
- Precision molded polycarbonate optics

### Electrical

- -40°C minimum operating temperature
- 40°C maximum operating temperature
- >.9 power factor
- <20% total harmonic distortion
- Class 1 electronic drivers have expected life of 100,000 hours with <1% failure rate
- 0-10V dimming driver is standard with leads external to the fixture
- Standard MOV surge protective device designed to withstand 10kV of transient line surge

- Luminaire available with the field adjustable dimming controller (FADC) to manually adjust wattage and reduce the total lumen output and light levels; Comes pre-set to the highest position at the lumen output selected

### Mounting

- Versatile, patented, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8" (Type M drilling recommended for new installations)
- A knock-out on the standard mounting arm enables round pole mounting
- Adjustable pole and wall mount arms adjust in 5° increments from 0° to 60°; Downward facing orientation only (Type N drilling required for ADJA mount)
- Adjustable slipfitter arm adjusts in 5° increments from -5° to 85°; Downward facing orientation only
- Prevail and Prevail Petite: 3G vibration rated (all arms)
- Prevail XL Mast Arm: 3G vibration rated

- Prevail XL Standard Arm: 1.5G vibration rated
- Adjustable Arms: 1.5G vibration rated

### Finish

- Five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness
- Finish is compliant to 3,000 hour salt spray standard (per ASTM B117)

### Typical Applications

- Parking lots, Walkways, Roadways and Building Areas

### Shipping Data

- Prevail Petite: 18 lbs. (7.94 kgs.)
- Prevail: 20 lbs. (9.09 kgs.)
- Prevail XL: 45 lbs. (20.41 kgs.)
- Prevail Maxx: 49 lbs. (22.23 kgs.)

### Warranty

- Five year limited warranty, consult website for details. [www.cooperlighting.com/legal](http://www.cooperlighting.com/legal)

Energy and Performance Data

Power and Lumens

[View PRV-P IES files](#)

[View PRV IES files](#)

[View PRV-XL IES files](#)

Product Family		Prevail Petite				Prevail				Prevail XL				Prevail Maxx			
Light Engine		PA1A	PA1B	PA1C	PA1D	PA1A	PA1B	PA2A	PA2B	PA3A	PA3B	PA4A	PA4B	PA6A	PA6B	PA6C	PA6D
Power (Watts)		31	53	72	93	54	74	113	151	172	234	245	303	274	366	457	544
Drive Current (mA)		375	670	930	1200	670	930	720	970	750	980	785	970	600	800	1000	1200
Input Current @ 120V (A)		0.26	0.44	0.60	0.78	0.45	0.62	0.93	1.26	1.44	1.95	2.04	2.53	2.30	3.05	3.83	4.54
Input Current @ 277V (A)		0.12	0.20	0.28	0.35	0.21	0.28	0.41	0.55	0.62	0.85	0.93	1.12	0.99	1.30	1.62	1.94
Input Current @ 347V (A)		0.10	0.17	0.23	0.29	0.17	0.23	0.33	0.45	0.52	0.70	0.74	0.90	0.78	1.05	1.32	1.60
Input Current @ 480V (A)		0.07	0.13	0.17	0.22	0.12	0.17	0.24	0.33	0.39	0.52	0.53	0.65	0.58	0.76	0.95	1.14
<b>Distribution</b>																	
Type II Roadway	4000K/5000K Lumens	4,505	7,362	9,495	11,300	7,605	9,896	15,811	19,745	24,718	30,648	34,067	39,689	41,611	52,596	61,921	67,899
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	147	139	132	121	141	134	141	131	144	131	139	131	152	144	135	125
	3000K Lumens <sup>1</sup>	4,103	6,705	8,647	10,291	6,926	9,012	14,399	17,982	22,511	27,912	31,025	36,145	37,896	47,900	56,392	61,837
Type II Roadway w/ HSS	4000K/5000K Lumens	3,727	6,091	7,855	9,349	6,006	7,815	12,487	15,594	19,521	24,204	26,094	31,334	32,874	41,553	48,919	53,642
	BUG Rating	B0-U0-G1	B0-U0-G2	B0-U0-G2	B1-U0-G2	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G4	B1-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5
	Lumens per Watt	121	115	109	100	111	106	111	103	113	103	107	103	120	114	107	99
	3000K Lumens <sup>1</sup>	3,394	5,547	7,154	8,514	5,470	7,117	11,372	14,201	17,778	22,043	24,502	28,545	29,939	37,843	44,552	48,853
Type II Urban	4000K/5000K Lumens	4,496	7,347	9,476	11,277	7,597	9,886	15,795	19,724	24,692	30,616	34,031	39,647	41,372	52,294	61,565	67,509
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B4-U0-G4	B4-U0-G4	B4-U0-G4	B4-U0-G4	B4-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	146	139	131	121	141	134	141	131	144	131	139	131	151	143	135	124
	3000K Lumens <sup>1</sup>	4,095	6,691	8,630	10,271	6,919	9,003	14,384	17,963	22,488	27,882	30,992	36,107	37,678	47,625	56,068	61,481
Type II Urban w/ HSS	4000K/5000K Lumens	3,253	5,316	6,856	8,160	5,297	6,893	11,013	13,753	17,217	21,347	23,728	27,644	28,951	36,594	43,082	47,241
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
	Lumens per Watt	106	101	95	87	98	93	97	91	100	91	97	91	106	100	94	87
	3000K Lumens <sup>1</sup>	2,963	4,841	6,244	7,431	4,824	6,277	10,029	12,525	15,680	19,441	21,609	25,176	26,366	33,327	39,235	43,023
Type III	4000K/5000K Lumens	4,443	7,261	9,364	11,145	7,575	9,857	15,749	19,667	24,621	30,527	33,932	39,532	41,155	52,020	61,242	67,155
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B1-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	145	138	130	119	140	133	141	130	143	130	138	130	150	142	134	123
	3000K Lumens <sup>1</sup>	4,046	6,612	8,528	10,150	6,899	8,977	14,343	17,911	22,423	27,802	30,903	36,002	37,480	47,375	55,774	61,159
Type III w/ HSS	4000K/5000K Lumens	3,406	5,566	7,179	8,543	5,592	7,277	11,626	14,519	18,176	22,536	25,049	29,183	30,159	38,121	44,879	49,212
	BUG Rating	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	111	105	100	91	104	98	103	96	106	96	102	96	110	104	98	90
	3000K Lumens <sup>1</sup>	3,102	5,069	6,538	7,781	5,093	6,627	10,588	13,222	16,553	20,524	22,813	26,578	27,466	34,717	40,872	44,818
Type IV Wide	4000K/5000K Lumens	4,348	7,106	9,164	10,906	7,484	9,738	15,560	19,431	24,325	30,161	33,525	39,057	41,207	52,086	61,320	67,240
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	142	135	127	117	139	132	139	129	141	129	137	129	151	142	134	124
	3000K Lumens <sup>1</sup>	3,960	6,471	8,346	9,932	6,816	8,869	14,170	17,696	22,153	27,468	30,531	35,570	37,528	47,435	55,845	61,236
Type IV Wide w/ HSS	4000K/5000K Lumens	3,318	5,422	6,993	8,323	5,420	7,053	11,268	14,072	17,617	24,843	24,279	28,286	30,005	37,926	44,650	48,961
	BUG Rating	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	108	103	97	89	100	95	100	93	102	106	99	93	110	104	98	90
	3000K Lumens <sup>1</sup>	3,022	4,938	6,369	7,580	4,936	6,423	10,262	12,816	16,044	19,892	22,111	25,760	27,326	34,540	40,664	44,589
Type V Square Wide	4000K/5000K Lumens	4,497	7,349	9,478	11,280	7,831	10,190	16,281	20,332	25,453	31,559	35,079	40,868	42,947	54,285	63,909	70,079
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B3-U0-G2	B4-U0-G3	B4-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	146	139	131	121	145	138	145	135	148	135	143	135	157	143	136	129
	3000K Lumens <sup>1</sup>	4,095	6,693	8,632	10,273	7,132	9,280	14,827	18,517	23,180	28,741	31,947	37,219	39,112	49,438	58,203	63,822

NOTES:  
1. For 3000K or HSS BUG Ratings, refer to published IES files

Energy and Performance Data

House Side Shield Reference Table

Product Family		Prevail	Prevail		Prevail XL		Prevail Maxx
Light Engine		PA1	PA1	PA2	PA3	PA4	PA6
Rotated Optics	Standard	HSS-HP (Qty 1)	HSS-VP (Qty 1)	HSS-HP (Qty 2)	HSS-HP (Qty 3)	HSS-VP (Qty 4)	HSS-HP (Qty 6)
	L90 or R90 option	HSS-VP (Qty 1)	HSS-HP (Qty 1)	HSS-VP (Qty 2)	HSS-VP (Qty 3)	HSS-HP (Qty 4)	HSS-VP (Qty 6)

Sensor Color Reference Table (SPBx)

Housing Finish	Sensor Color
AP=Grey	Grey
BZ=Bronze	Bronze
BK=Black	Black
DP=Dark Platinum	Grey
GM=Graphite Metallic	Black
WH=White	White

Lumen Multiplier

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

FADC Settings

FADC Postion	Percent of Typical Lumen Output
1	25%
2	48%
3	55%
4	62%
5	72%
6	77%
7	82%
8	85%
9	90%
10	100%

Note: +/-5% typical value

Lumen Maintenance

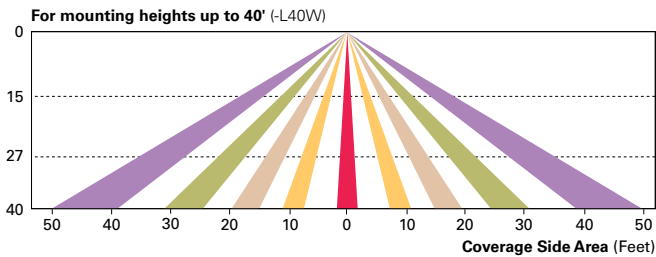
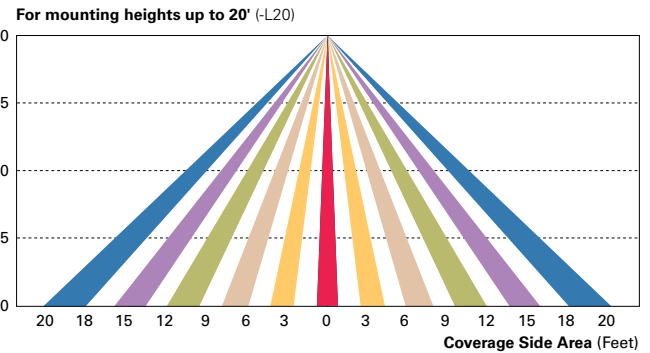
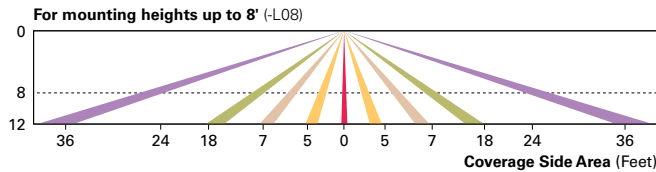
Ambient Temperature	TM-21 Lumen Maintenance (78,000 Hours)	Theoretical L70 (Hours)
Up to 50°C	96.76%	> 896,000

### Control Options

**0-10V** This fixture provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

**Photocontrol** (PR and PR7) Photocontrol receptacles provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-PIN standards can be utilized with the PR7 receptacle.

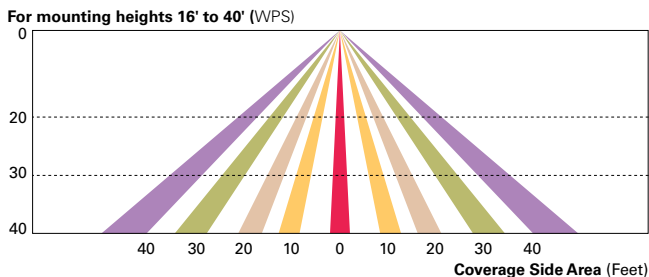
**Dimming Occupancy Sensor** (SPB, MS/DIM-LXX) These sensors are factory installed in the luminaire housing. When the SPB or MS/DIM sensor options are selected, the luminaire will dim down after five minutes of no activity detected. When activity is detected, the luminaire returns to full light output. These occupancy sensors include an integral photocell for "dusk-to-dawn" control or "daylight harvesting." Factory default is enabled for the MS sensors and disabled for the SPB. SPB motion sensors require the Sensor Configuration mobile application by Wattstopper to change factory default dimming level, time delay, sensitivity and other parameters. Available for iOS and Android devices. The SPB sensor is factory preset to dim down to approximately 10% power with a time delay of five minutes.



**WaveLinx Wireless Control and Monitoring System** Available in 7-PIN or 4-PIN configurations, the WaveLinx Outdoor control platform operates on a wireless mesh network based on IEEE 802.15.4 standards enabling wireless control of outdoor lighting. At least one Wireless Area Controller (WAC) is required for full functionality and remote communication (including adjustment of any factory pre-sets).

**WaveLinx Outdoor Control Module (WOLC-7P-10A)** A photocontrol that enables astronomical or time-based schedules to provide ON, OFF and dimming control of fixtures utilizing a 7-PIN receptacle. The out-of-box functionality is ON at dusk and OFF at dawn.

**WaveLinx PRO Wireless Sensor (WPS2 and WPS4)** These outdoor sensors offer passive infrared (PIR) occupancy sensing and a photocell for closed-loop daylight sensing. These sensors are factory preset to dim down to approximately 50 percent power after 15 minutes of no activity detected, and the photocell for "dusk-to-dawn" control is default enabled. A variety of sensor lenses are available to optimize the coverage pattern for mounting heights from 7'-40'.



**LumenSafe (LD)** The LumenSafe integrated network camera is a streamlined, outdoor-ready camera that provides high definition video surveillance. This IP camera solution is optimally designed to integrate into virtually any video management system or security software platform of choice. No additional wiring is needed beyond providing line power to the luminaire. LumenSafe features factory-installed power and networking gear in a variety of networking options allowing security integrators to design the optimal solution for active surveillance.

Project		Catalog #		Type	
Prepared by		Notes		Date	



# Lumark AP

## ASWP Adjustable Slim Wall Pack Series

Wall Mount Luminaire

### Product Features



### Product Certifications



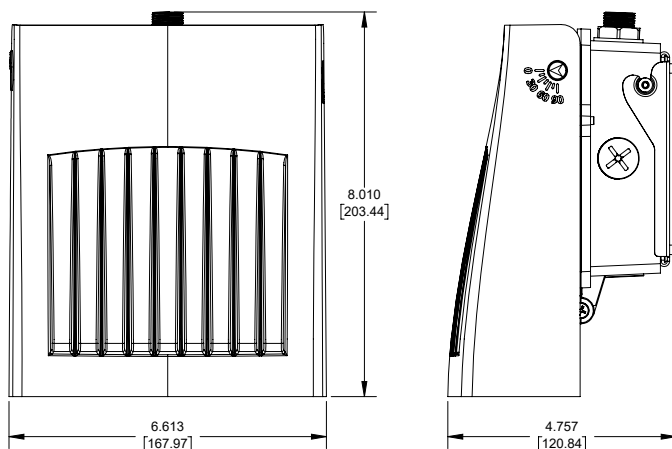
### Interactive Menu

- Ordering Information [page 2](#)
- Product Specifications [page 2](#)
- Energy and Performance Data [page 3](#)

### Quick Facts

- Selectable configurations available
- Lumen packages range from 2,100-10,200 lumens
- Replaces 155W-375W HID equivalent
- Efficacies up to 130 lumens per watt
- Energy and maintenance savings up to 89%
- Heat and impact resistant borosilicate glass lens

### Dimensional Details



## Ordering Information

Model Number <sup>1</sup>	Lumens / Wattage	Color Temperature	Voltage	Controls
<b>ASWPLED1S=Small LED Wall Pack</b>	Selectable Lumens: <b>2,000-4,000</b> / 15-20-24-30W	Selectable CCT: <b>3000,4000,5000K</b> / 70CRI	120-347V, 50/60Hz	Selectable Dusk-to-Dawn via Button-type photocontrol
<b>ASWPLED2S=Medium LED Wall Pack</b>	Selectable Lumens: 5,000-10,000 / 40-50-60-75W	Selectable CCT: 3000,4000,5000K / 70CRI	120-347V, 50/60Hz	Selectable Dusk-to-Dawn via Button-type photocontrol

**NOTES:**  
1. DesignLights Consortium® Qualified. Refer to [www.designlights.org](http://www.designlights.org) Qualified Products List under Family Models for details.

## Product Specifications

**Construction**

- Die-cast aluminum housing with hinged, removable die-cast aluminum door
- Three 1/2" threaded conduit entry points
- Removable mounting plate for easy installation
- Cast-in angle indicators

**Optics**

- Impact and heat resistant borosilicate refractive glass lens

**Electrical**

- -40°C minimum operating temperature
- 40°C maximum operating temperature
- >.9 power factor
- <20% total harmonic distortion
- Class 2 driver incorporates internal fusing designed to withstand 3kV surge
- 0-10V dimming driver standard

**Controls**

- Selectable configurations supply internal toggle switches to adjust luminaire CCT and lumens. Selectable luminaires will ship default at 4000K CCT and maximum lumen output. Selectable configurations also provide an integrated button-type photocontrol for dusk-to-dawn operation. The photocontrol is also field-adjustable via toggle switches to either enable, disable, or modify the settings. The photocontrol ships default enabled.

**Typical Applications**

- Outdoor
- Parking Lots
- Walkways
- Building Areas

**Finish**

- Bronze

**Shipping Data**

- Unit Carton:
  - ASWPLED1S: 4.4 lbs.
  - ASWPLED2S: 9.1 lbs.
- Master Carton:
  - ASWPLED1S: 19.7 lbs. Qty 4
  - ASWPLED2S: 20.2 lbs. Qty 2

## Energy and Performance Data

[View WP IES files](#)

### Power and Lumens (ASWPLED1S Selectable)

Light Engine	Set to 15W	Set to 20W	Set to 24W	Set to 30W	
Switch setting	3-ON	2-ON	1-ON	1,2,3-OFF	
Power (Watts)	15	19.6	23.1	30.4	
Input Current @ 120V (A)	0.13	0.16	0.19	0.25	
Input Current @ 277V (A)	0.05	0.07	0.08	0.11	
Input Current @ 347V (A)	0.04	0.06	0.07	0.09	
<b>Performance</b>					
3000K	Lumens	2,083	2,569	2,964	3,733
	Lumens per Watt	138.9	131	128.3	122.8
4000K	Lumens	2,223	2,742	3,163	3,984
	Lumens per Watt	148.2	139.8	136.9	131.1
5000K	Lumens	2,154	2,657	3,065	3,860
	Lumens per Watt	143.6	135.4	132.6	127

### CCT Multipliers

CCT	Multipliers
3000K	1.0000
4000K	1.0672
5000K	1.0340

### Power and Lumens (ASWPLED2S Selectable)

Light Engine	Set to 40W	Set to 50W	Set to 60W	Set to 75W	
Switch setting	3-ON	2-ON	1-ON	1,2,3-OFF	
Power (Watts)	38.8	50.2	60.4	74.4	
Input Current @ 120V (A)	0.32	0.42	0.50	0.62	
Input Current @ 277V (A)	0.14	0.18	0.22	0.27	
Input Current @ 347V (A)	0.16	0.21	0.25	0.31	
<b>Performance</b>					
3000K	Lumens	5,492	6,916	8,086	9,575
	Lumens per Watt	141.5	137.7	133.9	128.7
4000K	Lumens	5,861	7,381	8,630	10,219
	Lumens per Watt	151	146.9	142.9	137.3
5000K	Lumens	5,679	7,151	8,361	9,900
	Lumens per Watt	146.3	142.4	138.5	133.1

### Lumen Maintenance

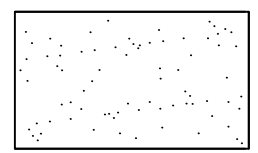
Configuration	Ambient Temperature	TM-21 Lumen Maintenance (50,000 hrs)	Reported L70 (hrs)
Up to 30W	40°C	87.30%	>72,000
Up to 75W	40°C	86.90%	>72,000



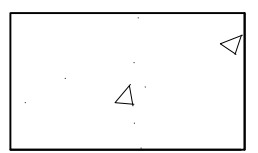


LEGEND:

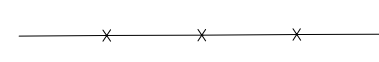
- = FOUND IRON
- ⊙ = FOUND MONUMENT
- ⊗ = SET 1/2" REBAR & CAP
- △ = SET PK NAIL
- ▲ = FOUND PK NAIL
  
- ☒ CATCH BASIN
- ⊙ SANITARY MANHOLE
- ⊙ IRRIGATION MANHOLE
- ⊗ SPIGOT
- ⊗ GAS VALVE
- ⊗ POWER/UTILITY POLE
- ☀ LIGHT POLE
- ☐ TELEPHONE RISER
- ☐ ELECTRIC METER
- ☐ GAS METER
- ☐ AC UNIT
- ☐ MAILBOX
- SIGN
- ⊙ SATELLITE
- ⊗ WATER VALVE
- ⊙ HYDRANT
- ⊙ TRANSFORMER
- UGG POST
- ⊗ FLAG POLE
- ⊙ SANITARY CLEAN-OUT
- ⊗ UNDERGROUND GAS MARKER



CONCRETE



ASPHALT



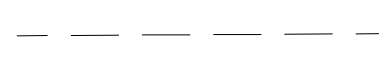
FENCE



UNDERGROUND GAS



OVERHEAD ELECTRIC



ROAD STRIPING



TREE LINE

NOTE: EXHIBITS FROM SUPPLIED RECIPROCAL EASEMENT AGREEMENT

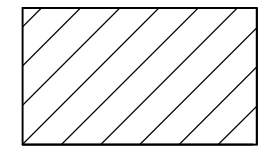


EXHIBIT A - ENTRANCE EASEMENT

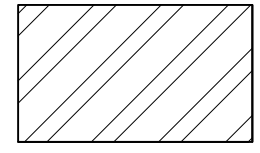


EXHIBIT B - PEDESTRIAN EASEMENT

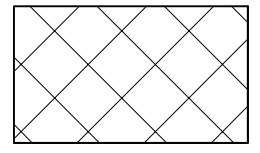


EXHIBIT C - JOINTLY MAINTAINED AREA

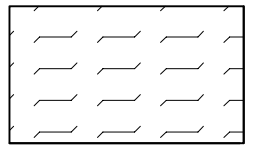


EXHIBIT D - LIMITED MAINTAINED AREA

BENCHMARK  
NAIL IN SOUTH SIDE OF LIGHT POLE  
ELEV. = 706.80'

PARCEL NO. 05-014-072-10

PARCEL ADDRESS:  
3090 LAFRANIER RD.  
TRAVERSE CITY, MI 49686

ACTUAL ZONING REQUIREMENTS TO BE CONFIRMED WITH GOVERNING MUNICIPALITY.

