

CHARTER TOWNSHIP OF GARFIELD PLANNING COMMISSION MEETING

Wednesday, September 11, 2024 at 7:00 pm
Garfield Township Hall
3848 Veterans Drive
Traverse City, MI 49684
Ph: (231) 941-1620

A G E N D A

ORDER OF BUSINESS

Call meeting to order
Pledge of Allegiance
Roll call of Board Members

1. Public Comment

Public Comment Guidelines:

Any person shall be permitted to address a meeting of The Planning Commission, which is required to be open to the public under the provision of the Michigan Open Meetings Act, as amended. (MCLA 15.261, et.seq.) Public Comment shall be carried out in accordance with the following Commission Rules and Procedures: a.) any person wishing to address the Commission is requested to state his or her name and address. b.) No person shall be allowed to speak more than once on the same matter, excluding time needed to answer Commissioner's questions. Where constrained by available time the Chairperson may limit the amount of time each person will be allowed to speak to (3) minutes. 1.) The Chairperson may at his or her own discretion, extend the amount of time any person is allowed to speak. 2.) Whenever a Group wishes to address a Committee, the Chairperson may require that the Group designate a spokesperson; the Chairperson shall control the amount of time the spokesperson shall be allowed to speak when constrained by available time. Note: If you are here for a Public Hearing, please hold your comments until that Public Hearing time.

2. Review and Approval of the Agenda – Conflict of Interest

3. Minutes – August 28, 2024

4. Correspondence

5. Reports

- a. Township Board
- b. Planning Commissioners
 - i. Zoning Board of Appeals
 - ii. Parks and Recreation Commission
 - iii. Joint Planning Commission
- c. Staff Report
 - i. PD 2024-70 – Planning Department Report – September 2024

6. Unfinished Business

- a. PD 2024-71 – French Manor LaFranier SUP Major Amendment – Public Hearing
- b. PD 2024-72 – Tower North Wireless Communication Facility SUP – Follow-Up #2

7. New Business

- a. PD 2024-73 – K-1 Speed / High Tops – Site Plan Review Amendment
- b. PD 2024-74 – Angel Care Child Care / Church of the Living God SUP – Introduction
- c. PD 2024-75 – Meadow Valley PUD Directional Signs – PUD Sign Review

8. Public Comment

9. Other Business

10. Items for Next Agenda – September 25, 2024

- a. Zoning Ordinance Discussion – Signs and Definition of “Substantial Construction”

11. Adjournment

**Joe Robertson, Secretary
Garfield Township Planning Commission
3848 Veterans Drive
Traverse City, MI 49684**

The Garfield Township Board will provide necessary reasonable auxiliary aids and services, such as signers for hearing impaired and audio tapes of printed materials being considered at the meeting to individuals with disabilities upon the provision of reasonable advance notice to the Garfield Township Board. Individuals with disabilities requiring auxiliary aids or services should contact the Garfield Township Board by writing or calling Lanie McManus, Clerk, Ph: (231) 941-1620.

**CHARTER TOWNSHIP OF GARFIELD
PLANNING COMMISSION MEETING
August 28, 2024**

Call Meeting to Order: Chair McManus called the August 28, 2024 Planning Commission meeting to order at 7:00pm at the Garfield Township Hall.

Pledge of Allegiance

The Pledge of Allegiance was recited by all in attendance.

Roll Call of Commission Members:

Present: Molly Agostinelli, John Racine, Robert Fudge, Pat Cline and Joe McManus

Absent and Excused: Joe Robertson and Chris DeGood

Staff Present: Planning Director John Sych and Deputy Planning Director Steve Hannon

1. Public Comment (7:01)

None

2. Review and Approval of the Agenda – Conflict of Interest (7:08)

Agostinelli moved and Cline seconded to approve the agenda as presented.

Yeas: Agostinelli, Cline, Racine, Fudge, McManus

Nays: None

3. Minutes (7:09)

a. August 14, 2024 Regular Meeting with Township Board

In item 5, the words “in the State of Michigan Building Code as adopted by Garfield Township” will replace the phrase “Garfield Township Building Code.

Cline moved and Fudge seconded to approve the August 14, 2024 Regular Meeting minutes as amended.

Yeas: Cline, Fudge, Agostinelli, Racine, McManus

Nays: None

4. Correspondence (7:03)

a. Letter from Staff dated July 29, 2024 to the City of Traverse City regarding the City of Traverse City Master Plan and Mobility Action Plan

5. Reports (7:04)**Township Board Report**

Agostinelli stated that the Board has four candidates for the township manager position and interviews will be held on September 5th.

Planning Commissioners**i. Zoning Board of Appeals**

Fudge had no report.

ii. Parks and Recreation Commission

Hannon stated that there was an article on the Copper Ridge Trail Head in the Record Eagle and that project is moving forward.

iii. Joint Planning Commission

Racine had no report.

Staff Report

Sych noted that the Board's decision regarding the definition of *start of construction* on the BATA project was used on the Marengo project as well. Sych stated that it may be helpful to define "substantial construction" in the Zoning Ordinance. McManus discussed the existing definitions regarding substantial construction in the ordinance and the need to make them very clear. Sych said it was important to quantify these definitions.