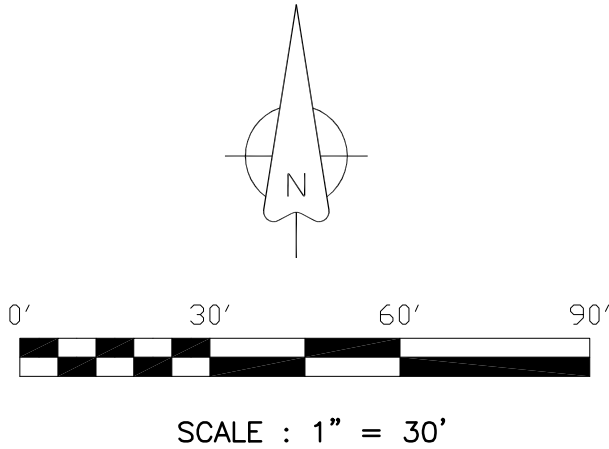
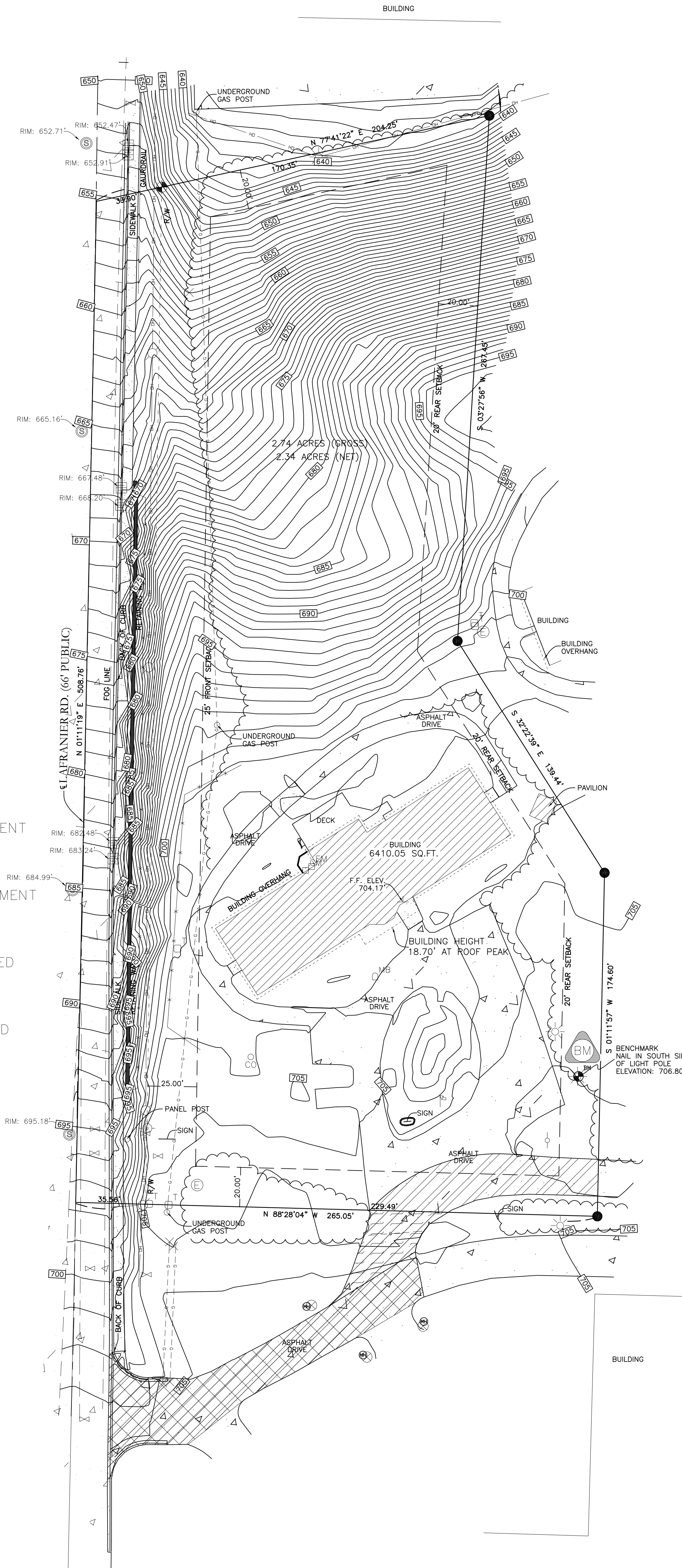
DRAWING SHOWN AS FEATURES WERE FOUND IN THE FIELD.

HORIZONTAL DATUM BASED ON STATE PLANE COORD. MI CENTRAL PROJECTION, NAD 83.

BOUNDARY DIMENSIONS ARE SHOWN AS MEASURED.

SETBACKS: ZONING:  
25' FRONT R-3 - MULTI-FAMILY RESIDENTIAL  
20' REAR

SIDE:  
10' ONE-FAMILY  
15' TWO-FAMILY  
20' MULTI-FAMILY



DATE: JUNE 25, 2024  
DREVISED: AUGUST 27, 2024  
PAGE 1 OF 1

DRAWN BY: IRA


JOB #505024B

PARCEL NO.: 05-014-072-10

PART OF THE SW¼, SE¼, SEC. 14, T27N, R11W,  
GARFIELD TWP., GRAND TRAVERSE CO.,  
MICHIGAN

DESIGN SURVEY

3090 LAFRANIER RD.  
TRAVERSE CITY, MI 49686

 <b>Charter Township of Garfield</b> <b>Planning Department Report No. 2024-81</b>			
Prepared:	October 2, 2024	Pages:	6
Meeting:	October 9, 2024 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	High Tops Bar/Restaurant/Night Club – Site Plan – Review #2		
Applicant:	Philip Beehler		
Owner:	Traverse Entertainment Group / Ulysses C. Walls, President		
Agent:	Gosling-Czubak Engineering Sciences, Inc. / Robert Verschaeve, P.E.		
File No.	SPR-2022-21-A		
Parcel No.	05-014-049-10		

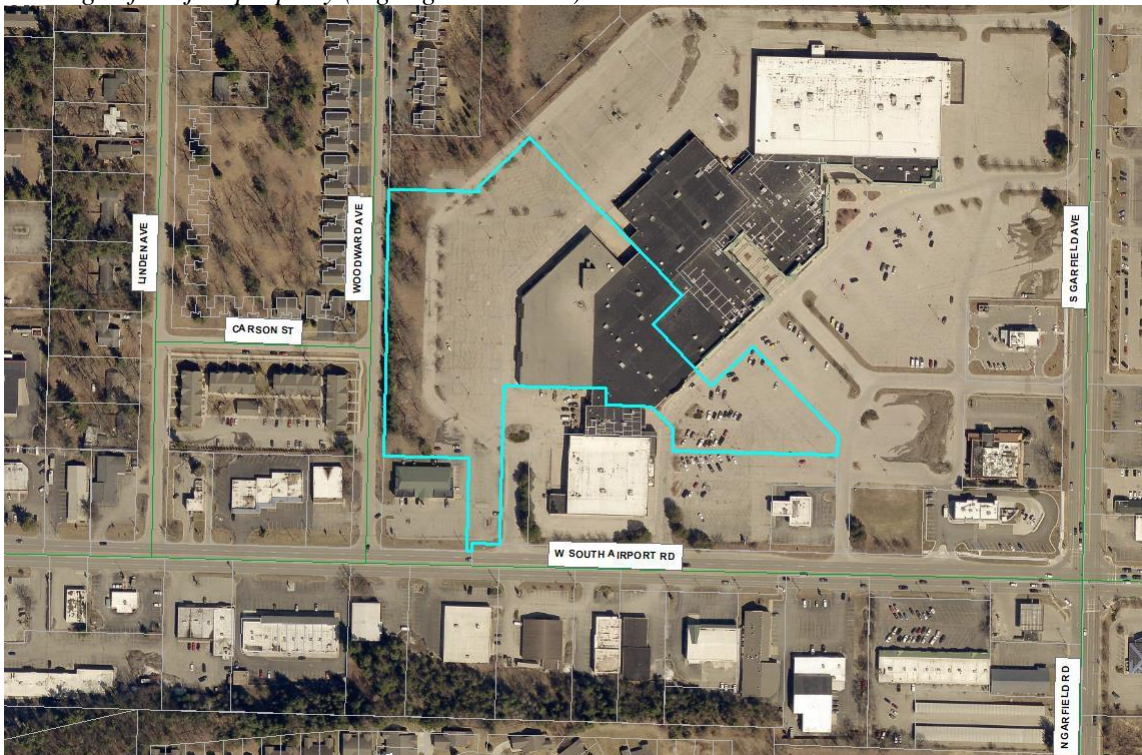
**PURPOSE OF APPLICATION:**

Applications for development within the C-P Planned Shopping Center shall be reviewed by the Planning Commission for compliance with Article 4, § 424 – Site Plans and Article 5 – Development Standards.

**BACKGROUND:**

The site is located at 1212 West South Airport Road, is approximately 8.48 acres, and is home to the former Sears store at Cherryland Center. The K1 Speed Indoor Kart Racing facility was approved by the Planning Commission on December 14, 2022, and occupies 60,145 square feet or 62% of the building floor area. The site plan states the proposed High Tops bar, restaurant and nightclub is planned to occupy the remaining 36,114 square feet or 38% of the total building floor area. However, measurements taken from the floor plan indicate the area to occupied is roughly 30,978 square feet. Restaurants, bars, and night clubs are uses permitted by right in the C-P Planned Shopping Center district.

*Aerial image of subject property (highlighted in blue):*



**SITE DEVELOPMENT REQUIREMENTS:**

***(1) General***

Applications for development within the C-P Planned Shopping Center shall be reviewed by the Planning Commission for compliance with Article 4, § 424 – Site Plans and Article 5 – Development Standards. The following criteria as listed in Section 424.F(1)(a)-(j) of the Zoning Ordinance are offered for consideration by the Planning Commission:

***(a) Required Information.*** *All required information shall be provided.*

- The application was received by the Township on August 13, 2024. Since the application is an amendment of the previous K1 Speed Indoor Kart Racing facility site plan, only minor additional information was needed. Any outstanding items may potentially be made a condition of site plan approval.

***(b) Outside Agencies.*** *All applicable standards of outside agencies shall be met and all required permits and approvals from outside agencies shall be secured, or be made a condition of approval.*

- The applicant is required to comply with all agencies with jurisdiction. Agency approvals may be a condition of site plan approval.

***(c) Essential Facilities and Services.*** *Adequate essential facilities and services, including highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools, shall be available.*

- As this application is for a proposed redevelopment of an existing commercial site, many essential facilities and services are in place.
- The site is accessed from two major roads and is serviced by existing public sewer and water.
- The site is served by an existing 8” municipal water line and an 8” sanitary sewer line.
- Due to the nature of typical activity around a nightclub, there may be a need for greater police presence at this location to ensure public safety of customers, nearby residents, and property.

***(d) Natural Features.*** *Sensitive natural features, or existing natural features that provide a buffer between adjoining properties, or assist in preserving the general appearance of the neighborhood, or help control soil erosion or stormwater, shall be preserved to the greatest extent possible.*

- The proposed use does not alter the existing development pattern on the site. There are no known sensitive natural features on the site.

***(e) Site Design.*** *All buildings and structures shall be designed, situated, constructed, operated and maintained so as to be harmonious, compatible, and appropriate in appearance, with the existing or intended character of the general vicinity. Site design shall minimize adverse effects upon owners and occupants of adjacent properties and the neighborhood.*

- The proposed use does not alter the existing development pattern on the site. The site is well-established and has been in place for over 40 years.

- The proposed use is completely contained indoors, however, due to late hours of operation there could be some impact on the adjacent existing single-family and multi-family residences along Woodward Avenue. Noise may emanate from the building due to concerts. Also, noise and light in the parking lot may be an issue when the facility is in operation.
- The Planning Commission tabled the application on September 11, 2024. The applicant was not present at the meeting. The Planning Commission requested that the applicant address these concerns.
- As of the preparation date of this Report, the Planning Department received ten (10) email letters from nearby residents with considerable concerns about the incompatibility of the proposed use with nearby existing residences. The closest residence is about 360 feet from the proposed nightclub.

(f) **Orientation.** *Primary buildings or structures shall be oriented so that their main entrance faces the street upon which the lot fronts. If the development is on a corner lot, the main entrance may be oriented to either street or to the corner.*

- The site plan shows a wall division in the existing building between the existing K1 Speed Indoor Kart Racing facility and the proposed High Tops bar, restaurant, and night club. K-1 has its main entrance facing the front (east side) of the building with a rear entrance. High Tops is proposed to have its main entrance at the rear (west side) of the building.
- Both the front and back building entrances have internal sidewalks in front of them which allows for connections to future sidewalks along South Airport Road.
- Although this site has a small frontage on South Airport Road, it does not include any direct access. A reciprocal easement agreement throughout Cherryland Center allows for access to the site from South Airport Road and Garfield Road.

(g) **Vehicle and Pedestrian Systems.** *The development, where possible, shall provide vehicular and pedestrian circulation systems which reflect and extend the pattern of streets, pedestrian and bicycle ways in the area. A proper relationship between existing and proposed roadways and parking areas shall be demonstrated, and the safety and convenience of pedestrian and vehicular traffic shall be assured. Travelways which connect and serve adjacent development shall be designed appropriately to carry the projected traffic.*

- The proposed use will rely on existing entrances to the Cherryland Center, with the most direct access from South Airport Road and additional access from Garfield Avenue.
- Sidewalks have been installed along the site's frontages on both South Airport Road and Woodward Avenue.

(h) **Shared Drives.** *Where the opportunity exists, developments shall use shared drives. Unnecessary curb cuts shall not be permitted.*

- As described above, the development site will use the existing entrance drives on Garfield Avenue and South Airport Road which serve the entire Cherryland Center.

(i) **Impervious Surfaces.** *The amount of impervious surface has been limited on the site to the extent practical.*

- The site is in an existing development. The proposed use does not reduce the impervious surface; however, no additional impervious surface is proposed. Two additional landscaping islands shall be installed in the existing parking lot closest to the building.

(j) **Master Plan.** *The proposal is not in conflict with the land use policies, goals and objectives of the Township Master Plan.*

- The proposed use fits with the Future Land Use Map, as the parcel and surrounding vicinity are envisioned as commercial, which accommodates a wide range of potential businesses, including entertainment facilities.
- The site is part of the Barlow Garfield Neighborhood Plan which guides development in this neighborhood of the Township. This plan included several development principles for this neighborhood encompassing the following:
  - Allow for mixed-use development on primary corridors.
  - Account for public spaces that accommodate a variety of activities.
  - Encourage connectivity through sidewalks, trails, cross-access, and other means.
  - Allow sites to be designed at a scale that encourages a neighborhood character.
  - Allow for new housing with diverse selection of unit types and sizes.
  - Facilitate improvements for public infrastructure upon new development.
- The Barlow Garfield Neighborhood Plan envisions a connected, livable, community center within Garfield Township in this neighborhood. The proposed use activates the site and encourages additional active uses to be part of the site redevelopment.

The following review of the proposal with regards to the relevant sections within Article 5 – Development Standards is also provided:

*Access Management*

As described above, the development site will use the existing entrance drives on Garfield Avenue and South Airport Road which serve the entire Cherryland Center. This is consistent with the intent of access management standards including encouraging shared drives.

*Parking, Snow Storage, and Bicycle Parking*

To determine parking for the entire building, there are two components: the K-1 portion that is a recreation use without fixed seats and the High Tops portion that is a bar, restaurant, and night club. For the High Tops portion, the occupancy range was utilized as the most consistent requirement for all areas of the use.

<i>Use</i>	<i>Minimum Calculation</i>	<i>Maximum Calculation</i>	<i>Minimum Required</i>	<i>Maximum Permitted</i>
Recreation use without fixed seats ( <b>K1</b> )	1 for each six (6) persons within the maximum occupancy load. 431 persons is the maximum occupancy load.	1 for each three (3) persons within the maximum occupancy load. 431 persons is the maximum occupancy load.	72 spaces	144 spaces
Bar, restaurant, and night club ( <b>High Tops</b> )	1 for each six (6) persons within the maximum occupancy load. 1,903 persons is the maximum occupancy load.	1 for each three (3) persons within the maximum occupancy load. 1,903 persons is the maximum occupancy load.	317 spaces	635 spaces
Range of Spaces Required/Permitted			389 spaces	779 spaces
Number of Spaces Provided at the <b>East Side</b> of the Building			150 spaces	
Number of Spaces Provided at the <b>West Side</b> of the Building			307 spaces	
Total Number of Spaces Provided (Both Sides of Building)			457 spaces	

The total site provides enough parking spaces. However, the building divides the parking areas and more parking spaces are provided on the east side than the west side. While the reciprocal easement agreement provides for shared parking, recent site plan reviews by the Planning Commission have required proposed uses meet the minimum parking requirement. The site plan shows 307 parking spaces at the west side of the building where a minimum of 317 parking spaces are required. The site plan needs to be amended to address the parking deficiency at the west side of the building.

Bicycle parking shall be provided at the rate of 2 bicycle spaces per 25 motor vehicle spaces. The parking lot has 456 motor vehicle spaces which requires 36 bicycle spaces. The site plan indicates 19 double racks provided giving space for 38 bicycles.

In accordance with Section 551.E.6, snow storage is required at the ratio of 10 square feet per 100 square feet of parking area. The site plan describes the parking area as 194,000 square feet which requires 19,400 square feet for snow storage; 19,535 square feet is provided including using some existing parking spaces on the west side.

#### *Parking Lot Sealant and Striping*

As part of the approval of the K1 Speed Indoor Kart Racing facility, new landscaping and several new landscaped parking lot islands were installed. However, some portions were deferred to occur with future redevelopment. For this phase of redevelopment, the rear parking lot, drives, and maneuvering pavement areas shall be sealed and striped.

#### *Dumpster Enclosures*

There is an existing trash compactor on the site which will remain. If any dumpsters are proposed in the future, an enclosure would be needed to meet the standards of Section 516.

#### *Lighting*

A previously approved lighting plan has been included with this site plan. There are no proposed changes.

#### *Landscaping*

As part of the approval of the K1 Speed Indoor Kart Racing facility, new landscaping and several new landscaped parking lot islands were installed. However, some portions were deferred to occur with future redevelopment. For this phase of redevelopment, three (3) new landscaped parking lot islands shall be installed for the rear (northwest side) of the building as noted on the site plan.

#### *Stormwater Management and Pavement Evaluation*

As part of the approval of the K1 Speed Indoor Kart Racing facility, a stormwater and pavement assessment by the Township Engineer was performed. Requirements of that inspection have been completed.

### **(2) External Access**

The proposed development will gain its direct access from the existing Cherryland Center entrance drives.

### **(3) Internal Pedestrian Circulation**

Section 522 requires pathways and interior sidewalks. The front and back building entrances have internal sidewalks in front of them which allows for connections to future sidewalks along South Airport Road.

### **(4) Non-Motorized Pathways**

Sidewalks have been installed along the site's frontages on South Airport Road and Woodward Avenue in accordance with the Non-Motorized Plan of the Master Plan and Section 522 of the Zoning Ordinance.

**(5) Building Placement**

The building placement is existing development with no proposed changes.

**(6) Vegetative Transition Strip**

A fifty-foot-wide vegetative transition strip is required if the site abuts a residential or agricultural zone. An existing transition strip is in place.

**(7) Service Drives**

Access to the site, including the parking lots, is from existing service drives to a major thoroughfare.

**(8) Prohibited Outdoor Storage**

The applicant does not propose any outdoor storage on this site.

**RECOMMENDATION:**

As of the preparation date of this Report, the Planning Department has not received any information from the applicant regarding the concerns of the Planning Commission. While there have been considerable concerns about the proposed nightclub, there was less concern for the proposed restaurant and bar. Due to the potential impacts of the proposed nightclub, there needs to be a response from the applicant, including any possible amendments, along with further review by the Planning Commission. Therefore, the following motion is offered:

MOTION THAT application SPR-2022-21-A, submitted by Philip Beehler for a bar, restaurant, and night club on parcel 05-014-049-10 located at 1212 West South Airport Road, BE TABLED, to obtain a response from the applicant and for further review by the Planning Commission.

Additional information deemed necessary by the Planning Commission should be added to the motion.

**Attachments:**

1. Site Plan Review Application – dated August 1, 2024
2. Site Plan Set from Gosling Czubak – dated August 6, 2024



# Charter Township of Garfield

## Grand Traverse County

3848 VETERANS DRIVE  
TRAVERSE CITY, MICHIGAN 49684  
PH: (231) 941-1620 • FAX: (231) 941-1588

### SITE PLAN REVIEW (SPR) APPLICATION

#### ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning and/or Zoning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

#### ACTION REQUESTED

- Site Diagram Review
- Administrative Site Plan Review
- Site Development Plan Review

#### PROJECT / DEVELOPMENT NAME

High Tops

#### APPLICANT INFORMATION

Name: Phil P Beehler  
Address: 7525 Cedar run rd. TC MI 49684  
Phone Number: 231 357-0234  
Email: Premiercustomhometc@yahoo.com

#### AGENT INFORMATION

Name: Gosling Czubak Engineering Sciences, Inc Robert Verschaere  
Address: 1280 Business Park Dr Traverse City MI 49686  
Phone Number: 231 933-5102  
Email: rmverschaeere@goslingczubak.com

#### OWNER INFORMATION

Name: Ulysses C Walls  
Address: 1212 W South Airport Road  
Phone Number: (231) 313-3800  
Email: ucwalls@yahoo.com



CONTACT PERSON

Please select one person to be contact person for all correspondence and questions:

Applicant:	
Agent:	
Owner:	<i>Ulysses C. Walls</i>

PROPERTY INFORMATION

Property Address:	<i>1212 W South Airport rd.</i>
Property Identification Number:	<i>OS-014-049-10</i>
Legal Description:	<i>See Plans</i>
Zoning District:	<i>C-P, Manning Shopping</i>
Master Plan Future Land Use Designation:	<i>C-P</i>
Area of Property (acres or square feet):	<i>8.48 Acres</i>
Existing Use(s):	<i>Retail Shopping</i>
Proposed Use(s):	<i>Sports bar, nightclub</i>

PROJECT TIMELINE

Estimated Start Date:	
Estimated Completion Date:	

REQUIRED SUBMITTAL ITEMS

A complete application for a Site Plan Review consists of the following:

Application Form:

- One original signed application
- One digital copy of the application (PDF only)

Application Fee:

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please make check out to Charter Township of Garfield.

- Fee

Escrow Fee:

Additional fees may be required if a review by independent professional help is deemed necessary by the Township. If required, such additional fees must be placed in escrow by the applicant in accordance with the escrow policies of the Township and prior to any further processing of this application. Any unused escrow funds shall be returned to the applicant. Please complete an Escrow and Review (ER) Application form.

Site Diagram Review:

- Two complete stapled 11"x17" paper sets
- One digital set (PDF only)

Administrative Site Plan:

- Two complete stapled 11"x17" paper sets
- Two complete bound 24"x36" paper sets
- One digital set (PDF only)

Site Development Plan:

- Ten complete stapled 11"x17" paper sets
- Two complete bound 24"x36" paper sets
- One digital set (PDF only)

Digital items to be delivered via email or USB flash drive

SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

WAIVERS

Submittal Waiver:

At the discretion of the Zoning Administrator in the case of a Site Diagram, or the Director of Planning in the case of an Administrative Site Plan or a Site Development Plan, the requirement to submit a Site Diagram, an Administrative Site Plan or a Site Development Plan may be waived in any of the following cases when it is determined that the submission would serve no useful purpose:

1. The erection or enlargement of an accessory structure;
2. The enlargement of a principal building by less than 20 percent of its existing gross floor area, provided such enlargement will not result in a requirement for additional off-street parking;
3. A change in principal use where such change would not result in an increase in impervious surface area, additional off-street parking, site access, other external site characteristics or a violation of this ordinance.

Data Waiver:

1. The Zoning Administrator may waive a particular element of information or data otherwise required for a Site Diagram upon a finding that the information is not necessary to determine compliance with this ordinance.
2. The Director of Planning may waive a particular element of information or data otherwise required for a Site Development Plan upon a finding that the information or data is not necessary to determine compliance with this ordinance or that such information or data would not bear on the decision of the approval authority.

SITE PLAN

Check that your site plan includes all required elements for a Site Diagram (SD), Administrative Site Plan (ASP), or Site Development Plan (SDP). Please use the Required Site Plan Elements Checklist below.

**APPROVAL CRITERIA**

An administrative site plan or site development plan shall conform to all provisions of the Zoning Ordinance and to the following site development standards which shall be reflected on the plan.

1. **Required Information.** All required information shall be provided.
2. **Outside Agencies.** All applicable standards of outside agencies shall be met and all required permits and approvals from outside agencies shall be secured, or be made a condition of approval.
3. **Essential Facilities and Services.** Adequate essential facilities and services, including highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools, shall be available.
4. **Natural Features.** Sensitive natural features, or existing natural features that provide a buffer between adjoining properties, or assist in preserving the general appearance of the neighborhood, or help control soil erosion or stormwater, shall be preserved to the greatest extent possible.
5. **Site Design.** All buildings and structures shall be designed, situated, constructed, operated and maintained so as to be harmonious, compatible, and appropriate in appearance, with the existing or intended character of the general vicinity. Site design shall minimize adverse effects upon owners and occupants of adjacent properties and the neighborhood.
6. **Orientation.** Primary buildings or structures shall be oriented so that their main entrance faces the street upon which the lot fronts. If the development is on a corner lot, the main entrance may be oriented to either street or to the corner.
7. **Vehicle and Pedestrian Systems.** The development, where possible, shall provide vehicular and pedestrian circulation systems which reflect and extend the pattern of streets, pedestrian and bicycle ways in the area. A proper relationship between existing and proposed roadways and parking areas shall be demonstrated, and the safety and convenience of pedestrian and vehicular traffic shall be assured. Travelways which connect and serve adjacent development shall be designed appropriately to carry the projected traffic.
8. **Shared Drives.** Where the opportunity exists, developments shall use shared drives. Unnecessary curb cuts shall not be permitted.
9. **Impervious Surfaces.** The amount of impervious surface has been limited on the site to the extent practical.
10. **Master Plan.** The proposal is not in conflict with the land use policies, goals and objectives of the Township Master Plan.

**ADDITIONAL INFORMATION**

If applicable, provide the following further information:

	Project will utilize existing sanitary sewer service to existing building	Yes	No	Not Applicable
A. <b>Sanitary Sewer Service</b>				
1. Does project require extension of public sewer line?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Will a community wastewater system be installed?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, provide construction plans and specifications				
3. Will on-site disposal be used?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, is it depicted on plan?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

B. Water Service

- |   |                          |                                     |                          |
|---|--------------------------|-------------------------------------|--------------------------|
| 1. Does project require extension of public water main? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| If yes, has a Utility Agreement been prepared?          | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> |
| 2. Will a community water supply be installed?          | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> |
| If yes, has a Utility Agreement been prepared?          | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> |
| If yes, provide construction plans and specifications   |                          |                                     |                          |

C. Public utility easements required?

If yes, show on plan.

- |                          |                          |                                     |
|--------------------------|--------------------------|-------------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--------------------------|--------------------------|-------------------------------------|

D. Stormwater Review/Soil Erosion

- |  |                          |                                     |                          |
|--|--------------------------|-------------------------------------|--------------------------|
| 1. Soil Erosion Plans approved by Soil Erosion Office? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| If so, attach approval letter.                         |                          |                                     |                          |
| If no, are alternate measures shown?                   | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> |
| 2. Stormwater Plans approved by Township Engineer?     | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| If so, attach approval letter.                         |                          |                                     |                          |
| If no, are alternate measures shown?                   | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> |

Note: Alternate measures must be designed and sealed by a registered Engineer.

E. Roads and Circulation

- |   |                          |                          |                                     |
|---|--------------------------|--------------------------|-------------------------------------|
| 1. Are interior public streets proposed?                                  | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| If yes, has Road Commission approved (attach letter)?                     | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            |
| 2. Will public streets connect to adjoining properties or future streets? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 3. Are private roads or interior drives proposed?                         | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 4. Will private drives connect to adjoining properties service roads?     | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 5. Has the Road Commission or MDOT approved curb cuts?                    | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| If yes, attach approved permit.   |                          |                          |                                     |

OTHER INFORMATION

If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

REVIEW PROCESS

- Upon submittal of this application, Staff will review the materials submitted and will, within ten (10) working days, forward a determination of completeness to the applicant. If the submission is incomplete or noncompliant with the Zoning Ordinance, it will be returned to the applicant for revision. Once the submission is revised, Staff will again review it for completeness and again forward a determination to the applicant within ten (10) working days. This procedure shall be repeated until a complete submission is received.
- Once the application is deemed to be complete and submitted according to the application deadlines, it will be forwarded to the Planning Commission for review.
- The Planning Commission may approve, approve with conditions, or deny the application.

PERMISSION TO ENTER SUBJECT PROPERTY

Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Owner Signature: 

<i>Ulysses Y. Walls</i>
-------------------------

  
Applicant Signature: 

<i>Op al</i>
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Agent Signature: 

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Date: 

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OWNER'S AUTHORIZATION

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We *Ulysses Walls* authorize to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner Signature: 

<i>Ulysses Y. Walls</i>
-------------------------

  
Date: 

<i>6/1/2024</i>
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AFFIDAVIT

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application and all of the information submitted in this application, including any supplemental information, is in all respects true and correct. The undersigned further acknowledges that willful misrepresentation of information will terminate this permit application and any permit associated with this document.

Owner Signature: 

<i>Ulysses Y. Walls</i>
-------------------------

  
Date: 

<i>6/1/2024</i>
-----------------

  
Applicant Signature: 

<i>Op al</i>
--------------

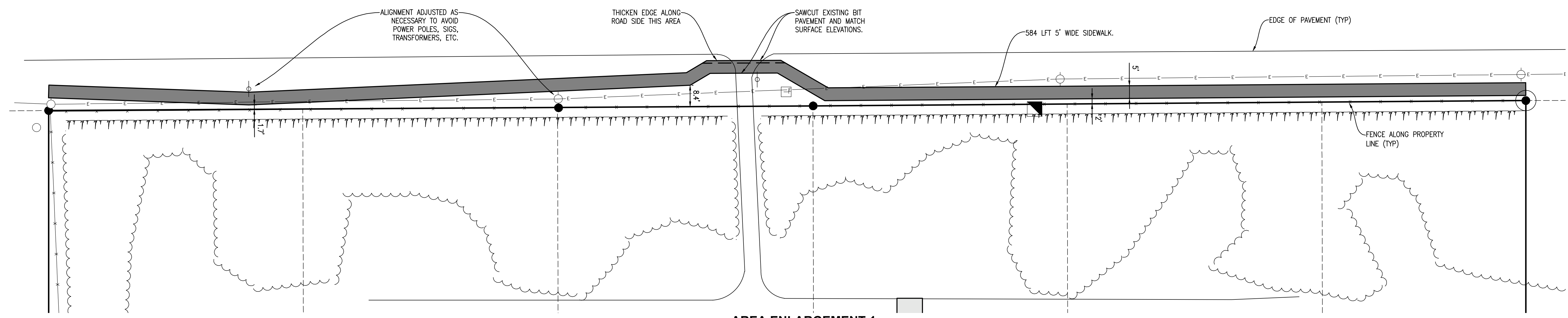
  
Date: 

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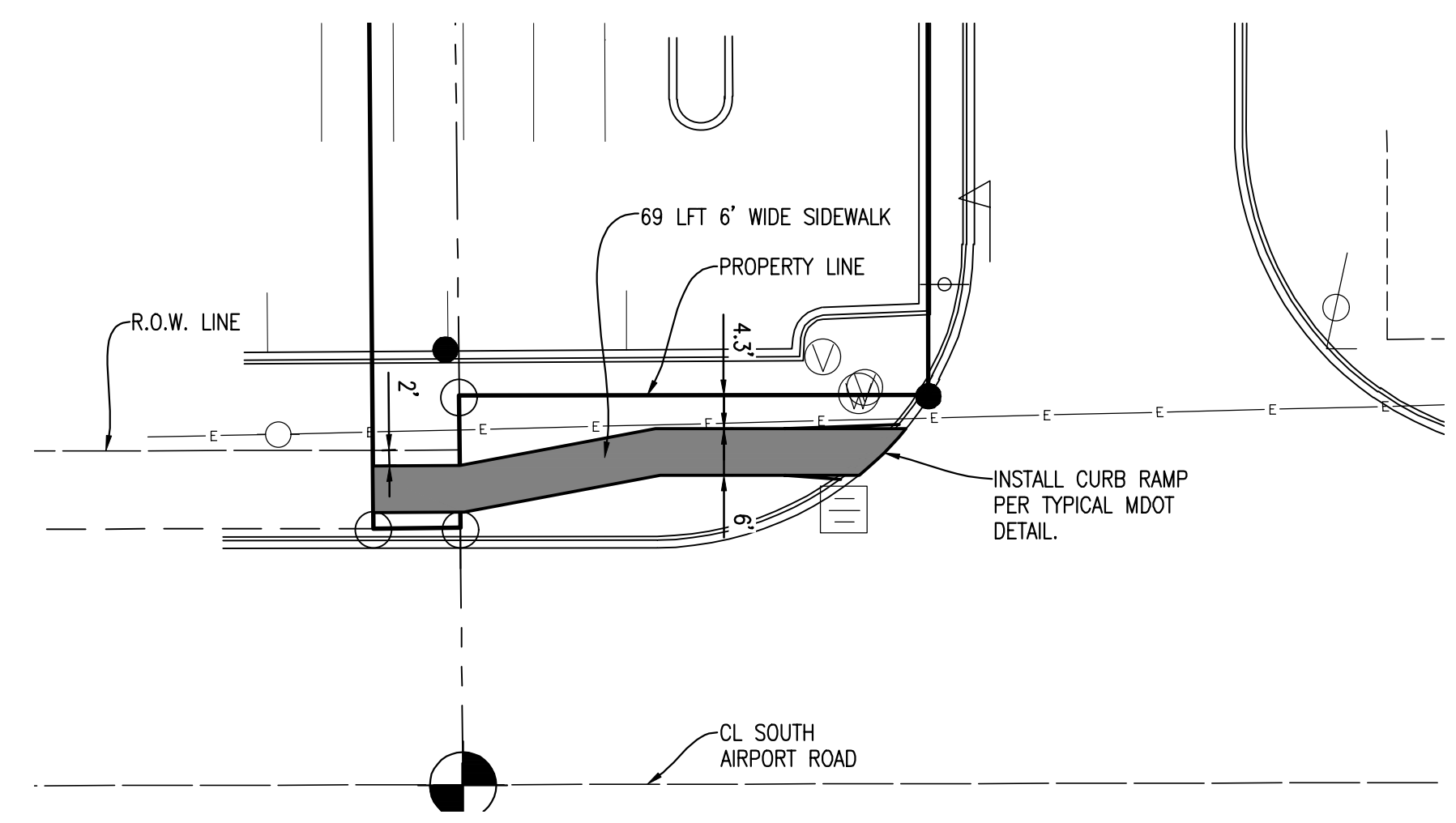
Required Site Plan Elements Checklist (See § 956 of the Zoning Ordinance) Site Diagram (SD) / Administrative Site Plan (ASP) / Site Development Plan (SDP)		SD	ASP/ SDP
<b>A. Basic Information</b>			
1.	Applicant's name, address, telephone number and signature	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2.	Property owner's name, address, telephone number and signature	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.	Proof of property ownership	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4.	Whether there are any options or liens on the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5.	A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent	<input type="checkbox"/>	<input type="checkbox"/>
6.	The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7.	A vicinity map showing the area and road network surrounding the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8.	Name, address and phone number of the preparer of the site plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9.	Project title or name of the proposed development	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10.	Statement of proposed use of land, project completion schedule, any proposed development phasing	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11.	Land uses and zoning classification on the subject parcel and adjoining parcels	<input type="checkbox"/>	<input checked="" type="checkbox"/>
12.	Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as their name, address and telephone number	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>B. Site Plan Information</b>			
1.	North arrow, scale, and date of original submittal and last revision	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2.	Boundary dimensions of natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.	Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%), beach, drainage, and similar features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4.	Proposed alterations to topography and other natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5.	Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18%	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6.	Soil erosion and sediment control measures as required by the Grand Traverse County Soil Erosion Department.	N/A	<input checked="" type="checkbox"/>
7.	The location, height and square footage of existing and proposed main and accessory buildings, and other existing structures	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8.	Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state or federal government authorities	N/A	<input checked="" type="checkbox"/>
9.	Proposed finish floor and grade line elevations of any structures <i>*Required only for habitable construction within the floodplain on site diagrams and administrative site plans</i>	<input type="checkbox"/> *	<input checked="" type="checkbox"/>
10.	Existing and proposed driveways, including parking areas	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11.	Neighboring driveways and other vehicular circulation features adjacent to the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>
12.	A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared parking areas	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13.	Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14.	Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features within and adjacent to the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15.	Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16.	Location of neighboring structures that are close to the parcel line or pertinent to the proposal	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17.	Location of water supply lines and/or wells	<input type="checkbox"/>	<input checked="" type="checkbox"/>
18.	Location of sanitary sewer lines and/or sanitary sewer disposal systems	<input type="checkbox"/>	<input checked="" type="checkbox"/>
19.	Location, specifications, and access to a water supply in the event of a fire emergency	<input type="checkbox"/>	<input checked="" type="checkbox"/>
20.	Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention ponds, swales, wastewater lines, clean out locations, connection points and treatment systems	NO CHANGES PROPOSED	<input type="checkbox"/>
21.	A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam	NO CHANGES PROPOSED	<input type="checkbox"/>
22.	A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections	<input type="checkbox"/>	<input type="checkbox"/>
23.	A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used	NO CHANGES PROPOSED	<input type="checkbox"/>
24.	Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences, walls, trash receptacle screening, and other screening features with cross sections shown	<input type="checkbox"/>	<input checked="" type="checkbox"/>
25.	A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as, its typical size by general location or range of sizes as appropriate	<input type="checkbox"/>	<input checked="" type="checkbox"/>
26.	Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities, and on the natural environment on and adjacent to the site)	NO IMPACTS TO EXISTING	<input checked="" type="checkbox"/>
27.	Changes or modifications required for any applicable regulatory agencies' approvals	<input type="checkbox"/>	<input checked="" type="checkbox"/>



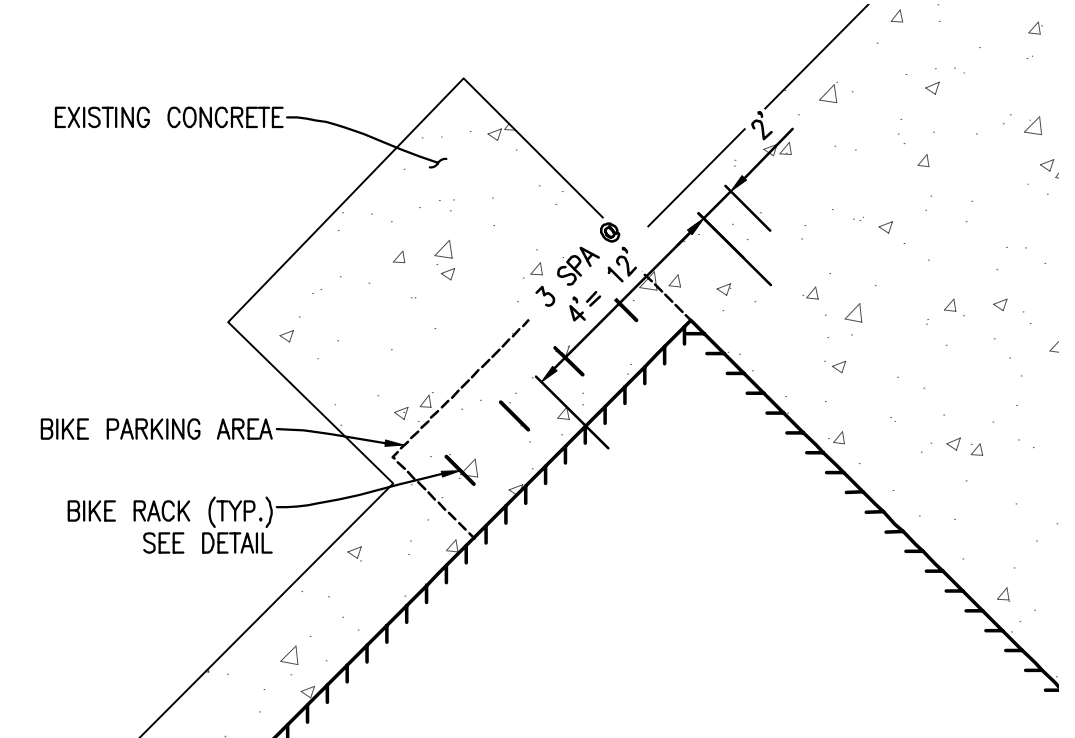
No.	Date	Revision	By
1	12-2-2022	TYP. SITE PLAN APPROVAL REVISIONS	RMV
2	10-17-2023	LAND USE PERMIT REVISIONS	RMV