6. Unfinished Business**a. PD 2024-68 – Zoning Ordinance Short-Term Rentals – Continued Discussion (7:14)**

Sych stated that the Michigan Legislature has taken no action on House Bill 5438 which would regulate short term rentals in municipalities. He reiterated that the township could allow short term rentals in commercial areas if the bill was passed and attached a proposed licensing ordinance if one was needed. He reviewed the proposed licensing ordinance with PC members. Since there is no action at the state level, he recommends waiting until the state passes the bill to take any action of this topic.

b. PD 2024-69 – Zoning Ordinance Signs – Continued Discussion (7:25)

There are several cases from the past 5-10 years reviewed by the United States Supreme Court which may impact how municipalities can regulate signs. Many of these court cases focus on ordinance regulations which cover the content of a sign rather than regulations covering the size, setback, or other aspects of a sign. Staff did a proposed first draft of a rewrite of Section 630 of the ordinance which includes changes to the sign ordinance. Changes include adding content-neutral language throughout the entire Section; allowing the Planning Director to approve up to six (6) internal directional signs in the C-P district and in Planned Developments; removing the provision allowing for modifications to the wall sign

standards in the C-P district and in Planned Developments; and reconstructing subsection 630.N with content-neutral language, and renaming this subsection to “Signs Always Permitted and Exempt Signs”. Hannon discussed standardization for yard signage. Commissioners asked about avoiding potential loopholes such as weekend signage and signage in residential areas. Signage for construction contractors and realtors and their size in residential areas was discussed. Commissioners did not support the Director review of directional signs but were agreeable to removing the bonus provision for wall signs in the C-P district and planned developments. Guidance could be sought from MTA or other law firms, or the MSU extension. Outreach could be done in other communities as well. Staff agreed to look at different signage scenarios and what impact they would have on the community.

7. **New Business (8:04)**

None

8. **Public Comment (8:04)**

None

9. **Other Business (8:04)**

None

10. **Items for Next Agenda – September 11, 2024 (8:04)**


- a. French Manor LaFranier Special Use Permit Major Amendment – Public Hearing
- b. Tower North Wireless Communication Facility Special Use Permit – Follow-Up
- c. K-1 Speed/ High Tops – Site Plan Review Amendment
- d. Meadow Valley PUD – Directional Sign Review

Sych added that a site plan was received from the Cherryland Center and wants to review it with the three owners before bringing it to the PC.

11. **Adjournment**

Fudge moved to adjourn the meeting at 8:11pm.

Joe Robertson, Secretary
Garfield Township Planning
Commission
3848 Veterans Drive
Traverse City, MI 49684

 Charter Township of Garfield Planning Department Report No. 2024-70			
Prepared:	September 3, 2024	Pages:	2
Meeting:	September 10, 2024 Township Board	Attachments:	<input type="checkbox"/>
Subject:	Planning Department Monthly Report – September 2024		

PURPOSE:

Staff provides a monthly report to the Township Board on activities of the Planning Department and the Planning Commission. The presentation of this report also provides a venue for the Township Board to have a dialog with staff about any of the activities or planning-related issues facing the Township.

DEVELOPMENTS:

The Planning Commission is currently conducting the following development review activity:

The Potter’s Home Retreat Bed and Breakfast – Special Use Permit Review

- *Location:* 492 W Potter Road, north side of Potter Road, west of intersection with Garfield Road
- *Development Description:* Proposed bed and breakfast with space for up to 6 guests
- *Status:* After a public hearing at the 6/12/2024 meeting, the Planning Commission tabled the application and requested additional information to review at their 6/26/2024 study session. Upon reviewing this additional information, Commissioners directed staff to prepare Findings of Fact for their 7/10/2024 regular meeting. Commissioners tabled the application at their 7/10/2024 meeting and referred the proposed Findings of Fact to the Township Attorney for legal review. The Township Attorney provided their review in a letter which was received by the Planning Commission at their 8/14/2024 meeting. The Planning Commission denied the application at their 8/14/2024 meeting.

TowerNorth Wireless Communication Facility – Special Use Permit Review

- *Location:* 2767 Zimmerman Road, west side of Zimmerman Road, north of Silver Lake Road intersection
- *Development Description:* Proposed monopole wireless communication facility (cell tower)
- *Status:* The Planning Commission tabled the application at their 6/12/2024 meeting and requested more information on the application. Commissioners tabled the application at their 7/10/2024 meeting so that the applicant can propose a different location on the site for the proposed tower which meets setback standards for wireless communication facilities. The applicant did not submit any updated materials or information for the 8/14/2024 Planning Commission meeting, and so Commissioners again tabled the application.

French Manor LaFranier – Special Use Permit Major Amendment Review

- *Location:* 3090 LaFranier Road, east side of LaFranier Road, south of South Airport Road
- *Development Description:* Proposed expansion of existing senior residential facility
- *Status:* The application was introduced to the Planning Commission at their 8/14/2024 meeting. The public hearing for this application is scheduled for the 9/11/2024 Planning Commission meeting.

Copper Ridge PUD Building 5 (Thirlby Clinic) – PUD Sign Review

- *Location:* Building 5 located at 4110 Copper Ridge Drive in the Copper Ridge PUD
- *Development Description:* Proposed 6-square-foot internal directional entrance sign
- *Status:* The Planning Commission approved the sign at their 8/14/2024 meeting.

Meadow Valley PUD Directional Signs – PUD Sign Review

- *Location:* 5143 North Long Lake Road, south side of North Long Lake Road west of Zimmerman Road
- *Development Description:* Proposed series of internal directional signs
- *Status:* The Planning Commission will review the application at their 9/11/2024 meeting.

K1 Speed / High Tops – Site Plan Review Amendment

- *Location:* 1212 W South Airport Road, north side of South Airport Road west of Garfield Avenue
- *Development Description:* Proposed bar/tavern and nightclub at former Sears in Cherryland Center
- *Status:* The Planning Commission will review the application at their 9/11/2024 meeting.

Angel Care Child Care / Church of the Living God – Special Use Permit Review

- *Location:* 1514 Birmley Road, north side of Birmley Road east of Keystone Road
- *Development Description:* Proposed child care center within existing church
- *Status:* The application will be introduced to the Planning Commission at their 9/11/2024 meeting.

The Planning Department is also currently conducting the following administrative development review activity:

Kingsley Lumber

- *Location:* 1807 N Garfield Road, southwest corner of Garfield Road and Hammond Road
- *Development Description:* Proposed lumber processing and sawmill operation
- *Status:* Additional information requested from applicants

PLANNING:


Other Planning Department activities include the following:

- At their 8/14/2024 regular meeting, the Planning Commission held the public hearing for a proposed Zoning Ordinance text amendment. This amendment encompasses changes to the R-3 zoning district to allow triplex and quadplex housing types by right in the R-3 zoning district, and associated text changes. Commissioners recommended approval of the proposed amendment to the Township Board. The Township Board introduced the proposed Zoning amendment at their 8/27/2024 meeting and set a public hearing for 9/24/2024.
- At their 8/28/2024 study session, the Planning Commission continued their discussions about other potential amendments to the Zoning Ordinance, including updating sign regulations and addressing short-term rentals in response to proposed legislation.

STAFF:

John Sych, AICP, Planning Director
Email: jsych@garfield-twp.com
Direct Line: (231) 225-3155

Stephen Hannon, AICP, Deputy Planning Director
Email: shannon@garfield-twp.com
Direct Line: (231) 225-3156

 Charter Township of Garfield Planning Department Report No. 2024-71			
Prepared:	September 4, 2024	Pages:	5
Meeting:	September 11, 2024 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	French Manor LaFranier Special Use Permit Major Amendment – Public Hearing		
File No.	SUP-1990-07-A	Parcel No.	05-014-072-10
Applicant:	Burdco, Inc. / Dan Brown		
Agent:	Machin Engineering / Eric Sandmann		
Owner:	R&K Ackerman, LLC		

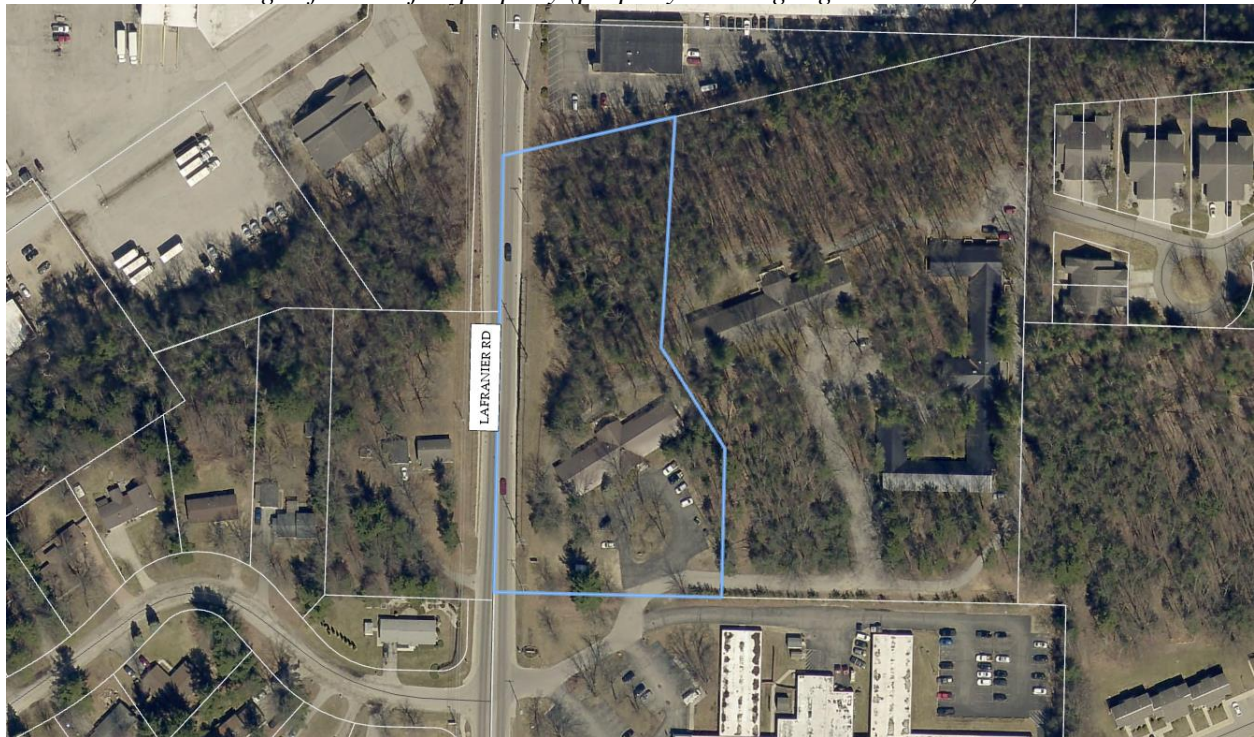
BRIEF OVERVIEW:

- 3090 LaFranier Road – east side of LaFranier Road, south of South Airport Road
- Approximately 2.74 acres in area
- Existing adult foster care facility
- R-3 - Multi-Family Residential zoning district

PURPOSE OF APPLICATION:

This application is requesting a Special Use Permit (SUP) for expansion of French Manor LaFranier, an existing 6,410-square-foot adult foster care facility at 3090 LaFranier Road. The facility expansion consists of a 1,472-square-foot building addition and a 2,176-square-foot building addition for a total of 3,648 square feet. Aerial images of the site are shown below.

Zoomed-in aerial image of the subject property (property lines highlighted in blue):



Zoomed-out aerial image of the subject property (property lines highlighted in blue):



SITE DESIGN AND ZONING COMPLIANCE OVERVIEW:

In approving any special use permit pursuant to Section 423, the Planning Commission may impose such reasonable standards, conditions, or requirements, in addition to or that supersede any standard specified in this ordinance, as it may deem necessary to protect the public interest and welfare. Such additional standards may include, but need not be limited to:

- a) Financing
- b) Availability of adequate public facilities or services
- c) Dedication of land
- d) Reservation of land
- e) Creation of special assessment districts
- f) Creation of restrictive covenants or easements
- g) Special setbacks
- h) Yard requirements
- i) Increased screening or landscaping requirements
- j) Area requirements
- k) Development phasing; or
- l) Standards pertaining to traffic, circulation, noise, lighting, hours of operation, protection of environmentally sensitive areas, and similar characteristics.