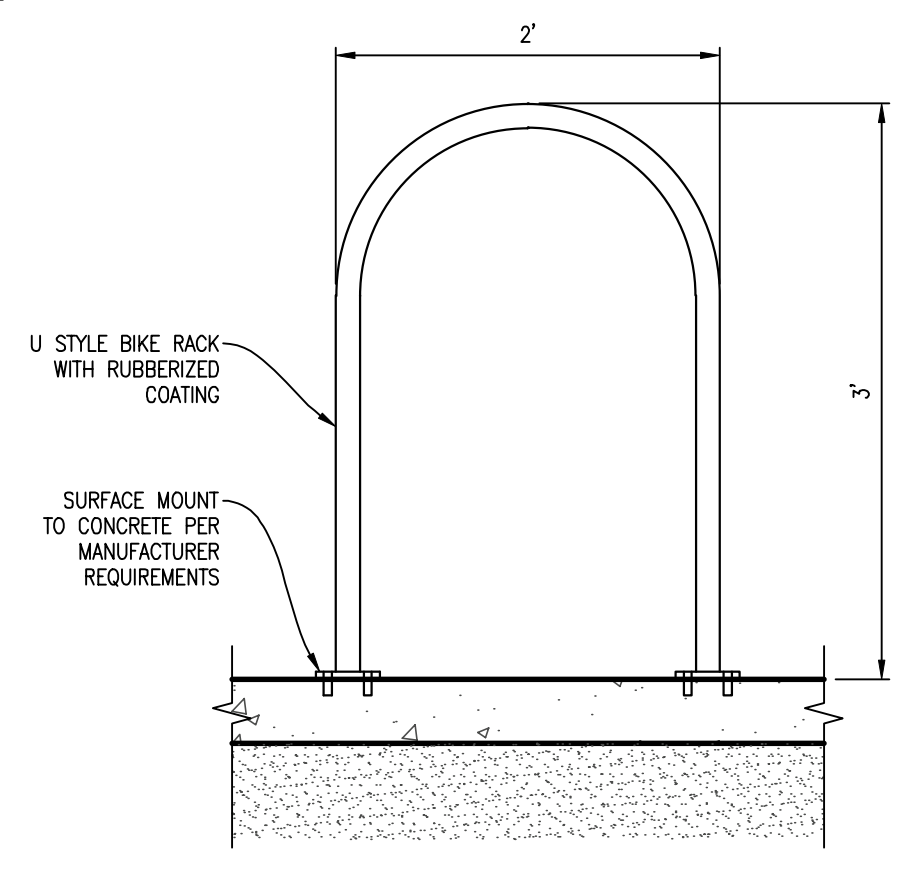
**AREA ENLARGEMENT 1  
 WOODWARD DRIVE SIDEWALK PLAN**  
 SCALE: 1" = 20'



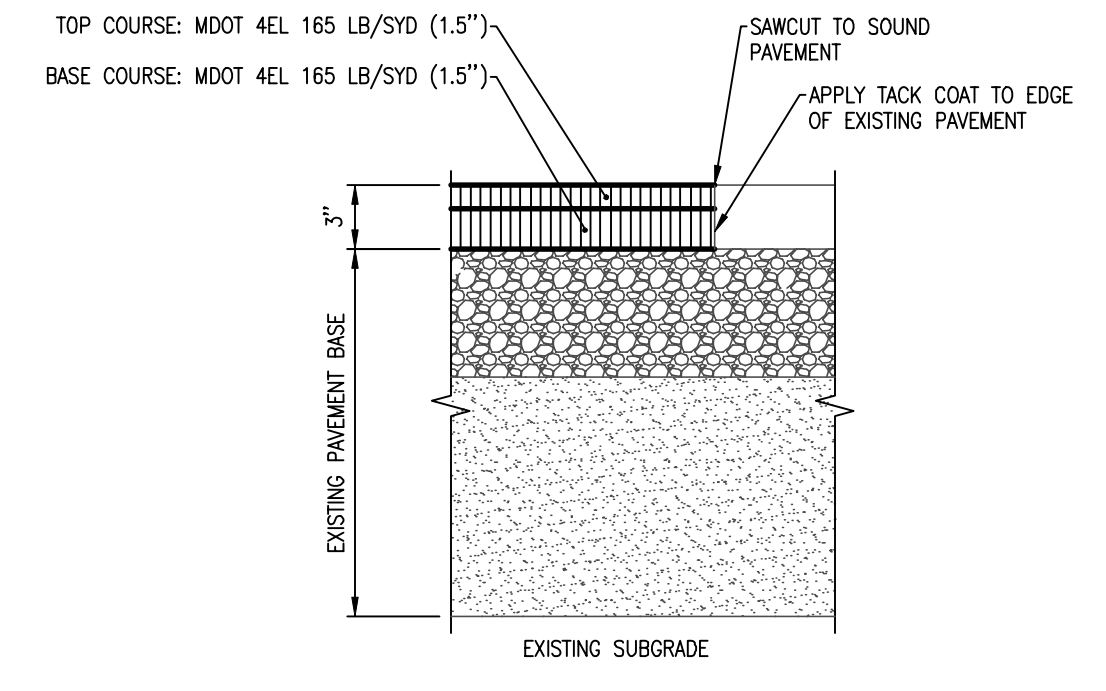
**AREA ENLARGEMENT 2  
 SOUTH AIRPORT SIDEWALK PLAN**  
 SCALE: 1" = 20'



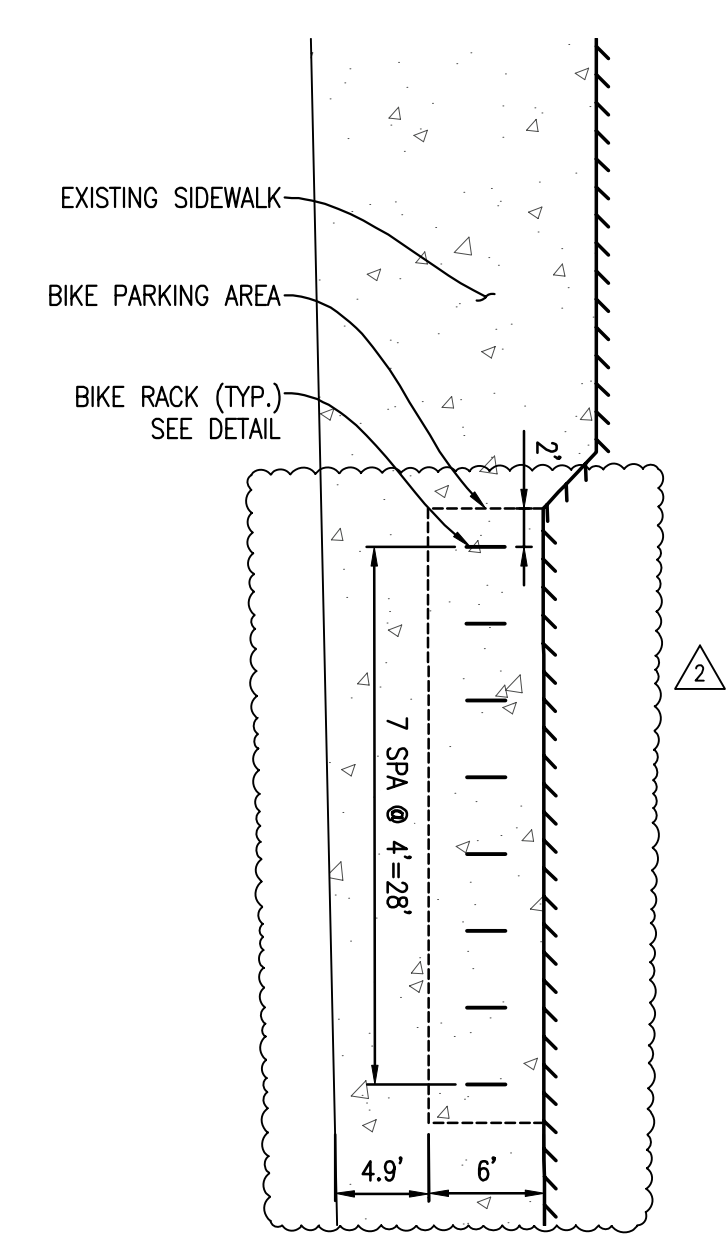
**AREA ENLARGEMENT 4  
 BIKE RACK-2**  
 SCALE: 1" = 10'



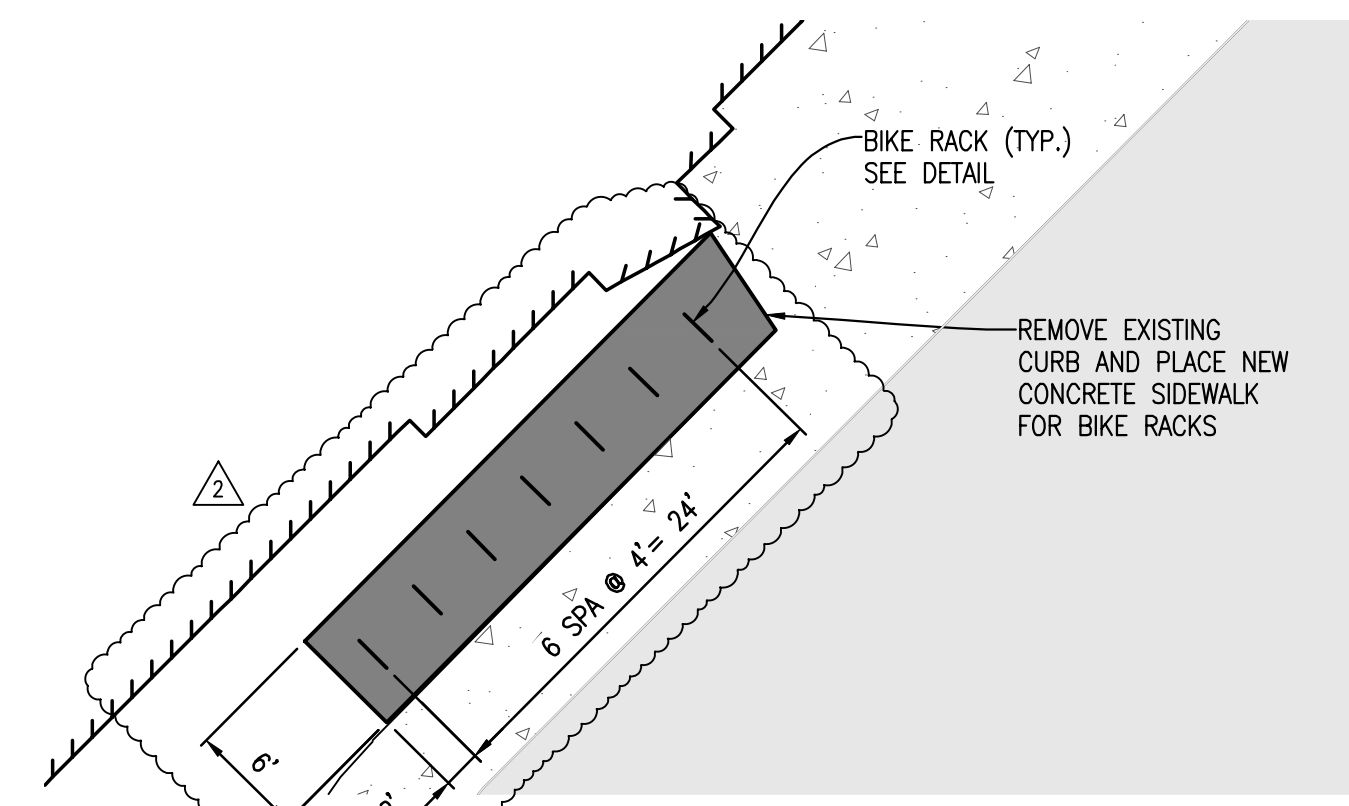
**TYPICAL BIKE RACK DETAIL**  
 NOT TO SCALE



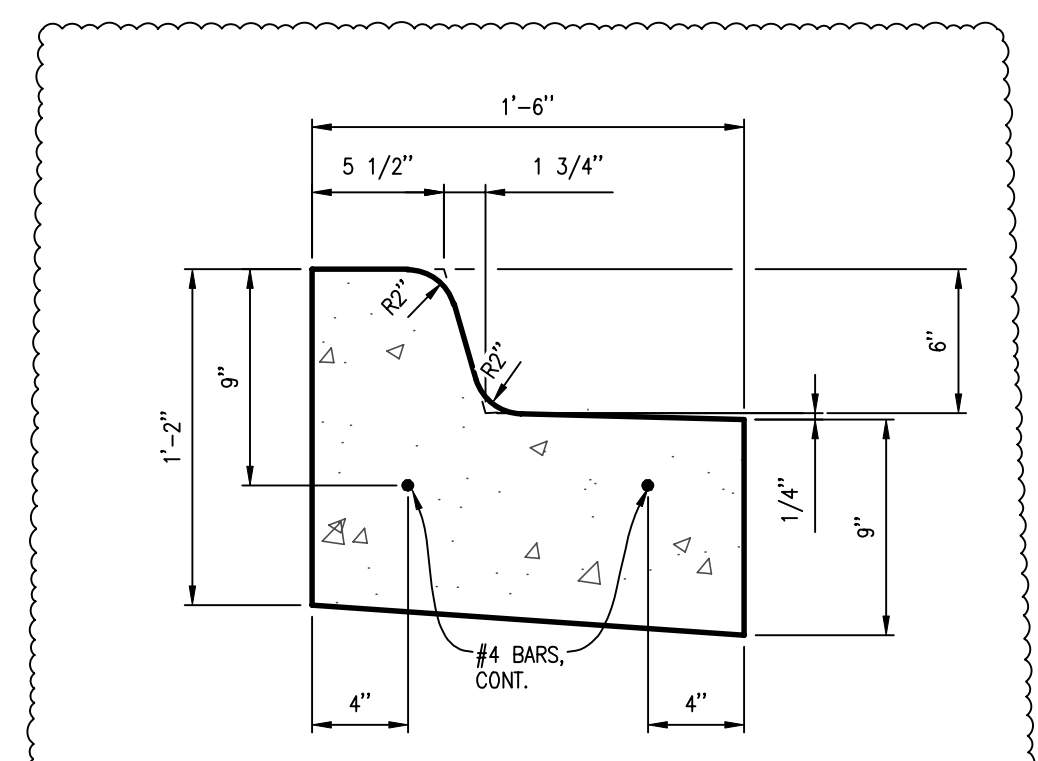
**TYPICAL PAVEMENT DETAIL**  
 NOT TO SCALE



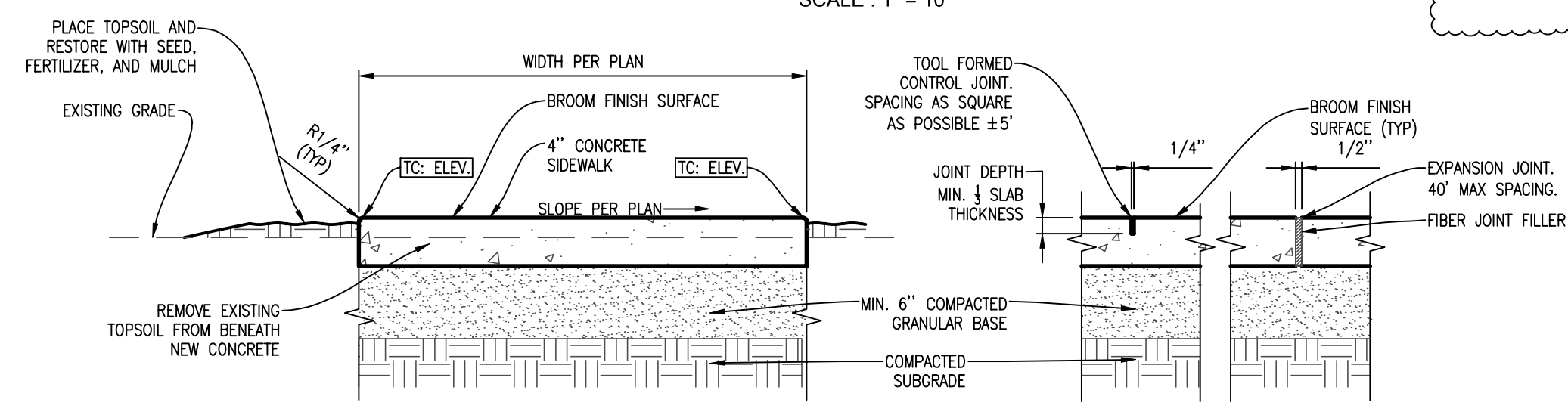
**AREA ENLARGEMENT 3  
 BIKE RACK-1**  
 SCALE: 1" = 10'



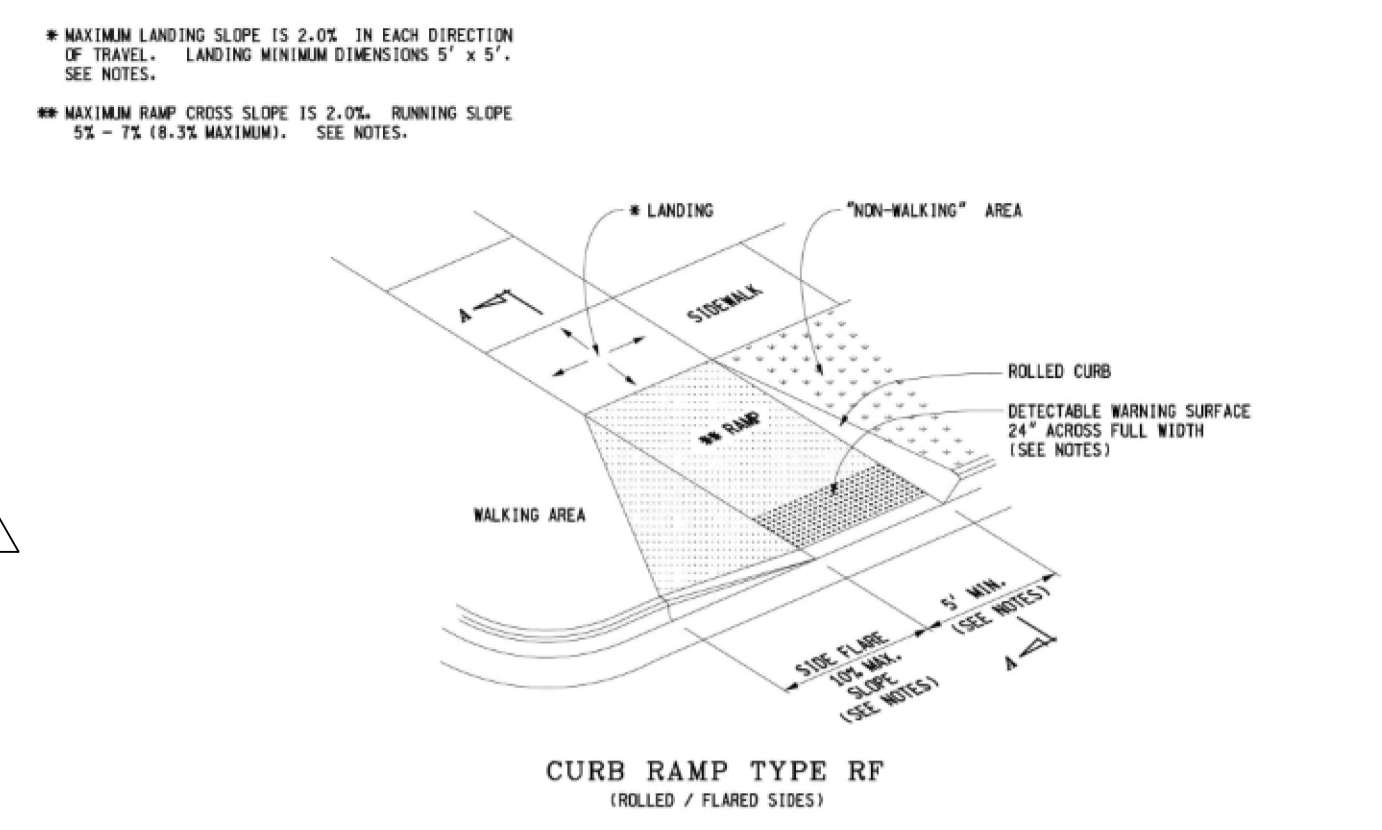
**AREA ENLARGEMENT 5  
 BIKE RACK-3**  
 SCALE: 1" = 10'



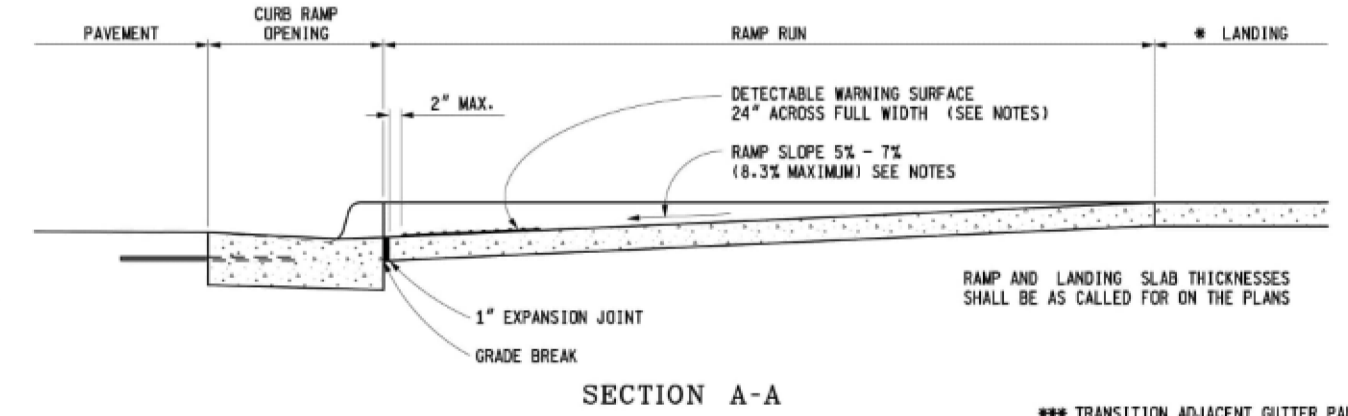
**M.D.O.T. "F2 MODIFIED"  
 CONCRETE CURB & GUTTER DETAIL**  
 NOT TO SCALE



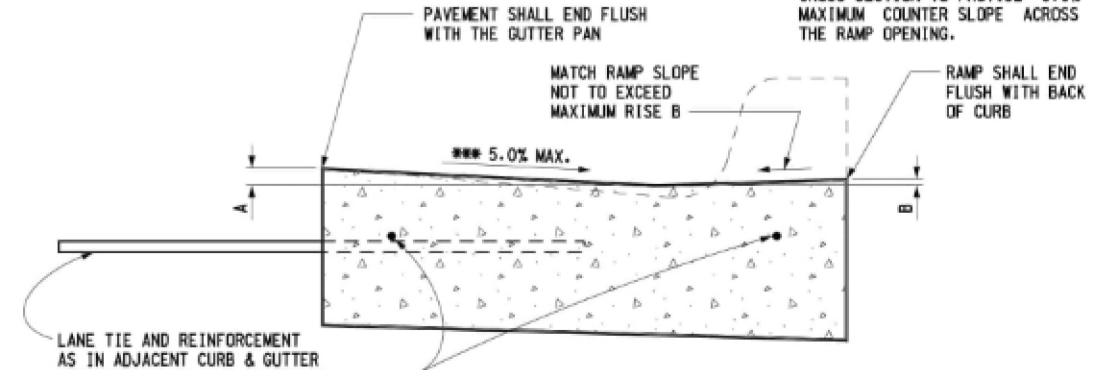
**TYPICAL CONCRETE SIDEWALK DETAIL**  
 NOT TO SCALE



**CURB RAMP TYPE RF  
 (ROLLED / FLARED SIDES)**



**SECTION A-A**



**SECTION THROUGH CURB RAMP OPENING  
 (TYPICAL ALL RAMP TYPES)**

**TYPICAL MDOT CURB RAMP DETAIL**  
 NO SCALE



OCCUPANCY:  
 SPORTS BAR DINING- 170 SEATS= 170 OCCUPANTS  
 KITCHEN 4 STORAGE 2,101 SF./200= 11 OCCUPANTS  
 181 TOTAL OCCUPANTS

TWO EXITS REQUIRED 4 PROVIDED OUT OF SPORTS BAR.  
 EXIT WIDTH= 36" MIN.