STAFF COMMENTS:

Staff offers the following comments regarding site design and compliance with the Zoning Ordinance:

Ingress and Egress

The subject parcel has an address of 3090 LaFranier Road but does not have direct access to the road. Ingress and egress for the site is provided by a private drive easement from LaFranier Road that serves the subject property and adjacent properties to the south and east. The applicant provided a summary of the existing private drive easement which indicates that the proposed site improvements will not overburden the private drive easement.

Parking

Parking requirement for nursing and convalescent homes is a minimum parking ratio of 1 space for 4 beds = 5 spaces and a maximum parking ratio of 1 space for 2 beds = 10 spaces. 9 total spaces are provided.

Sidewalks

Sidewalks are proposed on the site. Due to the severe topography along LaFranier Road, pedestrian access to the site directly from the road is not feasible.

Landscaping

A landscaping plan has been submitted with the revised site plan. The site contains an extensive number of existing trees and shrubs. The landscaping plan provides and an inventory of the existing plantings and how the plantings fulfill credit requirements as provided for in Section 530.L of the Zoning Ordinance:

<i>Greenspace (Length) – Buffer Type</i>	<i>Amount Required</i>	<i>Amount Credited/Provided</i>
North (170 feet) – Type C buffer	6 large trees 6 med/small trees 2 evergreens	18 existing large trees 14 existing med/small trees 2 existing evergreens 24 existing shrubs
East (550 feet) – Type B buffer	12 large trees 6 med/small trees 24 shrubs	20 existing large trees 10 existing med/small trees 24 existing shrubs
South (230 feet) – Type B buffer	4 large trees 2 med/small trees 8 shrubs	5 existing large trees 6 existing med/small trees 8 existing shrubs
West (500 feet) – Type C buffer	15 large trees 15 med/small trees 5 evergreens	36 existing large trees 18 existing med/small trees 5 existing evergreens

Lighting

A photometric plan has been submitted with the revised site plan. The lighting standards of Section 517 of the Zoning Ordinance are described by the following:

<i>Zoning Ordinance Lighting Standard</i>	<i>Subject Site</i>
A. <i>Applicability</i> – All outdoor lighting shall be installed in conformance with the provisions of this section. Certain light fixtures exempt from this section include decorative lighting, public streetlights, emergency lights, nonconforming existing lights, neon, and flag lighting.	None of these exceptions are expected to apply to this site, so all lighting for this site is subject to the requirements of this section.

<i>Zoning Ordinance Lighting Standard</i>	<i>Subject Site</i>
<i>B. Shielding and Filtration</i> – Lighting fixtures shall provide glare free area beyond the property line and light shall be confined to the lot from which it originates. All fixtures shall have full cut-off and shall not direct light upwards. Light sources shall be located, and light poles shall be coated, to minimize glare.	The fixtures as proposed meet this requirement.
<i>C. Illumination</i> – Average illumination levels shall not exceed 3.0 foot-candles for the main parking area, 2.0 foot-candles for the peripheral parking area, 5.0 foot-candles for the main drive areas, and 20.0 foot-candles directly below the lighting fixture. Illumination shall also not exceed 1.0 foot-candles adjoining another nonresidential zoning district along a local street or property line. Average lighting values ranging from 0.5 to 1.5 foot-candles are recommended.	The fixtures as proposed meet this requirement.
<i>D. Color Temperature</i> – All proposed lamps shall emit light measuring 3,500 K or warmer on the Kelvin scale.	The fixtures as proposed are 3,000 K and meet this requirement.
<i>E. Prohibitions</i> – Prohibitions include mercury-vapor or metal halide fixture and lamps, laser source lights, searchlights, or any light that does not meet shielding and illumination standards.	None of these prohibitions apply to this site.
<i>F. Pole Height</i> – All pole-mounted lighting shall not exceed the maximum permitted height of the zoning district.	Fixtures are proposed to be mounted at 15 feet in height which conform to the maximum permitted height of 40 feet in the R-3 district.

Snow Storage

Snow storage is to be provided at the ratio of ten (10) square feet per one hundred (100) square feet of parking area. Snow storage areas have been identified and meet the minimum requirements.

Dumpster Enclosure

One dumpster enclosure is proposed. The revised site plan shows a revised detail for the proposed enclosure that appears to meet the requirements of Section 516 of the Zoning Ordinance. The proposed gates on the enclosure described as “tube rail gates w/vertical cedar slats” are acceptable provided they are 100% opaque. Also, the color of the dumpster enclosure shall match the principal structure.

Other Reviews

The application is subject to additional reviews, including but not limited to the Township Engineer and Metro Fire. Sewer and water utility improvements and stormwater improvements will be reviewed by the Township Engineer. Escrow for these reviews is needed as determined by the Township Engineer. Signs are reviewed by the Township Zoning Administrator.

ACTION REQUESTED:

The purpose of this agenda item is to hold a public hearing on the application. If, following the applicant presentation and Planning Commission discussion, the Commission is prepared to direct Staff to prepare Findings of Fact, then the following motion is offered for consideration:

MOTION TO direct staff to prepare Findings of Fact for application SUP-1990-07-A for a Special Use Permit for expansion of an existing adult foster care facility at Parcel 05-014-072-10 subject to the following conditions (1-2 as indicated in PD 2024-71):

1. The proposed gates on the enclosure described as “tube rail gates w/vertical cedar slats” are acceptable provided they are 100% opaque.
2. Provide the color of the dumpster enclosure to match the principal structure.

Any additional information the Planning Commission deems necessary should be added to this motion.

Attachments:

1. Special Use Permit Application dated July 3, 2024
2. Impact Assessment Statement dated August 5, 2024
3. French Manor LaFranier (FML) Driveway Easement Clarification Summary dated September 4, 2024
4. Site Plan set from Machin Engineering dated August 5, 2024, with revisions dated August 20, 2024
5. Photometric plan from CTA Lighting & Controls dated August 9, 2024
6. Lumark cutsheets for wall pack and pole mounted lighting fixtures
7. Design survey from Simmer Land Surveying dated 27, 2024



Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE
TRAVERSE CITY, MICHIGAN 49684
PH: (231) 941-1620 • FAX: (231) 941-1588

SPECIAL USE PERMIT (SUP) APPLICATION

ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning and/or Zoning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

ACTION REQUESTED

- New Special Use Permit
- Major Amendment
- Minor Amendment
- Administrative Amendment

PROJECT / DEVELOPMENT NAME

French Manor LaFranier

APPLICANT INFORMATION

Name: Burdco, Inc
Address: 1222 Veterans Drive, Suite A, Traverse City, MI 49684
Phone Number: 231-941-9074
Email: dbrown@burdco.com

AGENT INFORMATION

Name: Machin Engineering
Address: 1235 E Front Street, Suite A, Traverse City, MI 49686
Phone Number: 231-935-1530 ext 710
Email: eric@machinengineering.net

OWNER INFORMATION

Name: R&K Ackerman, LLC
Address: 3735 Yorkshire Drive, Traverse City, MI 49685
Phone Number: 231-649-3134
Email: rustyas@gmail.com

CONTACT PERSON

Please select one person to be contact person for all correspondence and questions:

<i>Applicant:</i>	Dan Brown
<i>Agent:</i>	Eric Sandmann, PE
<i>Owner:</i>	Rusty Ackerman

PROPERTY INFORMATION

<i>Property Address:</i>	3090 LaFranier Road, Traverse City, MI 49686
<i>Property Identification Number:</i>	05-014-072-10
<i>Legal Description:</i>	See Attached Site Plan
<i>Zoning District:</i>	Multi-Family Residential (R-3)
<i>Master Plan Future Land Use Designation:</i>	Commercial
<i>Area of Property (acres or square feet):</i>	2.73 AC
<i>Existing Use(s):</i>	Adult Foster Care
<i>Proposed Use(s):</i>	Adult Foster Care

PROJECT TIMELINE

<i>Estimated Start Date:</i>	September 2024
<i>Estimated Completion Date:</i>	March 2025

REQUIRED SUBMITTAL ITEMS

A complete application for a Special Use Permit consists of the following:

Application Form:

- One original signed application
- One digital copy of the application (PDF only)

Application Fee:

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please make check out to Charter Township of Garfield.

- Fee

Escrow Fee:

Additional fees may be required if a review by independent professional help is deemed necessary by the Township. If required, such additional fees must be placed in escrow by the applicant in accordance with the escrow policies of the Township and prior to any further processing of this application. Any unused escrow funds shall be returned to the applicant. Please complete an Escrow and Review (ER) Application form.

Site Development Plan:

- Ten complete stapled 11"x17" paper sets (Administrative Amendments require one copy)
- Two complete bound 24"x36" paper sets
- One digital set (PDF only)

Written Information:

- Ten paper copies of the Approval Criteria (Administrative Amendments require one copy)
- One digital copy of the Approval Criteria (PDF only)
- Ten paper copies of the Impact Assessment (Administrative Amendments require one copy)
- One digital copy of the Impact Assessment (PDF only)

Digital items to be delivered via email or USB flash drive

SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

WAIVERS

Submittal Waiver:

At the discretion of the Director of Planning, a Site Development Plan may be waived in any of the following cases when it is determined that the submission would serve no useful purpose:

1. The erection or enlargement of an accessory structure;
2. The enlargement of a principal building by less than 20 percent of its existing gross floor area, provided such enlargement will not result in a requirement for additional off-street parking;
3. A change in principal use where such change would not result in an increase in impervious surface area, additional off-street parking, site access, other external site characteristics or a violation of this ordinance.

Data Waiver:

The Director of Planning may waive a particular element of information or data otherwise required for a Site Development Plan upon a finding that the information or data is not necessary to determine compliance with this ordinance or that such information or data would not bear on the decision of the approval authority.

SITE PLAN

Check that your site plan includes all required elements for a Site Development Plan (SDP). Please use the Required Site Plan Elements Checklist below.

APPROVAL CRITERIA

Indicate, on a separate sheet of paper, how the proposed special use will comply with, meet, or facilitate each of the following Approval Criteria from § 423.E of the Zoning Ordinance. The Planning Commission must determine that each of these criteria are satisfied in order to grant approval of a Special Use Permit. A special use is permitted only if the applicant demonstrates that special use is permitted only if the applicant demonstrates that:

- The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district;

- The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;
- The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;
- Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;
- The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;
- Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;
- The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
- The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;
- Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;
- Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and
- The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

IMPACT ASSESSMENT

A written impact statement to include the following information:

- A written illustrative description of the environmental characteristics of the site prior to development, i.e., topography, soils, vegetative cover, drainage, streams, creeks or ponds.
- Types of uses and other man-made facilities.
- The number of people to be housed, employed, visitors or patrons and vehicular and pedestrian traffic.
- Phasing of the project including ultimate development proposals.
- Natural features which will be retained, removed and/or modified including vegetation, drainage, hillsides, streams wetlands, woodlands, wildlife and water. The description of the areas to be changed shall include their effect on the site and adjacent properties. An aerial photo may be used to delineate the areas of change.
- The method to be used to serve the development with water and sanitary sewer facilities.
- The method to be used to control drainage on the site and from the site. This shall include runoff control during periods of construction.
- If the public sewers are not available to the site, the Applicant shall submit a current approval from the Health Department or other responsible public agency indicating approval of plans for sewage treatment.