NIGHT CLUB MAIN LEVEL- 11,048 SF./ 1= 1379 OCCUPANTS  
 STAGE 1,454 SF./15= 97 OCCUPANTS  
 BAND ROOM 684 SF./15= 46 OCCUPANTS  
 1,722 TOTAL OCCUPANTS

FOUR EXITS REQUIRED 4 PROVIDED OUT OF NIGHT CLUB.  
 EXIT "A" (4) DOORS- 120 OCCUPANTS  
 EXIT "B" (3) DOORS- 540 OCCUPANTS  
 EXIT "C" (2) DOORS- 231 OCCUPANTS  
 EXIT "D" (2) DOORS- 231 OCCUPANTS

TOTAL OCCUPANTS- 1,903 OCCUPANTS

EXIT "E" HAS (91) OCCUPANTS FROM SPORTS BAR  
 (462) OCCUPANTS FROM NIGHT CLUB AND UP TO (11)  
 OCCUPANTS FROM K-1 SPEED SPACE. (630) TOTAL  
 OCCUPANTS- (4) DOORS.

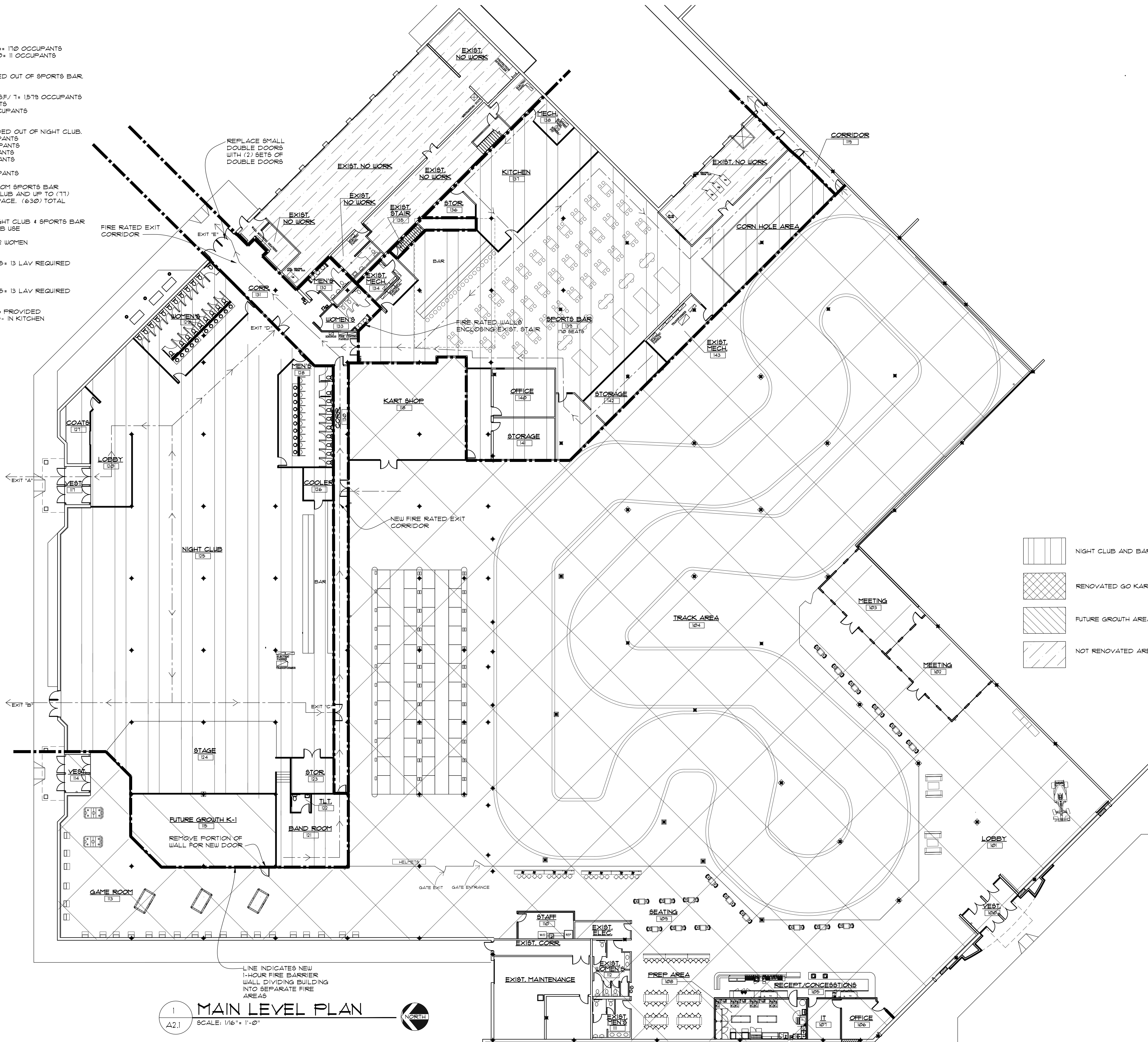
PLUMBING FIXTURES FOR NEW NIGHT CLUB 4 SPORTS BAR  
 A-2 USE GROUP- BAR/NIGHT CLUB USE

1,903 OCCUPANTS- 952 MEN 4 952 WOMEN

WOMEN-  
 952/40= 24 W.C. REQUIRED, 952/15= 13 LAV REQUIRED  
 24 W.C. 4 13 LAV PROVIDED

MEN-  
 952/40= 24 W.C. REQUIRED, 952/15= 13 LAV REQUIRED  
 24 W.C. 4 13 LAV PROVIDED

(1) HI LO DRINKING FOUNTAIN IS PROVIDED  
 (1) SERVICE SINK IS PROVIDED- IN KITCHEN



1 MAIN LEVEL PLAN  
 SCALE: 1/16" = 1'-0"

ARCHITECT:  
**Jessica VanHouzen Stroud**  
 607 W. Orchard Dr.  
 Traverse City, MI  
 231-631-4376  
 jvanhou@gmail.com

© COPYRIGHT

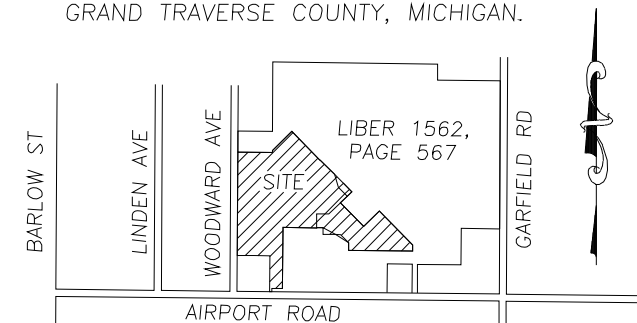
PROJECT NAME/ADDRESS:  
 RENOVATIONS TO AN  
 EXISTING BUILDING FOR  
 A NEW SPORT'S BAR AND  
 NIGHT CLUB  
 1212 W SOUTH AIRPORT RD  
 TRAVERSE CITY, MI

ISSUE DATES:

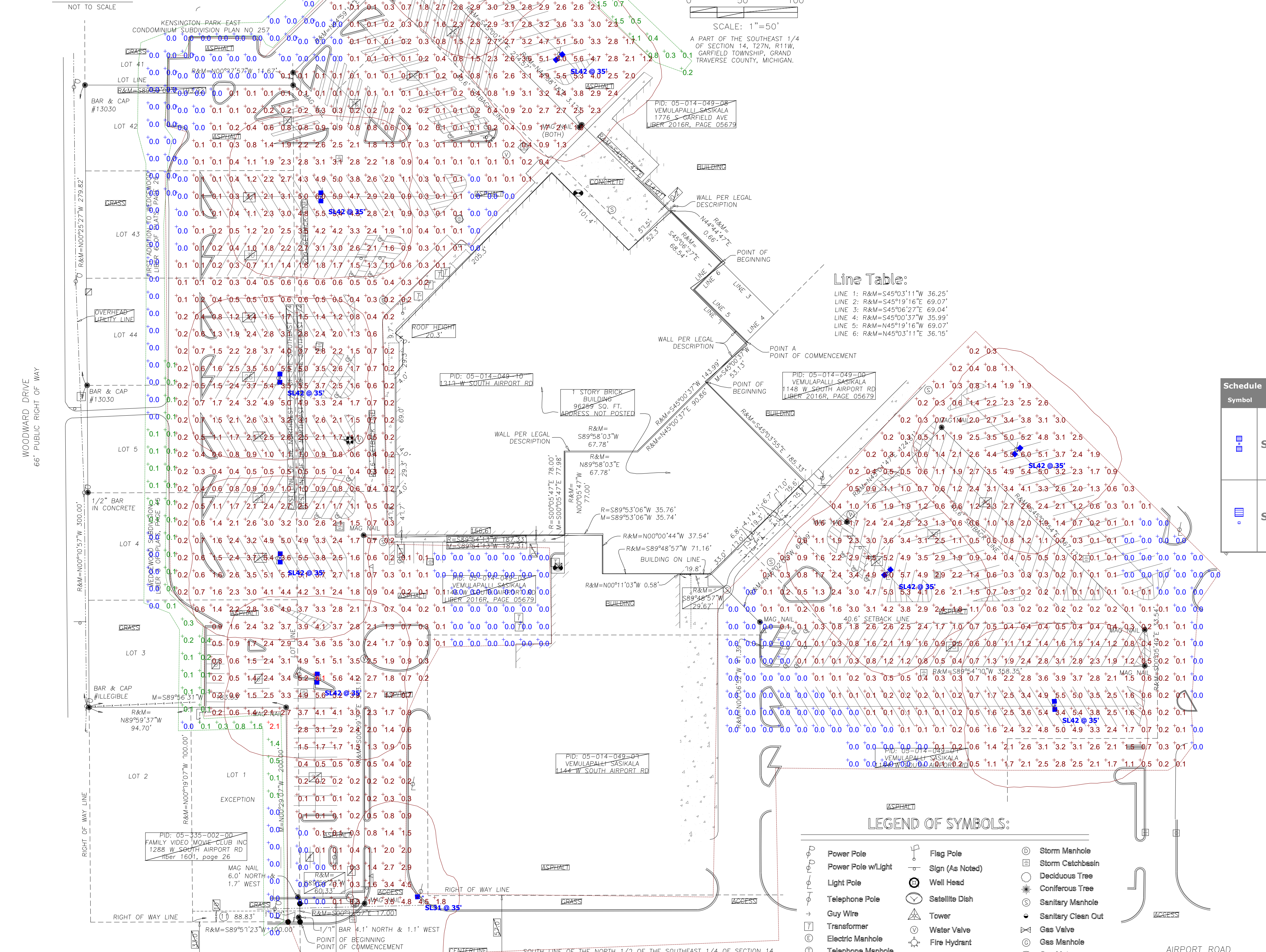
date:	issued for:
8-9-24	REVIEW

SHEET TITLE:  
**LIFE SAFETY PLAN**

SHEET NO:  
**A1.1**



VICINITY MAP  
NOT TO SCALE



Line Table:

LINE 1:	R&M=S45°03'11"W 36.25'
LINE 2:	R&M=S45°19'16"E 69.07'
LINE 3:	R&M=S45°06'27"E 69.04'
LINE 4:	R&M=S45°00'37"W 35.99'
LINE 5:	R&M=N45°19'16"W 69.07'
LINE 6:	R&M=N45°03'11"E 36.15'

LEGEND OF SYMBOLS:

- ⊕ Power Pole
- ⊕ Power Pole w/Light
- ⊕ Light Pole
- ⊕ Telephone Pole
- ⊕ Guy Wire
- ⊕ Transformer
- ⊕ Electric Manhole
- ⊕ Telephone Manhole
- ⊕ Telephone Pedestal
- ⊕ Electric Meter
- ⊕ Cable Box
- ⊕ Air Conditioner Unit
- ⊕ Easement Identifier
- ⊕ Flag Pole
- ⊕ Sign (As Noted)
- ⊕ Well Head
- ⊕ Satellite Dish
- ⊕ Tower
- ⊕ Water Valve
- ⊕ Fire Hydrant
- ⊕ Water Manhole
- ⊕ Water Meter Pit
- ⊕ Water Meter
- ⊕ Indicates Handicapped Parking
- ⊕ Parking Count
- ⊕ Storm Manhole
- ⊕ Storm Catchbasin
- ⊕ Deciduous Tree
- ⊕ Coniferous Tree
- ⊕ Sanitary Manhole
- ⊕ Sanitary Clean Out
- ⊕ Gas Valve
- ⊕ Gas Manhole
- ⊕ Gas Meter
- ⊕ Gas Marker
- ⊕ Section Corner
- ⊕ Set 5/8" Bar & Cap
- ⊕ Found Corner Monument
- ⊕ Monitoring Well

RECORDED MEASURED CALCULATED NORTH EAST SOUTH  
 T27N = TOWN 27 NORTH  
 R11W = RANGE 11 WEST  
 SO. FT. = SQUARE FEET  
 NE = NORTHEAST  
 SE = SOUTHEAST  
 SW = SOUTHWEST  
 AVE. = AVENUE  
 BLVD. = BOULEVARD  
 CT. = COURT  
 RD. = ROAD  
 ST. = STREET  
 PID = PARCEL AND

Plan View

**SPEC SHEET**

## Site Lighter (SL1)

AREA LIGHT LED FIXTURE

**KEY FEATURES**

- Up to 174 LPW
- 8,500 to 62,000 lumens
- Up to 55°C

**Guaranteed Performance**  
 Performance of the light fixture is guaranteed for 10 years, including lumen output (L70), color

Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
[Symbol]	SL42	9	Linmore LED Inc.	LL-SLI-MD-200WD-35K-T4-UNV-G2-**-**	Dual Head LED LUMINAIRE Type IV	1	29932	0.96	400	[Polar Plot]
[Symbol]	SL31	1	Linmore LED Inc.	LL-SLI-MD-200WD-35K-T3-UNV-G2-**-**	LED LUMINAIRE Type III	1	30243	0.96	200	[Polar Plot]

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
General Parking	+	1.4 fc	6.1 fc	0.0 fc	N/A	N/A
Peripheal Area	+	0.3 fc	2.1 fc	0.0 fc	N/A	N/A

		<b>Charter Township of Garfield</b>	
		<b>Planning Department Report No. 2024-82</b>	
Prepared:	October 2, 2024	Pages:	1
Meeting:	October 9, 2024 Planning Commission	Attachments:	<input type="checkbox"/>
Subject:	TowerNorth Wireless Communication Facility Special Use Permit – Update #4		
File No.	SUP-2024-02	Parcel No.	05-019-001-00 (part)
Applicant:	TowerNorth Development, LLC		
Agent:	Jaime Mathew w/Kimley-Horn and Associates, Inc.		
Owner:	Frank A Bare		

**BRIEF OVERVIEW:**

- 2767 Zimmerman Road – west side of Zimmerman Road north of Silver Lake Road
- Approximately 42.25 acres (entire parcel); approximately 0.23 acres (lease parcel area)
- Portion of one of the parcels containing the existing Alpers gravel mining operation
- A-Agricultural zoning district

**APPLICATION HISTORY:**

- June 12, 2024 Planning Commission – Application tabled, more information was requested
- July 10, 2024 Planning Commission – Update, application was tabled, applicant was requested to move the proposed location of the tower to meet all setback requirements
- August 14, 2024 Planning Commission – Update #2
- September 11, 2024 Planning Commission – Update #3
- October 7, 2024 Planning Commission – Update #4

**PURPOSE OF APPLICATION:**

This application requests a Special Use Permit (SUP) for a wireless communication facility (cell tower) at 2767 Zimmerman Road. The applicants propose a 155-foot-tall monopole tower with associated antenna equipment within a 60' x 60' fenced compound. Wireless communication facilities are permitted via SUP in the A-Agricultural zoning district.

**UPDATE:**

At the July 10, 2024 meeting, the Planning Commission tabled the application and requested the applicant move the location of the proposed tower, to meet all the setback requirements for wireless communication facilities, before moving the application forward. Via email, Staff informed the applicant Section 404 of the Zoning Ordinance, which states *“During the course of any administrative, legislative, or quasi-judicial application review, if an applicant has failed to proceed meaningfully towards application completion or application decision for a period of one-hundred and twenty (120) consecutive calendar days, then the application shall be considered expired. Following expiration of an application, the applicant shall be provided with written notice of said expiration.”* The application was originally tabled at the July 10, 2024 Planning Commission meeting and 120 days later will be November 6, 2024. The applicant will need to act before then to avoid expiration of the application.

Staff received an email from the applicant indicating that they were “trying to get in touch with the property owner about relocating the tower to meet the setbacks but have not received a call back or a return email.”

**ACTION REQUESTED:**

The application was tabled at the previous Planning Commission meeting. No action is needed.



## Charter Township of Garfield Planning Department Report No. 2024-83

Prepared:	October 2, 2024	Pages:	5
Meeting:	October 9, 2024 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	Cherryland Center Comprehensive Development Plan – Conceptual Review		
Applicant:	Holiday Park Realty - Steve Halm		
Agent:	Gosling Czubak Engineering Sciences, Inc. - Robert Verschaeve, P.E.		
Owner:	Cherryland Center LLC		

### **BACKGROUND:**

Opened in 1976, the Cherryland Mall (now Cherryland Center) was approved as a single development that includes several parcels and businesses. The Cherryland site boundary was enlarged to the west towards Woodward Avenue in 1980 with the expansion of the Sears store.

The subject parcels that comprise the Cherryland Center are zoned C-P Planned Shopping Center. The intent of the C-P District is for the development of planned centers located on a single, unified site and are designed and constructed as an integrated unit for shopping and other business activity. Over the years, management of uses and development on this site has been in a cohesive manner, including the conversion of the original enclosed shopping mall to a strip center approved by the Township in 1998.

Pursuant to Section 322.D(1) of the Zoning Ordinance, “a comprehensive development plan may be required for the entire center to establish an approved development pattern within the District.” The 1998 conversion of the mall to a strip center was the last time the Comprehensive Development Plan was updated and approved for Cherryland Center.