- The method to be used to control any increase in effluent discharge to the air or any increase in noise level emanating from the site. Consideration of any nuisance that would be created within the site or external to the site whether by reason of dust, noise, fumes vibration, smoke or lights.
- An indication of how the proposed use conforms with existing and potential development patterns and any adverse effects.
- The proposed density in units per acre for residential developments.
- Name(s) and address(es) of person(s) responsible for preparation of statement.
- Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from the County Soil Erosion and Sedimentation office.
- Type, direction, and intensity of outside lighting.
- General description of deed restrictions, if any.

ADDITIONAL INFORMATION

If applicable, provide the following further information:

	<u>Yes</u>	<u>No</u>	<u>Not Applicable</u>
A. <u>Sanitary Sewer Service</u>			
1. Does project require extension of public sewer line?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Will a community wastewater system be installed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If yes, provide construction plans and specifications			
3. Will on-site disposal be used?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, is it depicted on plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
B. <u>Water Service</u>			
1. Does project require extension of public water main?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Will a community water supply be installed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If yes, provide construction plans and specifications			
C. <u>Public utility easements required?</u>			
If yes, show on plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
D. <u>Stormwater Review/Soil Erosion</u>			
1. Soil Erosion Plans approved by Soil Erosion Office?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If so, attach approval letter.			
If no, are alternate measures shown?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Stormwater Plans approved by Township Engineer?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If so, attach approval letter.			
If no, are alternate measures shown?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Note: Alternate measures must be designed and sealed by a registered Engineer.			

E. Roads and Circulation

- | | | | |
|---|--------------------------|-------------------------------------|-------------------------------------|
| 1. Are interior public streets proposed? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| If yes, has Road Commission approved (attach letter)? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 2. Will public streets connect to adjoining properties or future streets? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. Are private roads or interior drives proposed? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 4. Will private drives connect to adjoining properties service roads? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 5. Has the Road Commission or MDOT approved curb cuts? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| If yes, attach approved permit. | | | |

OTHER INFORMATION

If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

REVIEW PROCESS

- Upon submittal of this application, Staff will review the materials submitted and will, within ten (10) working days, forward a determination of completeness to the applicant. If the submission is incomplete or noncompliant with the Zoning Ordinance, it will be returned to the applicant for revision. Once the submission is revised, Staff will again review it for completeness and again forward a determination to the applicant within ten (10) working days. This procedure shall be repeated until a complete submission is received.
- Once the application is deemed to be complete and submitted according to the application deadlines, it will be forwarded to the Planning Commission for review. The Planning Commission will determine if the application is complete and schedule a public hearing.
- Upon holding a public hearing, the Planning Commission may approve, approve with conditions, or deny the proposed special use.
- If approved or approved with conditions, the decision of the Planning Commission shall be incorporated into a written report and decision order.

PERMISSION TO ENTER SUBJECT PROPERTY


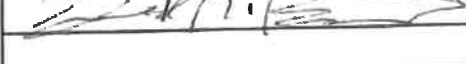
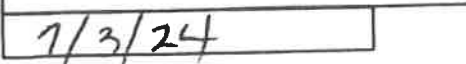
Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Owner Signature:

Applicant Signature:

Agent Signature:


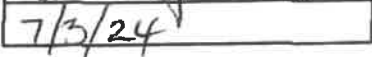
Date:




7/3/24

OWNER'S AUTHORIZATION




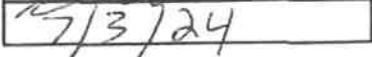
If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We Rusty Ackerman authorize to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner Signature: 
Date: 

AFFIDAVIT

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application and all of the information submitted in this application, including any supplemental information, is in all respects true and correct. The undersigned further acknowledges that willful misrepresentation of information will terminate this permit application and any permit associated with this document.

Owner Signature: 
Date: 
Applicant Signature: 
Date: 

Required Site Plan Elements Checklist (See § 956 of the Zoning Ordinance) Site Diagram (SD) / Administrative Site Plan (ASP) / Site Development Plan (SDP)	SD	ASP/ SDP	
A. Basic Information			
1. Applicant's name, address, telephone number and signature	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
2. Property owner's name, address, telephone number and signature	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
3. Proof of property ownership	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
4. Whether there are any options or liens on the property	<input type="checkbox"/>	<input type="checkbox"/>	N/A
5. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
6. The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. A vicinity map showing the area and road network surrounding the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
8. Name, address and phone number of the preparer of the site plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Project title or name of the proposed development	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Statement of proposed use of land, project completion schedule, any proposed development phasing	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Land uses and zoning classification on the subject parcel and adjoining parcels	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as their name, address and telephone number	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
B. Site Plan Information			
1. North arrow, scale, and date of original submittal and last revision	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
2. Boundary dimensions of natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
3. Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%), beach, drainage, and similar features	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
4. Proposed alterations to topography and other natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
5. Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18%	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
6. Soil erosion and sediment control measures as required by the Grand Traverse County Soil Erosion Department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. The location, height and square footage of existing and proposed main and accessory buildings, and other existing structures	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
8. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state or federal government authorities	<input type="checkbox"/>	<input type="checkbox"/>	N/A
9. Proposed finish floor and grade line elevations of any structures <i>*Required only for habitable construction within the floodplain on site diagrams and administrative site plans.</i>	<input type="checkbox"/> *	<input checked="" type="checkbox"/>	
10. Existing and proposed driveways, including parking areas	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Neighboring driveways and other vehicular circulation features adjacent to the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared parking areas	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
14. Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features within and adjacent to the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
15. Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
16. Location of neighboring structures that are close to the parcel line or pertinent to the proposal	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
17. Location of water supply lines and/or wells	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
18. Location of sanitary sewer lines and/or sanitary sewer disposal systems	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
19. Location, specifications, and access to a water supply in the event of a fire emergency	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
20. Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention ponds, swales, wastewater lines, clean out locations, connection points and treatment systems	<input type="checkbox"/>	<input type="checkbox"/>	N/A
21. A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
22. A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections	<input type="checkbox"/>	<input type="checkbox"/>	N/A
23. A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used	<input type="checkbox"/>	<input type="checkbox"/>	N/A
24. Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences, walls, trash receptacle screening, and other screening features with cross sections shown	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
25. A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as, its typical size by general location or range of sizes as appropriate	<input type="checkbox"/>	<input type="checkbox"/>	N/A
26. Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities, and on the natural environment on and adjacent to the site)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
27. Changes or modifications required for any applicable regulatory agencies' approvals	<input type="checkbox"/>	<input checked="" type="checkbox"/>	