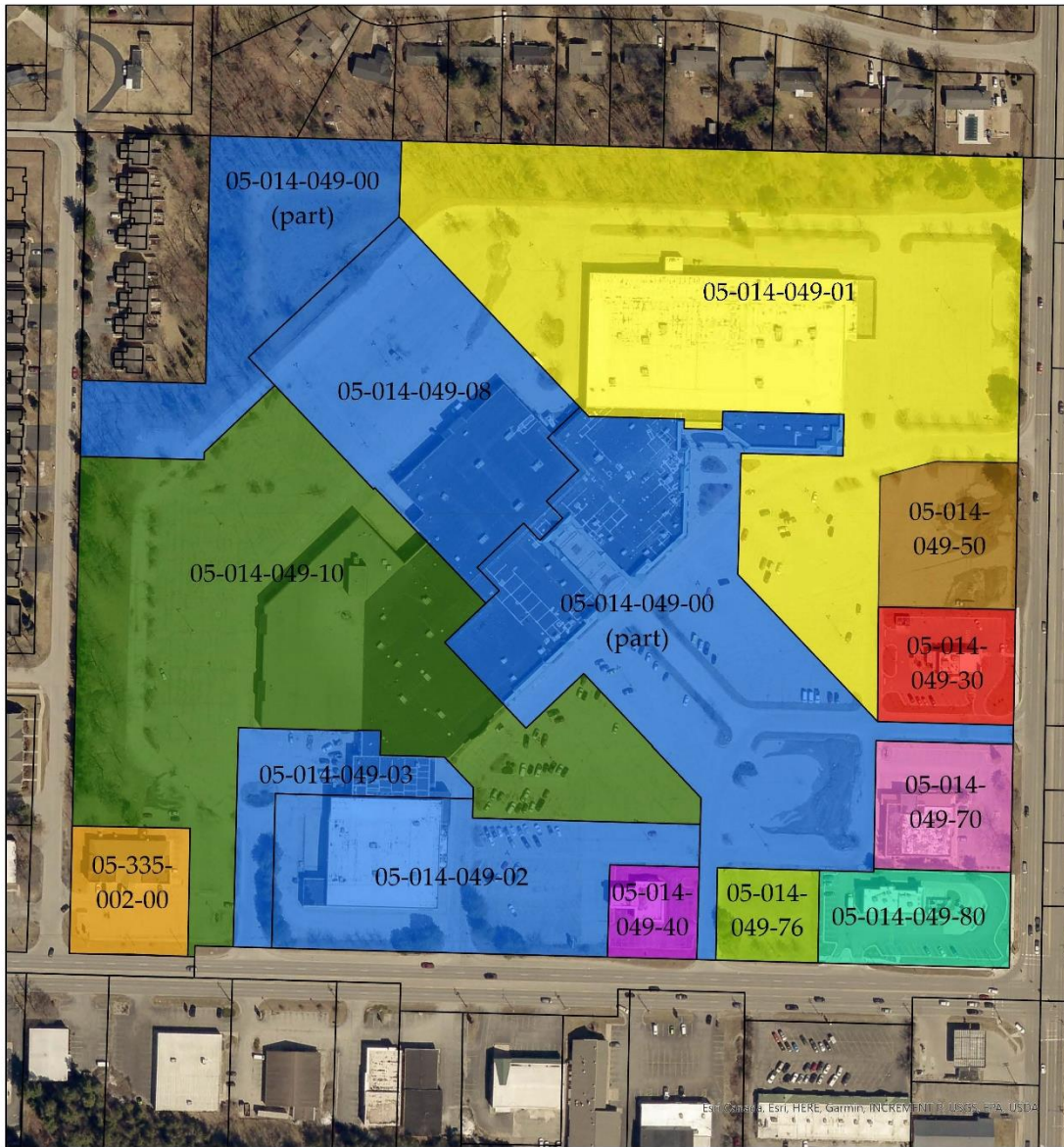
Recently, one of the property owners, Cherryland Center LLC, prepared a draft Comprehensive Development Plan for the Cherryland Center and has submitted it for Conceptual Review. This review provides an opportunity for the owner to hear from the Planning Commission on the Plan and make any appropriate refinements prior to a formal submittal for review and approval.

### **SITE PLAN APPROVALS:**

A chronology of site plan approvals for Cherryland Mall/Center are as follows:

1	Cherryland Mall Site Plan	December 6, 1976
2	Great Lakes Steak House Site Plan ( <i>now Margarita's Grill</i> )	June 20, 1978
3	Sears Building Expansion Site Plan ( <i>expanded Cherryland boundary to the west</i> )	December 16, 1980
4	Burger King Site Plan	October 30, 1984
5	Conversion from Cherryland Mall to Cherryland Center Site Plan	December 8, 1998
6	Wendy's Site Plan	July 8, 2020
7	Burger King Renovation Site Plan	March 24, 2021
8	Biggby Coffee Site Plan	November 10, 2021
9	Traverse City Curling Center Site Plan	May 11, 2022
10	7Brew Coffee Site Plan	July 13, 2022
11	K1 Speed Indoor Kart Racing Site Plan	December 14, 2022
12	1712 South Garfield Outlot Site Plan ( <i>Starbucks, etc.</i> )	January 11, 2023
13	Traverse City Philharmonic Site Plan	December 13, 2023
14	High Tops Bar/Restaurant/Night Club Site Plan Application ( <i>Currently Under Review</i> )	

*Aerial photo/parcel map of Cherryland Center with current ownership identified:*



**Charter Township of Garfield**

3848 Veterans Drive  
 Traverse City, MI 49684  
 Phone: 231.941.1620  
 Fax: 231.941.1688



**NOT A LEGAL SURVEY**

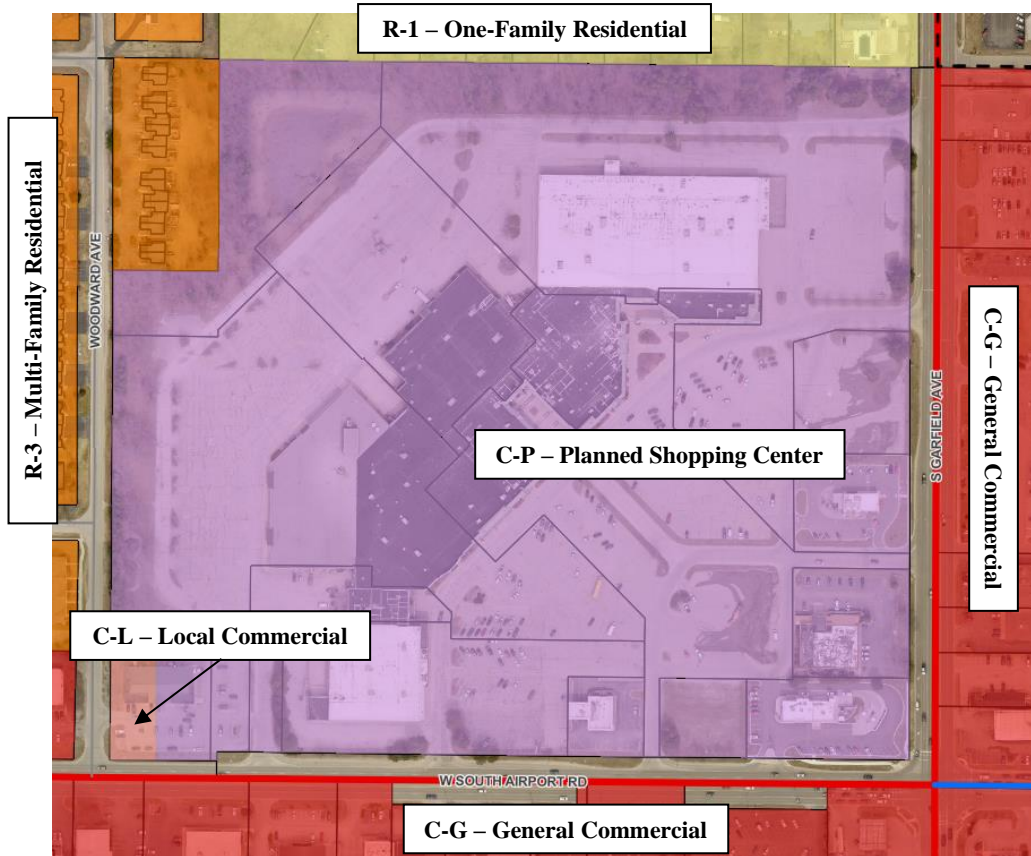
This map is based on digital databases prepared by the Charter Township of Garfield. The Township does not warrant, expressly or impliedly, or accept any responsibility for any errors, omissions, or that the information contained in the map or the digital databases is currently or positionally accurate.

**Cherryland Center Ownership**

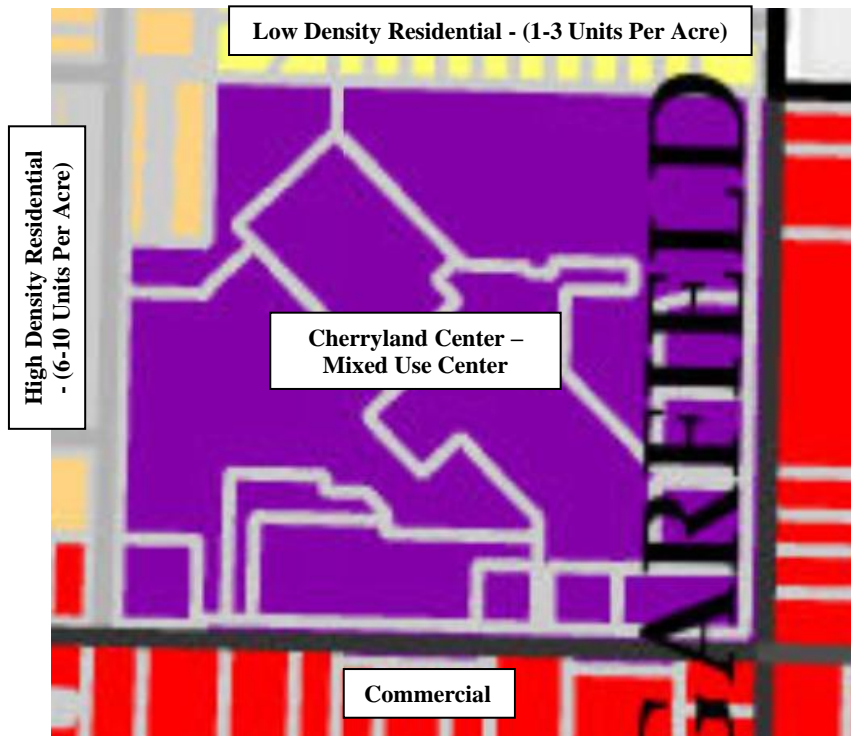
- Property Owners**
- Casciano (Burger King)
  - Cherryland Center LLC (V. Kumar Vemulapalli)
  - Traverse City Curling Center
  - Traverse City Retail Management (Starbucks)
  - Copper Falls (Margaritas Grill)
  - Family Video (Jimmy John's /Qdoba)
  - 7Brew
  - Wild Apples (Biggy Coffee)
  - Traverse Entertainment Group (K1 Kart Racing)
  - Arjco (Wendy's)

Printed: 6/27/2023 11:15 AM

Zoning of the subject parcel and surrounding area is shown below:



Future land use of the subject parcel and surrounding area is shown below:



**STAFF COMMENTS:***Reciprocal Easement Agreement*

A 1983 agreement between original mall developers, Schostak, and Sears established “a general plan for the construction of the Sears Addition and related improvements and the Alterations and the development, maintenance and improvement of the Shopping Center as integrated retail shopping center, designed for the mutual benefit of the parties.” Subsequent owners at Cherryland are bound by this agreement. While this is an agreement amongst private owners, it does provide certain assurances that the overall Cherryland Center is maintained in a coordinated manner and will meet Zoning Ordinance standards. For example, this agreement would be similar in character to a maintenance agreement for a private road that is required by the Zoning Ordinance. Given the considerable recent change in types of uses, an update to the Agreement is needed.

*Land Use*

The recently adopted Master Plan designates Cherryland Center as one of the mixed-use centers in the Plan with the following description and guiding principles:

Cherryland Center is located on the east side of the Township at the northwest corner of South Airport Road and Garfield Avenue. It’s within the oldest commercial area in Garfield and has a strong linear street connection to Traverse City. The center provides extensive opportunity to continue reinvestment in underutilized property and to accept creative approaches to redevelopment, including the addition of new uses such as residential and entertainment.

*Guiding Principles:*

- **Mixed-Use.** Mixed-use development is encouraged including commercial, higher density residential, entertainment, office, and public gathering spaces. Consideration shall be given to surrounding existing uses, future land use, and site design to determine the compatibility of proposed uses.
- **Housing.** New housing will allow for a diverse selection of unit types and sizes, which will serve the varied housing needs of Garfield.
- **Public Spaces.** Development throughout the center will account for public gathering spaces. Establishing these places in either the public realm or within private developments creates a better sense of community and meets the needs of residents and visitors. Improving the overall appearance of the center is encouraged including cleanup of properties, upgrade of infrastructure, and installation of landscaping, sidewalks, and pedestrian scale lighting.
- **Site Design.** Sites are to be designed at a scale that encourages a neighborhood character appropriate for the center. Site design will reinforce development principles through consistency in building setback and placement, landscaping and planting elements, and other site features. Positive visual aspects of the built environment promote a safe and attractive center for residents and visitors, project community pride, and help maintain a distinctive image.
- **Building Placement.** Placement, scale, and design of buildings should establish a sense of place, while increasing the allowable density of land development creates a critical mass of activity. This critical mass of activity, through density, mix of uses, architectural character, and recreational opportunities draw new investment, visitors, and residents.
- **Connectivity.** Development throughout the center will provide connectivity by including sidewalks, internal street connections, cross-access agreements, management of curb cuts, and access to transit services. Currently, a limited number of driveways works successfully in providing smooth access to multiple businesses located at Cherryland Center. This configuration shall be maintained for future development.
- **Parking.** Parking areas should be placed in rear or side yards and avoid front yards and other prominent locations. Prominent locations should be reserved for buildings, landscaping or gathering spaces. Shared parking should also be used whenever possible.

### *Site Circulation and Infrastructure*

As the Cherryland Center evolves with new uses, site circulation is essential to maintain smooth vehicular and pedestrian movement. Maintenance of the stormwater system is critical in allowing additional building on the site. Furthermore, it's important to understand the carrying capacity of the site and the limits for new development. Therefore, as future buildings are considered, the operation and flow of the site will have to be carefully evaluated.

### *Comprehensive Development Plan*

Following a meeting with the three primary Cherryland Center property owners in 2023, Staff stated to the owners that, “the Township will require that the comprehensive development plan as required per Section 332 of the Zoning Ordinance be updated prior to any new building construction, addition, or creation of any new parcels or condominium units.” To enable the future subdividing of buildings and incorporating new uses, the Comprehensive Development Plan, which is mainly an overall site plan of the entire Cherryland Center, will ensure issues like cross-access, stormwater management, parking lot maintenance, lighting, and signage are addressed in a coordinated manner. Primary areas that the Plan should address are as follows:

- Cross-Access and Drives. Some main drives should be maintained on the site to ensure that there is easy access to all buildings for visitors, deliveries, and emergency services. These drives essentially function as roads. They also provide access to the outlots along Garfield and South Airport Roads.
- Utilities. As any of the undeveloped areas (i.e., parking areas) are planned for development, it is important to understand where existing utility lines are located including water, sanitary sewer, gas, etc.
- Stormwater Management. Utilizing a common stormwater system creates the best opportunity to allow for higher density development. However, coordinated maintenance of the system needs to be in place.
- Parking Areas. The maintenance of the parking areas, including striping, lighting, and snow removal will be essential. While there may be a surplus of parking spaces at this time, new buildings and uses established on the site must be balanced with the current and future demand for parking.
- Signage. As the Township has received requests for new freestanding signs along Garfield and South Airport Roads, we have been holding off until those property owners with access to those roads are ready to provide a coordinated signage plan.
- Additional Parcels. The creation of additional parcels, including any site condominiums, will require review by the Township's Assessing Department, Planning Department, and Zoning Department.
- Other Requirements. Other items may be necessary on the Plan as required by the Zoning Ordinance.

Some of the above items may be best addressed through an updated Reciprocal Easement Agreement as referenced above.

### *Future Phases*

Future development on the draft Comprehensive Development Plan identifies new uses of the existing Cherryland Center building along with a future hotel site. At this point, these developments are considered conceptual and would require formal Planning Commission review and approval at the appropriate time.

### **ACTION REQUESTED:**

The conceptual review is intended to provide an opportunity for dialogue between Planning Commission members and the applicant. No formal action is requested.

### **Attachments:**

1. Conceptual Review Application dated September 26, 2024
2. Draft Comprehensive Development Plan dated September 9, 2024





# Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE  
TRAVERSE CITY, MICHIGAN 49684  
PH: (231) 941-1620 • FAX: (231) 941-1588

## CONCEPTUAL REVIEW (CRV) APPLICATION

### ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

### ACTION REQUESTED

At the discretion of the applicant, the conceptual review before the Planning Commission may take place following public notice of the meeting. Opportunity for public comment shall be provided during the conceptual review process when public notice has been provided.

- Conceptual Review with no public notice
- Conceptual Review with direct mail notice only
- Conceptual Review with full public notice

### PROJECT / DEVELOPMENT NAME

Cherryland Center Comprehensive Plan

### APPLICANT INFORMATION

Name:	Holiday Park Realty - Steve Halm
Address:	6810 S. Cedar Street, Suite 3A, Lansing, MI 48911
Phone Number:	517-709-3437
Email:	steve@holidayparkrealty.com

### AGENT INFORMATION

Name:	Gosling Czubak Engineering Sciences, Inc. - Robert Verschaeve, P.E.
Address:	1280 Business Park Drive, Traverse City, MI 49686
Phone Number:	231-933-5102
Email:	rmverschaeve@goslingczubak.com

OWNER INFORMATION

Name:	Cherryland Center LLC
Address:	11320 Chester Rd, Suite 204, Cincinnati, OH 45246
Phone Number:	810-394-4709
Email:	vkvemulapalli@aol.com

CONTACT PERSON

Please select one person to be contact person for all correspondence and questions:

Applicant:	
Agent:	Robert Verschaeve
Owner:	

LOCATION OF THE PROPOSED PROJECT

Property Address:	1148 W. South Airport Rd.		
Property Identification Number:	05-014-049-00, -02, -03, -08, -10, -21		
Legal Description:	See Plans		
Zoning District:	C-P Planned Shopping		
Master Plan Future Land Use Designation:	Mixed Use Center		
Area of Property (acres or square feet):	35.54 acres		
Existing Use(s):	Recreation, entertainment, business, shopping		
Proposed Use(s):	Same		

REQUIRED SUBMITTAL ITEMS

A complete application for a Conceptual Review consists of the following:

Application Form:

- One original signed application
- One digital copy of the application (PDF only)

Application Fee:

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please make check out to Charter Township of Garfield.

- Fee

Sketch Plan:

- Ten complete stapled 11"x17" paper sets
- One digital set (PDF only)

Written Supporting Information (if applicable):

- Ten paper copies of Written Supporting Information
- One digital copy of Written Supporting Information (PDF only)

Digital items to be delivered via email or USB flash drive

## SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

## SUPPORTING INFORMATION AND SKETCH PLAN

In providing written and/or sketch plan information to the Planning Commission for the purposes of a conceptual review, submittal of the following information, when known, is encouraged:

1. The boundaries of the development site.
2. The total number of acres in the project.
3. The number of acres to be developed by each type of use.
4. The number of residential units.
5. The number and/or square feet and type of nonresidential uses.
6. A description of the proposal in terms of its relationship and intended connections to surrounding land uses, development projects, public lands, and existing and future street networks.
7. The general topography of the site and its relationship to adjoining land.
8. A general description of the natural resources and natural features of the site and, where known, an indication of which will be preserved and which will be removed.
9. The number of acres to be preserved as open or recreational space, and its general location.
10. Variations from ordinance regulations that are being sought and the reasons to support the requested changes.
11. The public facilities intended to serve the planned unit development, such as sewage disposal, water supply, storm water systems, etc.

## OTHER INFORMATION

If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

## REVIEW PROCESS

1. The intent of the conceptual review process is to provide an opportunity for an informal dialogue between an applicant and the Planning Commission to discuss a potential development project. Upon submittal of this application, Staff will forward the application to the Planning Commission for review.
2. The Planning Commission shall conduct a conceptual plan review to identify potential issues and concerns that should be addressed prior to formal review of any application requiring Planning Commission review and approval.
3. Conceptual plan review shall not constitute an approval of the application, nor shall statements by the Planning Commission, Township Staff and/or Township consultants be construed as a position regarding the merits of the application.

**PERMISSION TO ENTER SUBJECT PROPERTY**

Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

X Owner Signature: [Signature]  
Applicant Signature: \_\_\_\_\_  
Agent Signature: Robert M. [Signature] Signature agreed by Robert M. [Signature]  
CR 10-18200/1/2019-04-22 4-23-24, 2/20/21 11:20:00 AM  
Source: [Signature]  
Date: 2024.09.26 11:41:43 AM  
Date: 9/26/24

**OWNER'S AUTHORIZATION**

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

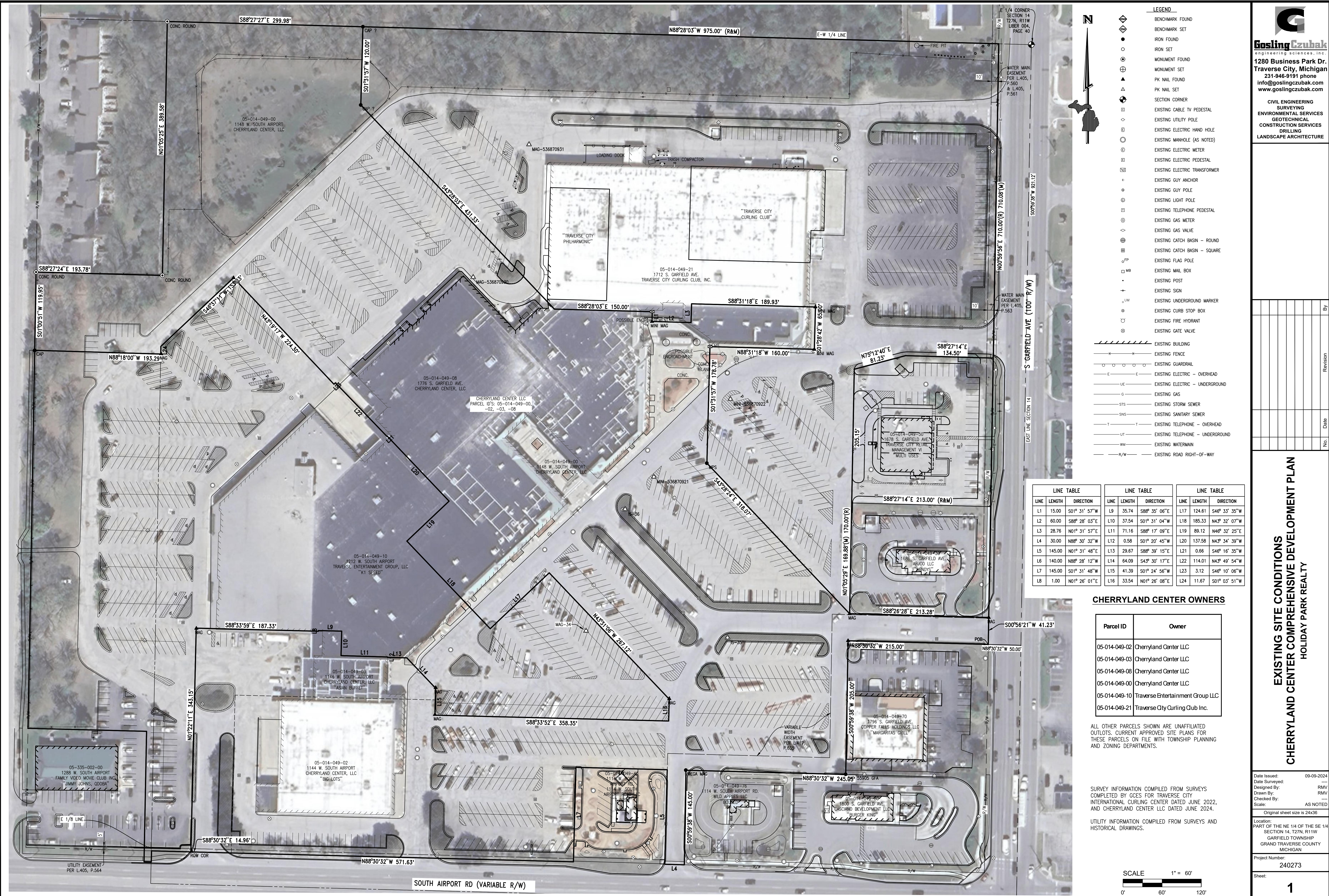
I/We Cherryland Center LLC authorize to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

X Owner Signature: [Signature]  
Date: 9/26/24

**AFFIDAVIT**

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application and all of the information submitted in this application, including any supplemental information, is in all respects true and correct. The undersigned further acknowledges that willful misrepresentation of information will terminate this permit application and any permit associated with this document.