August 5, 2024

John Sych
Charter Township of Garfield Planning Department
3848 Veterans Drive
Traverse City, MI 49684

Re: French Manor LaFranier
Impact Assessment Statement
ME Project No: 24130

Dear Mr. Sych:

The existing site consists of a parking area with an above ground stormwater basin located to the south of an existing 6,410 SFT adult foster care facility. The Central and Northern portion of the site consist of a wooded area with a steep slope towards the northwest corner of the property. The site will continue to operate as an adult foster care facility with the proposal of 3,648 SFT of building addition. Associated improvements include parking lot improvements, stormwater improvements, utility improvements and the installation of fire lanes and turn around areas.

The existing on-site soils consist of Rubicon Sand, 0 to 6 percent slopes (RwB) located along the southern property line, Rubicon Sand, 0 to 2 percent slopes (RwA) located on the southern half of the property, and Kalkaska Loamy Sand, 25 to 45 percent slopes (KaF) on the northern half of the property.

The subject site will see all 20 rooms occupied with a total of 20 residents. A total of 9 employees will be staffed with a maximum of 6 employees on-site at any given time and the facility is estimated to see up to 3 visitors per day. Vehicle and pedestrian traffic will be driven by employees and facility visitors. All construction for the proposed improvements will be conducted in a single construction phase.

The wooded area on the northern half of the property will be retained. Minimal trees will be removed in southern portion of the site and no other natural features will be removed to facilitate the construction of the facility. The removal of trees from the southern portion of the site will have minimal effect on the site and will have no effect on adjacent parcels.

The proposed development will reutilize existing water and sanitary sewer facilities on-site. Drainage from the site will be stored within an existing basin within the parking area that is to be modified. The need for additional basins will be determined prior to final approval. The runoff will be controlled during construction through the implementation of various BMPs such as silt fence and construction entrances. The existing basin will be utilized for stormwater storage during all phases of construction.

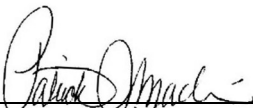
The proposed improvements will not create any increase in effluent discharge to the air or any increase in noise levels. The proposed use will not change from the existing use on site. No adverse effects will occur as a result of the improvements. The unit density for the site will be 7.3 units per acre after improvements are completed.

Soil erosion and sedimentation control measures during construction include a silt fence and construction entrance as well as temporary seeding and mulching. Permanent measures include installation of asphalt and permanent seeding in all disturbed areas. No changes to the existing lighting are proposed and no deed restrictions exist.

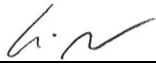
Should you have any questions please contact us at (855) 935-1530.

Sincerely,

MACHIN ENGINEERING, INC.

X 

Patrick J. Machin, P.E.
Principal

X 

Eric Sandmann, P.E.
Project Manager

FRENCH MANOR LaFRANIER (FML) DRIVEWAY EASEMENT CLARIFICATION SUMMARY
SEPTEMBER 4, 2024

1. EASEMENT AGREEMENT

A) There is a "RECIPROCAL EASEMENT AGREEMENT" dated 02/02/2016 (See attached). The purpose of this agreement was to establish 1) a Vehicular Easement on TMI Property (Property Owner) which is granted to the adjacent FML (formerly Rosegate) property and the Northridge property (Benefitted Properties) and 2) a Pedestrian Easement on the FML and Northridge properties (Property Owners) granted to the TMI Property (Benefitted Property).

B) 02/02/2016 EASEMENT LANGUAGE PERTAINING TO THE PROPOSED FML ADDITION: Section 2 – "...The Scope of the Easements and use of the Easements by the benefitted properties shall remain consistent with the use of the Easements at the time of Agreement and the Easements shall not become overburdened as the result of development or expansion of the benefitted properties."

2. FML ADDITION PROJECT SCOPE IN RELATION TO THE EASEMENT AGREEMENT

A) The current Vehicular Easement Driveway supports 94 parking spaces between 3 properties

B) There are a total of 9 parking spaces at the existing FML property. There will still be a total of 9 parking spaces upon the completion of the proposed FML addition work

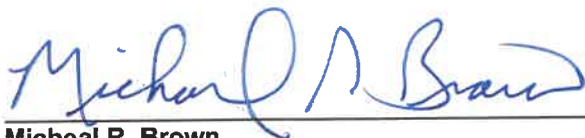
C) The current Vehicular Easement Driveway supports 162 Units (beds) between the 3 properties

D) The French Manor LaFranier Addition Plans include some new interior finishes to the existing 14 assisted living units (beds) and the addition of 6 new assisted living units (beds).

3. CONCLUSION

A) "The Scope of the Easement and the use of the Easements by FML shall remain consistent with the use of the Easements at the time of the Agreement" after completion of the FML Addition

B) "The Easements (Vehicular driveway) shall not become overburdened" as the result of the FML Addition



Micheal R. Brown
President- Burdco Incorporated

STATE OF MICHIGAN



REAL ESTATE TRANSFER TAX \$22.00 CO \$150.00 ST TTX# 4101878

Grand Traverse Co 02/05/2016 2016R-02108



2016R-02108 STATE OF MICHIGAN GRAND TRAVERSE COUNTY RECORDED 8:40:18 AM 02/05/2016 PAGE 1 OF 23 PEGGY HAINES REGISTER OF DEEDS

23 1/2 4

RECIPROCAL EASEMENT AGREEMENT

This Reciprocal Easement Agreement (the "Agreement") is made this 2nd day of February, 2016, by and between TMI Birchwood RE, LLC ("TMI"), a Wisconsin limited liability company, of 3500 Lenox Road NE Suite 510, Atlanta, Georgia 30326, Rosegate Assisted Living, LLC ("Rosegate"), a Michigan limited liability company, 3090 LaFranier Road, Traverse City, Michigan 49686 and Northridge Partners, a dissolved Michigan co-partnership and LaCross Northridge Partners, LLC, a Michigan limited liability company ("Northridge"), 5536 Sharonowski Road, Cedar, Michigan 49621 (together TMI, Rosegate and Northridge shall be referred to herein as the "Parties"). TMI, Rosegate, Northridge, and their successors and assigns, shall collectively be referred to herein as the "Owners".