X Owner Signature: [Signature]  
Date: 9/26/24  
Applicant Signature: \_\_\_\_\_  
Date: 9/26/24



- LEGEND**
- ◆ BENCHMARK FOUND
  - BENCHMARK SET
  - IRON FOUND
  - IRON SET
  - ⊕ MONUMENT FOUND
  - ⊕ MONUMENT SET
  - ▲ PK NAIL FOUND
  - ▲ PK NAIL SET
  - ⊠ SECTION CORNER
  - ⊕ EXISTING CABLE TV PEDESTAL
  - ⊕ EXISTING UTILITY POLE
  - ⊕ EXISTING ELECTRIC HAND HOLE
  - ⊕ EXISTING MANHOLE (AS NOTED)
  - ⊕ EXISTING ELECTRIC METER
  - ⊕ EXISTING ELECTRIC PEDESTAL
  - ⊕ EXISTING ELECTRIC TRANSFORMER
  - ⊕ EXISTING GUY ANCHOR
  - ⊕ EXISTING GUY POLE
  - ⊕ EXISTING LIGHT POLE
  - ⊕ EXISTING TELEPHONE PEDESTAL
  - ⊕ EXISTING GAS METER
  - ⊕ EXISTING GAS VALVE
  - ⊕ EXISTING CATCH BASIN - ROUND
  - ⊕ EXISTING CATCH BASIN - SQUARE
  - ⊕ EXISTING FLAG POLE
  - ⊕ EXISTING MAIL BOX
  - ⊕ EXISTING POST
  - ⊕ EXISTING SIGN
  - ⊕ EXISTING UNDERGROUND MARKER
  - ⊕ EXISTING CURB STOP BOX
  - ⊕ EXISTING FIRE HYDRANT
  - ⊕ EXISTING GATE VALVE
  - ▨ EXISTING BUILDING
  - ⊕ EXISTING FENCE
  - ⊕ EXISTING GUARDRAIL
  - ⊕ EXISTING ELECTRIC - OVERHEAD
  - ⊕ EXISTING ELECTRIC - UNDERGROUND
  - ⊕ EXISTING GAS
  - ⊕ EXISTING STORM SEWER
  - ⊕ EXISTING SANITARY SEWER
  - ⊕ EXISTING TELEPHONE - OVERHEAD
  - ⊕ EXISTING TELEPHONE - UNDERGROUND
  - ⊕ EXISTING WATERMAIN
  - ⊕ EXISTING ROAD RIGHT-OF-WAY

**LINE TABLE**

LINE	LENGTH	DIRECTION	LINE	LENGTH	DIRECTION	LINE	LENGTH	DIRECTION
L1	15.00	S01° 31' 57" W	L9	35.74	S88° 35' 06" E	L17	124.61	S46° 33' 35" W
L2	60.00	S88° 28' 03" E	L10	37.54	S01° 31' 04" W	L18	185.33	N46° 32' 07" W
L3	28.76	N01° 31' 57" E	L11	71.16	S88° 17' 09" E	L19	89.12	N46° 32' 25" E
L4	30.00	N88° 30' 32" W	L12	0.58	S01° 20' 45" W	L20	137.58	N43° 34' 39" W
L5	145.00	N01° 31' 48" E	L13	29.67	S88° 39' 15" E	L21	0.66	S46° 16' 35" W
L6	140.00	N88° 28' 12" W	L14	64.09	S43° 30' 17" E	L22	114.01	N43° 49' 54" W
L7	145.00	S01° 31' 48" W	L15	41.39	S01° 24' 56" W	L23	3.12	S46° 10' 06" W
L8	1.00	N01° 26' 01" E	L16	33.54	N01° 26' 08" E	L24	11.67	S01° 03' 51" W

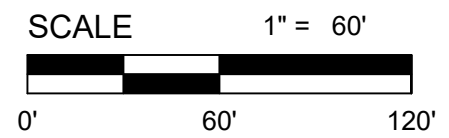
**CHERRYLAND CENTER OWNERS**

Parcel ID	Owner
05-014-049-02	Cherryland Center LLC
05-014-049-03	Cherryland Center LLC
05-014-049-08	Cherryland Center LLC
05-014-049-00	Cherryland Center LLC
05-014-049-10	Traverse Entertainment Group LLC
05-014-049-21	Traverse City Curling Club Inc.

ALL OTHER PARCELS SHOWN ARE UNAFFILIATED OUTLOTS. CURRENT APPROVED SITE PLANS FOR THESE PARCELS ON FILE WITH TOWNSHIP PLANNING AND ZONING DEPARTMENTS.

SURVEY INFORMATION COMPILED FROM SURVEYS COMPLETED BY GCS FOR TRAVERSE CITY INTERNATIONAL CURLING CENTER DATED JUNE 2022, AND CHERRYLAND CENTER LLC DATED JUNE 2024.

UTILITY INFORMATION COMPILED FROM SURVEYS AND HISTORICAL DRAWINGS.



**Gosling Czubak**  
 engineering sciences, inc.  
 1280 Business Park Dr.  
 Traverse City, Michigan  
 231-946-9191 phone  
 info@goslingczubak.com  
 www.goslingczubak.com

CIVIL ENGINEERING  
 SURVEYING  
 ENVIRONMENTAL SERVICES  
 GEOTECHNICAL  
 CONSTRUCTION SERVICES  
 DRILLING  
 LANDSCAPE ARCHITECTURE

**EXISTING SITE CONDITIONS  
 CHERRYLAND CENTER COMPREHENSIVE DEVELOPMENT PLAN  
 HOLIDAY PARK REALTY**

Date Issued: 09-09-2024  
 Date Surveyed: \_\_\_\_\_  
 Designed By: RMV  
 Drawn By: RMV  
 Checked By: \_\_\_\_\_  
 Scale: AS NOTED  
 Original sheet size is 24x36

Location: PART OF THE NE 1/4 OF THE SE 1/4 SECTION 14, T27N, R11W GARFIELD TOWNSHIP GRAND TRAVERSE COUNTY MICHIGAN

Project Number: 240273  
 Sheet: 1

No.	Date	Revision	By

**EXISTING UTILITY PLAN  
 CHERRYLAND CENTER COMPREHENSIVE DEVELOPMENT PLAN  
 HOLIDAY PARK REALTY**

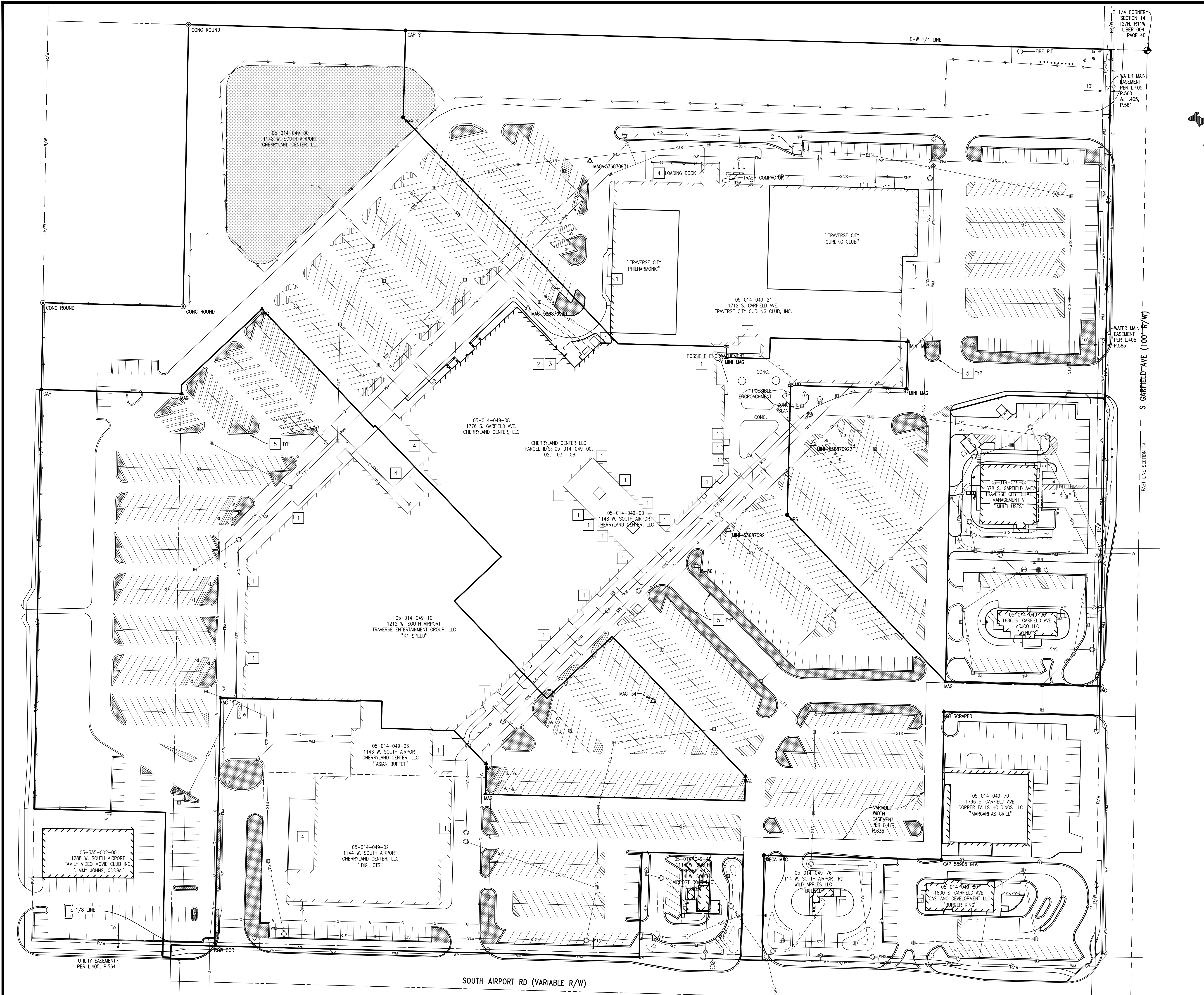
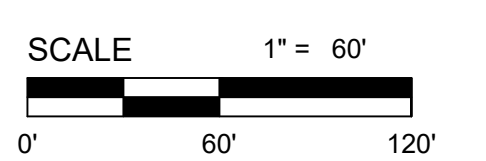
Date Issued:	09-09-2024
Date Surveyed:	
Designed By:	RMV
Drawn By:	RMV
Checked By:	
Scale:	AS NOTED
Original sheet size is 24x36	
Location:	PART OF THE NE 1/4 OF THE SE 1/4 SECTION 14, T27N, R11W GARFIELD TOWNSHIP GRAND TRAVERSE COUNTY MICHIGAN
Project Number:	240273
Sheet:	2

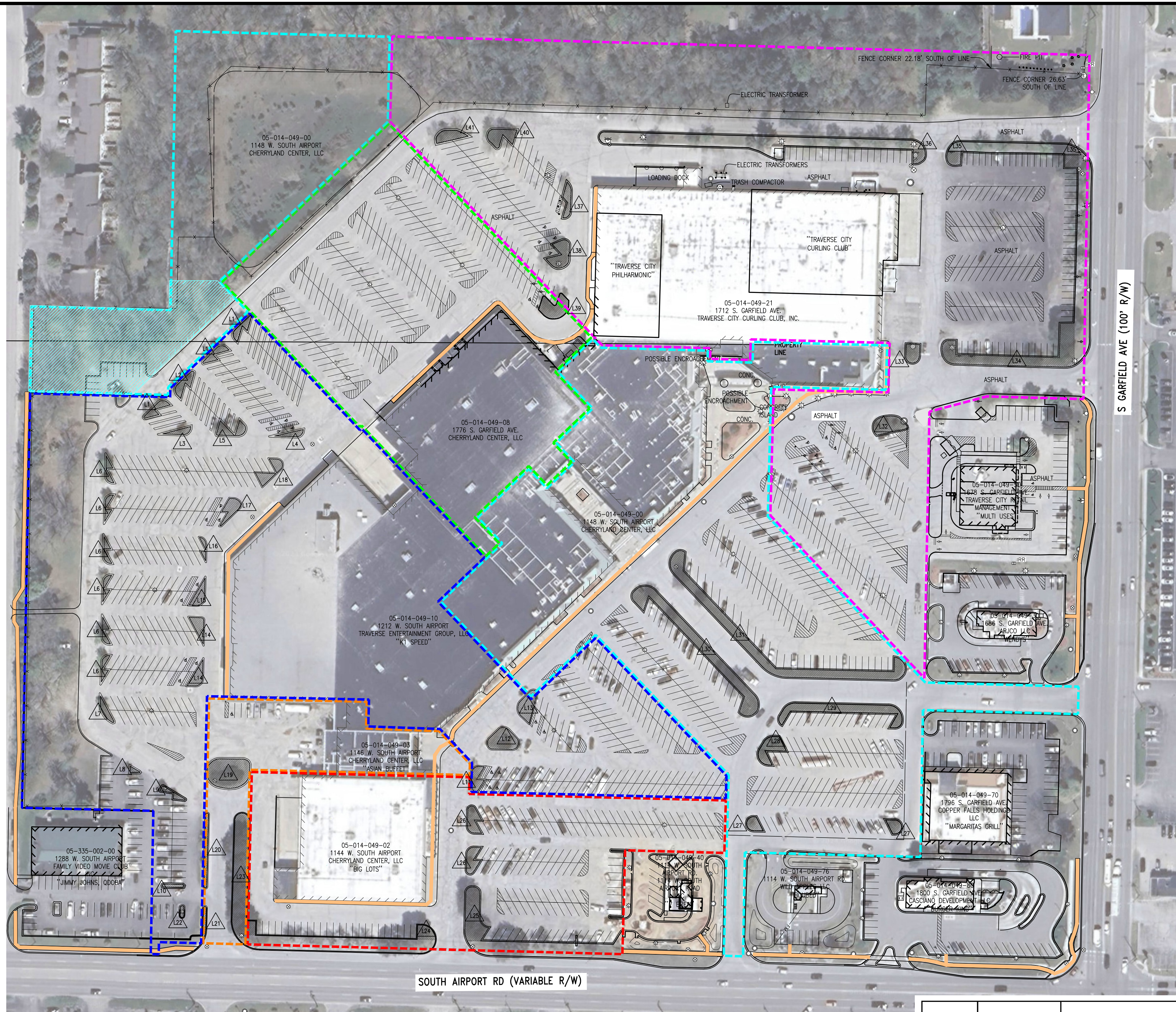
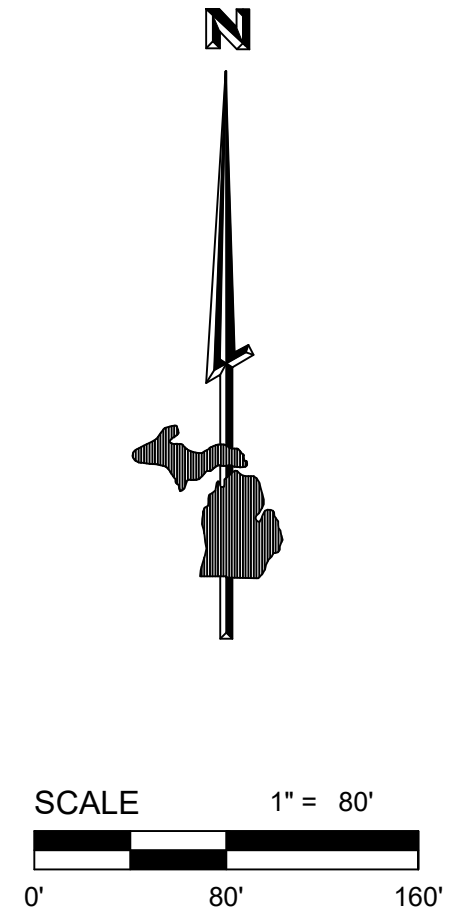
- LEGEND**
- BENCHMARK FOUND
  - BENCHMARK SET
  - IRON FOUND
  - IRON SET
  - ⊕ MONUMENT FOUND
  - ⊕ MONUMENT SET
  - ▲ PK NAIL FOUND
  - ▲ PK NAIL SET
  - ◆ SECTION CORNER
  - ⊕ EXISTING CABLE TV PEDESTAL
  - EXISTING UTILITY POLE
  - EXISTING ELECTRIC HAND HOLE
  - EXISTING MANHOLE (AS NOTED)
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  - ⊕ EXISTING CURB STOP BOX
  - ⊕ EXISTING FIRE HYDRANT
  - ⊕ EXISTING GATE VALVE
- 
- ▨ EXISTING BUILDING
  - ▨ EXISTING FENCE
  - ▨ EXISTING GUARDRAIL
  - EXISTING ELECTRIC - OVERHEAD
  - EXISTING ELECTRIC - UNDERGROUND
  - EXISTING GAS
  - EXISTING STORM SEWER
  - EXISTING SANITARY SEWER
  - EXISTING TELEPHONE - OVERHEAD
  - EXISTING TELEPHONE - UNDERGROUND
  - EXISTING WATERMAIN
  - EXISTING ROAD RIGHT-OF-WAY
- 
- ▨ EXISTING LANDSCAPE ISLAND
  - ▨ SHARED STORMWATER BASIN AREA

- KEYED EXISTING FEATURES**
- 1 ENTRANCE
  - 2 DUMPSTER ENCLOSURE
  - 3 TRASH COMPACTOR
  - 4 LOADING DOCK
  - 5 CURB (TYP)

SURVEY INFORMATION COMPILED FROM SURVEYS COMPLETED BY GCES FOR TRAVERSE CITY INTERNATIONAL CURLING CENTER DATED JUNE 2022, AND CHERRYLAND CENTER LLC DATED JUNE 2024.

UTILITY INFORMATION COMPILED FROM SURVEYS AND HISTORICAL DRAWINGS.





**EXISTING SIDEWALK LEGEND**

— EXISTING SIDEWALKS

EXISTING PARKING LANDSCAPE ISLAND AREAS					
Area ID (No.)	Ea. Area (Sft)	Total	Area ID (No.)	Ea. Area (Sft)	Total
L1 (3)	290	870	L22		80
L2		385	L23		3575
L3		200	L24		425
L4		185	L25		1565
L5		450	L26 (2)	470	940
L6 (6)	170	1020	L27 (2)	290	580
L7		235	L28		750
L8		65	L29		2050
L9		170	L30		3280
L10		120	L31		4725
L11		420	L32		850
L12		980	L33		4300
L13		715	L34		3700
L14 (2)	375	750	L35	345	690
L15		380	L36		285
L16		105	L37		365
L17		465	L38		755
L18		490	L39		915
L19		2100	L40		660
L20		420	L41		490
L21		165			
Total Area (Sft)					37800

**EXISTING PARKING DISTRIBUTION**

Parcel ID	Address	Tenant	Area (Sft)	Land Use	Required Parking Standards - Individual Uses				Shared Parking Standards					Parking Counts	
					Min. Req'd per unit	Max allowed per unit	Minimum Required	Maximum Allowed	Weekday 9AM-4PM	Weekend 6PM-Midnight	Weekend 9AM-4PM	Weekend 6PM-Midnight	Night Midnight - 6AM		
05-014-049-02	1144 W. South Airport	Big Lots	32,190	Retail	250 sft	150 sft	129	219	78	129	117	129	91	7	169
05-014-049-03	1146 W. South Airport	Asian Buffet Cadillac	7,878	Restaurant	150	75	53	106	27	53	53	53	53	6	5
05-014-049-08	1776 S. Garfield Ave	Vacant/Former Yonkers	40,900	Entertainment	6 occ.	3 occ.	137	273	83	124	137	96	7	195	
			7,000	Restaurant			42	82	21	42	42	42	5		
05-014-049-00	1696 - 1792 S. Garfield	Varies Occupied + Vacant	27,574	Retail	250	150	111	184	67	100	111	78	6	288	
		Design Dance Company	3,339	Entertainment	6 occ.	3 occ.	28	56	12	28	23	28	3		
		Varies Occupied + Vacant	36,418	Office	200	150	183	243	183	19	35	10	10		
		Taqueria Las Lagunas, LLC	2,292	Restaurant	150	75	16	31	8	16	16	16	2		
05-014-049-10	1212 W. South Airport	K1 Speed	60,145	Entertainment	6 occ.	3 occ.	72	144	29	72	58	72	8	144	
		Vacant	36,114	Entertainment	6 occ.	3 occ.	317	635	127	317	254	317	32	298	
05-014-049-21	1712 S. Garfield	Traverse City Curling Club	28,550	Entertainment	6 occ.	3 occ.	84	167	34	84	68	84	9	138	
		TCP Philharmonic	15,700	Entertainment	6 occ.	3 occ.	55	110	22	55	44	55	6	83	
		Vacant	45,600	Commercial	200	150	228	304	228	25	44	12	12	116	
							1455	2550	919	1050	1014	954	113		

Planned Shopping Center Area 343,700 2.5 per 1000 sft 5 per 1000 sft 860 1719 Existing 2024 Parking Count: 1432

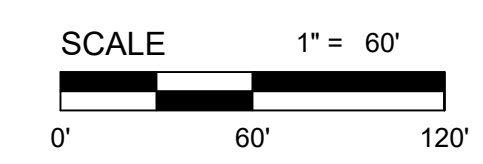
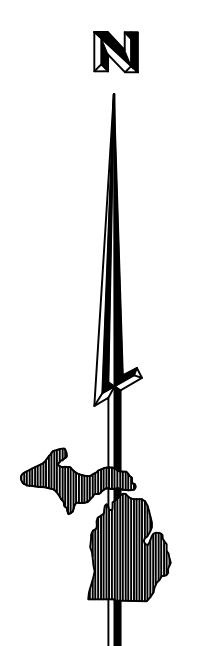
**EXISTING PARKING & PEDESTRIAN CIRCULATION PLAN  
 CHERRYLAND CENTER COMPREHENSIVE DEVELOPMENT PLAN  
 HOLIDAY PARK REALTY**

Date Issued: 09-09-2024  
 Date Surveyed: ---  
 Designed By: RMV  
 Drawn By: RMV  
 Checked By: ---  
 Scale: AS NOTED  
 Original sheet size is 24x36

Location:  
 PART OF THE NE 1/4 OF THE SE 1/4  
 SECTION 14, T27N, R11W  
 GARFIELD TOWNSHIP  
 GRAND TRAVERSE COUNTY  
 MICHIGAN

Project Number:  
 240273

Sheet:  
**3**



\* LANDSCAPE BUFFER AND SIDEWALKS TO BE INSTALLED BY TRAVERSE CITY CURLING CLUB PRIOR TO MAY 11, 2025.

**LEGEND**

- NEW USE AREA
- SHARED STORMWATER BASIN AREA
- NEW LANDSCAPE AREA
- EXISTING SIDEWALKS
- EXTERNAL & INTERNAL SIDEWALK

**PHASE 1 USE AREAS**

- 1 TWO BROTHERS DOG PARK, CAFE & TAPHOUSE
- 2 SPORTS BAR & NIGHTCLUB

**NOTES**

THIS COMPREHENSIVE DEVELOPMENT PLAN REPRESENTS THE GENERAL INTENT AND VISION OF THE CHERRYLAND CENTER LAND OWNERS TO GUIDE THE REDEVELOPMENT EFFORTS OF THE "CHERRYLAND CENTER" PURSUANT TO THE ZONING ORDINANCE TO PROVIDE A VARIETY OF MIXED USES ON A UNIFIED SITE.

LEGAL DOCUMENTS SUCH AS EASEMENTS AND MAINTENANCE AGREEMENTS WILL BE DEVELOPED AND INFORMED BY THIS COMPREHENSIVE PLAN.

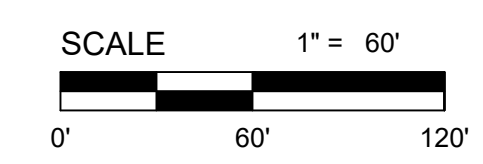
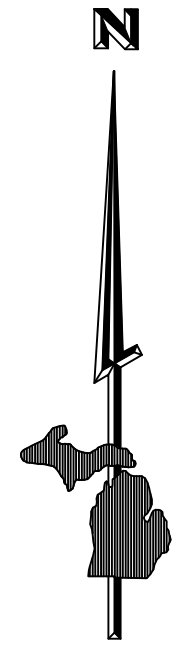
DETAILED SITE PLANS FOR PHASE 1 USE AREAS TO BE SUBMITTED FOR INDIVIDUAL APPROVAL AND INCLUDE PARKING, LANDSCAPING, SITE LIGHTING, AND ANY OTHER RELATED NECESSARY ITEMS.

No.	Date	Revision	By

**PHASE 1 USE PLAN**  
**CHERRYLAND CENTER COMPREHENSIVE DEVELOPMENT PLAN**  
**HOLIDAY PARK REALTY**

Date Issued:	09-09-2024
Date Surveyed:	
Designed By:	RMV
Drawn By:	RMV
Checked By:	
Scale:	AS NOTED
Original sheet size is 24x36	
Location:	PART OF THE NE 1/4 OF THE SE 1/4 SECTION 14, T27N, R11W GARFIELD TOWNSHIP GRAND TRAVERSE COUNTY MICHIGAN
Project Number:	240273
Sheet:	<b>4</b>





**LEGEND**

- NEW USE AREA (HOTEL)
- FUTURE HOTEL PARCEL AREA
- FUTURE HOUSING DEVELOPMENT
- EXISTING SIDEWALKS
- EXTERNAL & INTERNAL SIDEWALK
- SHARED STORMWATER BASIN AREA
- NEW LANDSCAPE AREA

**FUTURE PHASE USE AREAS**

- HOTEL BUILDING
- TWO BROTHERS DOG PARK CAFE & TAPHOUSE

**NOTES**

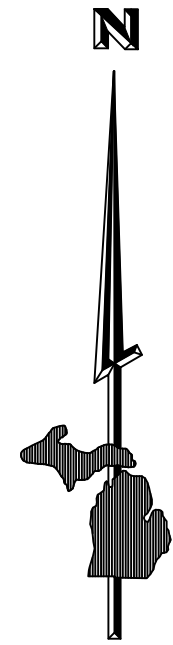
THIS COMPREHENSIVE DEVELOPMENT PLAN REPRESENTS THE GENERAL INTENT AND VISION OF THE CHERRYLAND CENTER LAND OWNERS TO GUIDE THE REDEVELOPMENT EFFORTS OF THE "CHERRYLAND CENTER" PURSUANT TO THE ZONING ORDINANCE TO PROVIDE A VARIETY OF MIXED USES ON A UNIFIED SITE.

LEGAL DOCUMENTS SUCH AS EASEMENTS AND MAINTENANCE AGREEMENTS WILL BE DEVELOPED AND INFORMED BY THIS COMPREHENSIVE PLAN.

DETAILED SITE PLANS FOR FUTURE PHASE USE AREAS TO BE SUBMITTED FOR INDIVIDUAL APPROVAL AND INCLUDE PARKING, LANDSCAPING, SITE LIGHTING, AND ANY OTHER RELATED NECESSARY ITEMS.

HOTEL AREA BUILDING, PARKING, SIDEWALK, AND TRASH AREA REPRESENTATIVE OF GENERAL LAYOUT. ARCHITECTURAL DESIGN AND DETAILS MAY NECESSITATE MODIFICATIONS AND WILL BE CONSISTENT WITH ZONING ORDINANCE PROVISIONS APPROVABLE UNDER SUBMITTED DETAILED SITE PLAN

No.	Date	Revision	By



SCALE 1" = 60'  
 0' 60' 120'

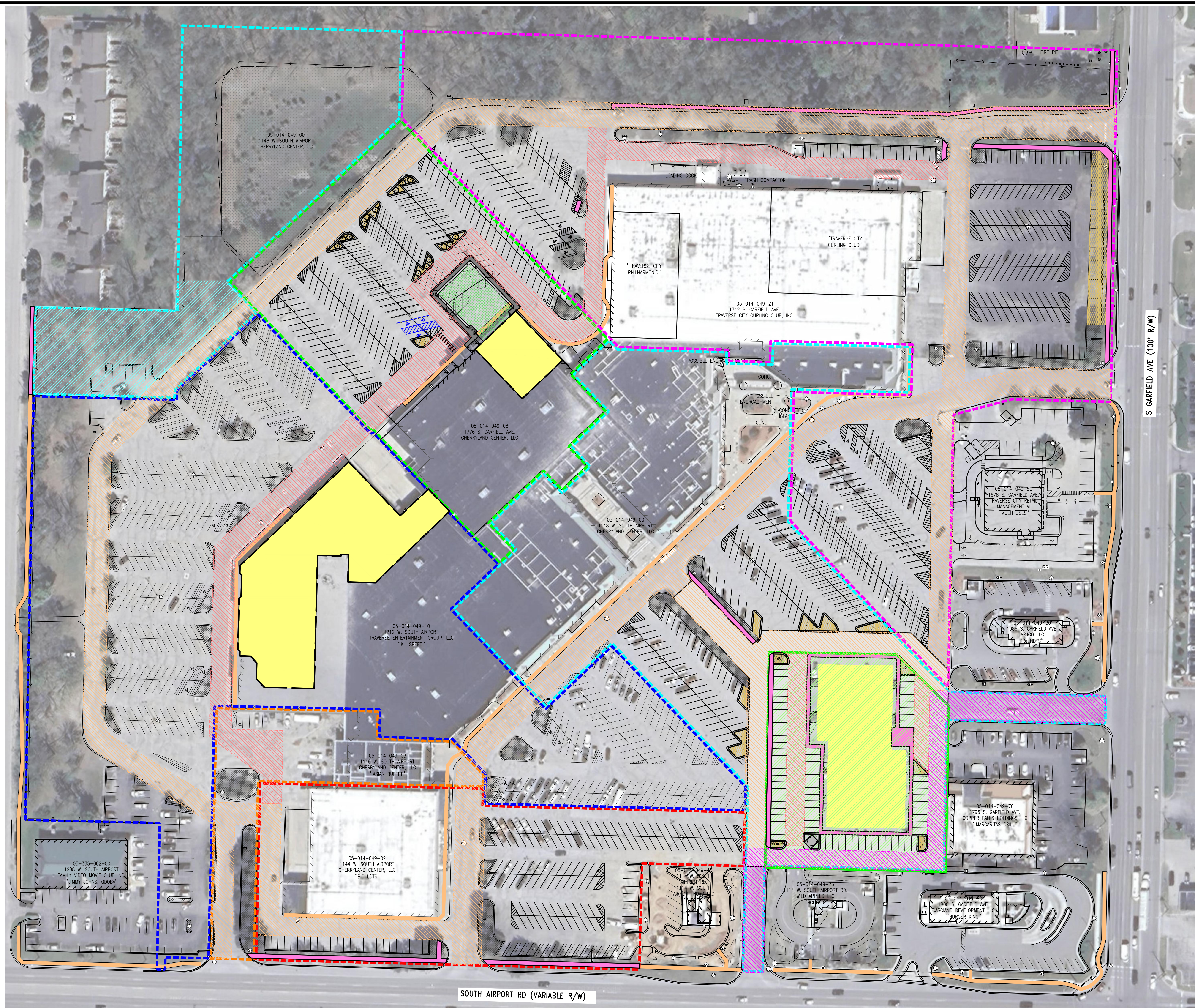
**LEGEND**

- NEW USE AREA
- FUTURE PARCEL AREA
- FUTURE HOUSING DEVELOPMENT
- EXISTING SIDEWALKS
- EXTERNAL & INTERNAL SIDEWALK
- EXISTING EASEMENTS
- SHARED/CROSS ACCESS EASEMENTS
- FIRE LANES
- SHARED STORMWATER BASIN AREA
- NEW LANDSCAPE AREA

**NOTES**

THIS COMPREHENSIVE DEVELOPMENT PLAN REPRESENTS THE GENERAL INTENT AND VISION OF THE CHERRYLAND CENTER LAND OWNERS TO GUIDE THE REDEVELOPMENT EFFORTS OF THE "CHERRYLAND CENTER" PURSUANT TO THE ZONING ORDINANCE TO PROVIDE A VARIETY OF MIXED USES ON A UNIFIED SITE.

LEGAL DOCUMENTS SUCH AS EASEMENTS AND MAINTENANCE AGREEMENTS WILL BE DEVELOPED AND INFORMED BY THIS COMPREHENSIVE PLAN.



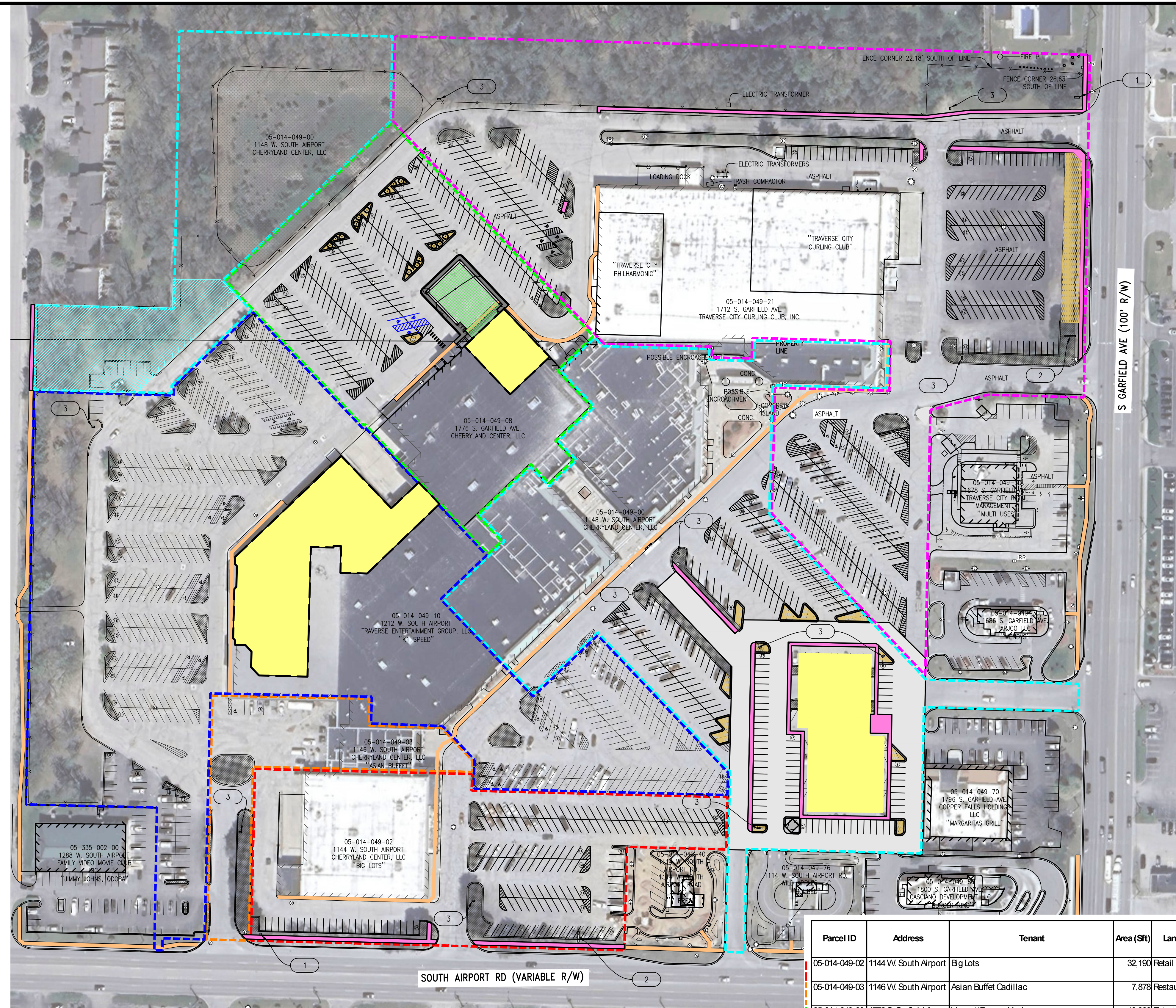
S GARFIELD AVE (100' R/W)

SOUTH AIRPORT RD (VARIABLE R/W)

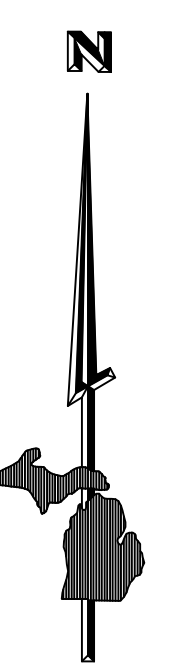
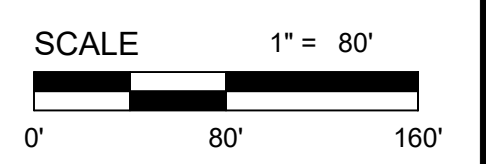
No.	Date	Revision	By

**OVERALL ACCESS PLAN  
 CHERRYLAND CENTER COMPREHENSIVE DEVELOPMENT PLAN  
 HOLIDAY PARK REALTY**

Date Issued:	09-09-2024
Date Surveyed:	
Designed By:	RMV
Drawn By:	RMV
Checked By:	
Scale:	AS NOTED
Original sheet size is 24x36	
Location: PART OF THE NE 1/4 OF THE SE 1/4 SECTION 14, T27N, R11W GARFIELD TOWNSHIP GRAND TRAVERSE COUNTY MICHIGAN	
Project Number:	240273
Sheet:	<b>6</b>



- SIGNAGE KEY**
- 1 CENTER MONUMENT SIGN (40 SFT)
  - 2 CENTER FREESTANDING SIGN (100 SFT)
  - 3 INTERNAL DIRECTIONAL SIGN (6 SFT)



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CIVIL ENGINEERING  
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 GEOTECHNICAL  
 CONSTRUCTION SERVICES  
 DRILLING  
 LANDSCAPE ARCHITECTURE

**COMPREHENSIVE PARKING PLAN**

Parcel ID	Address	Tenant	Area (Sft)	Land Use	Required Parking Standards - Individual Uses				Shared Parking Standards					Parking Counts	Landscape Islands (sft)	
					Min. Req'd per unit	Max. allowed per unit	Minimum Required	Maximum Allowed	Weekday 9AM-4PM	Weekday 6PM-Midnight	Weekend 9AM-4PM	Weekend 6PM-Midnight	Night Midnight - 6AM		Existing	Proposed
05-014-049-02	1144 W. South Airport	Big Lots	32,190	Retail	250 sft	150 sft	129	215	78	117	129	91	7	165	2588	
05-014-049-03	1146 W. South Airport	Asian Buffet Cadillac	7,878	Restaurant	150	75	53	106	27	53	53	53	6	5	2102	
05-014-049-08	1776 S Garfield Ave	Vacant/Former Yonkers	40,900	Entertainment	6 occ.	3 occ.	137	273	83	124	137	96	7	159		
		Two Brothers Dog Park Café & Taphouse (1)	7,000	Restaurant			42	82	21	42	42	42	5		550	1593
05-014-049-00	1696 - 1792 S Garfield	Varies Occupied + Vacant	27,574	Retail	250	150	111	184	67	100	111	78	6	147		
		Design Dance Company	3,339	Entertainment	6 occ.	3 occ.	28	56	12	28	23	28	3	3		
		Varies Occupied + Vacant	36,418	Office	200	150	183	243	183	19	35	10	10		3260	2294
TED	TED	Hotel (3)		Hotel (90 rm)	1/rm + 1/emp	1.5/room	100	135	75	100	75	100	75	72		1022
		Hotel		Hotel (90 rm)	1/rm + 1/emp	1.5/room	100	135	75	100	75	100	75	72		1022
05-014-049-10	1212 W. South Airport	K1 Speed	60,145	Entertainment	6 occ.	3 occ.	72	144	29	72	58	72	8	144	8005	
		High Tops (2)	36,114	Entertainment	6 occ.	3 occ.	317	635	127	317	254	317	32	298		
05-014-049-21	1712 S Garfield	Traverse City Curling Club	28,550	Entertainment	6 occ.	3 occ.	84	167	34	84	68	84	9	138	5630	5570
		TCPilharmonic	15,700	Entertainment	6 occ.	3 occ.	55	110	22	55	44	55	6	83	2470	
		Vacant	45,600	Commercial	200	150	228	304	228	23	44	12	12	116		
						1555	2685	994	1150	1089	1054	188		24605	10479	

Planned Shopping Center Area 343,700 2.5 per 1000 sft 5 per 1000 sft 860 1719

Master Plan Parking Count: 1327

Required Landscape Island Area (10 sft/space): 13270  
 Total Existing+Proposed Landscape Island Area: 35084

No.	Date	Revision	By

**OVERALL PARKING & SIGNAGE PLAN**  
**CHERRYLAND CENTER COMPREHENSIVE DEVELOPMENT PLAN**  
 HOLIDAY PARK REALTY

Date Issued: 09-09-2024  
 Date Surveyed: ---  
 Designed By: RMV  
 Drawn By: RMV  
 Checked By: ---  
 Scale: AS NOTED  
 Original sheet size is 24x36

Location:  
 PART OF THE NE 1/4 OF THE SE 1/4  
 SECTION 14, T27N, R11W  
 GARFIELD TOWNSHIP  
 GRAND TRAVERSE COUNTY  
 MICHIGAN

Project Number:  
 240273

Sheet:  
 7