PURPOSE FOR AGREEMENT

The purpose of this Agreement is: (1) To impose and establish upon and against the TMI Property (as defined below), a non-exclusive easement for vehicular and pedestrian ingress and egress for the benefit of the Rosegate Property and the Northridge Property for the Easement Term (as defined below); and (2) To impose and establish upon and against the Rosegate Property (as defined below) and the Northridge Property (as defined below), a non-exclusive easement for pedestrian

Doc 2 of 4

ingress and egress for the benefit of the TMI Property for the Easement Term (as defined below); and (3) to set forth certain other agreements in writing.

The Parties' properties are described as follows:

TMI's Property – Tax No. 28-05-014-074-00

Situated in the Township of Garfield, County of Grand Traverse, State of Michigan:

That part of the West one-half of the Southwest one-quarter of the Southeast one-quarter, Section 14, Town 27 North, Range 11 West, described as: Commencing at the South one-quarter corner; thence North 00°23'30" West 100.00 feet to the Point of Beginning; thence North 00°23'30" West 230.00 feet along centerline of LaFranier Road; thence East 684.75 feet; thence South 00°27' East 330.00 feet; thence West 482.12 feet, along section line; thence North 00°23'30" West 100.00 feet; thence West 183.00 feet to the Point of Beginning. Township of Garfield, County of Grand Traverse, State of Michigan.
(the "TMI Property")

Rosegate Property – Tax No. 28-05-014-072-10

The following described premises situated in the Township of Garfield, County of Grand Traverse, and State of Michigan, to wit:

Part of the Southwest ¼ of the Southeast ¼, Section 14, Town 27 North, Range 11 West, more fully described as: Commencing at the South ¼ corner of said Section 14; thence North 00°19'00" West, 330.00 feet along the North and South ¼ line of said Section 14 to the Point of Beginning; thence continuing along said ¼ line North 00°10'00" West, 509.05 feet; thence North 76°14'04" East, 204.41 feet; thence South 01°59'42" West, 267.76 feet; thence South 33°49'00" East, 139.49 feet; thence South 00°19'00" East, 174.43 feet parallel with said North and South ¼ line; thence North 89°57'00" West, 265.01 feet to the Point of Beginning.
(the "Rosegate Property")

Northridge Property – Tax No. 28-05-014-072-20

Part of the Southwest quarter of the Southeast quarter, Section 14, T27N, R11W, Garfield Township, Grand Traverse County, Michigan, more fully described as: Commencing at the South quarter corner of said Section 14; thence N 00°19'00" W, 839.05 feet along the North and South quarter line of said Section 14; thence N 76°14'04" E, 204.41 feet to the Point of Beginning; thence S 01°59'42" W, 267.76 feet; thence S 33°49'00" E, 139.49 feet; thence S 00°19'00" E, 174.43 feet parallel with said North and South quarter line; thence S 89°57'00" E, 342.95 feet; thence N 00°23'00" W, 658.58 feet; thence S 76°14'04" W, 419.88 feet to the Point of

Beginning.

Also subject to a 66 foot wide easement for the purpose of ingress, egress and the installation and maintenance of public and private utilities over the South 66 feet thereof.

Together with a non-exclusive 66-foot wide easement for the purpose of ingress, egress and the installation and maintenance of public and private utilities over the South 66 feet of an adjoining parcel, located in Garfield Township, Grand Traverse County, Michigan and described as part of the Southwest quarter of the Southeast quarter, Section 14 T27N, R11W, more fully described as: Commencing at the South quarter corner of Section 14; thence North 00°19'00" W, 330.00 feet along the North and South quarter line of said Section 14 to the Point of Beginning; thence continuing along said quarter line North 00°19'00 West, 509.05 feet; thence North 76°14'04" East, 204.41 feet; thence South 01°59'42" West, 267.76 feet; thence South 33°49'00" East, 139.49 feet; thence South 00°19'00" East, 174.43 feet parallel with said North and South quarter line; thence North 89°57'00" West, 265.01 feet to the Point of Beginning.

Subject to the right-of-way of LaFranier Road over the West 33 feet thereof.

(the "Northridge Property", and together with the TMI Property and the Rosegate Property, the "Properties")

NOW, THEREFORE, for the mutual covenants contained herein and other good and valuable consideration, the receipt and sufficiency of which are acknowledged, the Owners, on behalf of themselves and their successors and assigns, agree as follows:

1. Grant of Easements:

A. Entrance Easement. TMI hereby grants to Rosegate and Northridge, for the benefit of the Rosegate Property and the Northridge Property, and the successors and assigns of the Rosegate Property and the Northridge Property, and all owners, employees, tenants, invitees and guests of the Rosegate Property and Northridge Property, a non-exclusive easement for vehicular and pedestrian ingress and egress over that portion of the TMI Property more specifically described on the attached Exhibit "A" and described as "Easement A" (the "Entrance Easement") in order to

provide access to the Rosegate Property and the Northridge Property to and from LaFranier Road, and for no other purpose. TMI reserves to itself and its successors and assigns all incidents of ownership of the Entrance Easement that are not inconsistent with the ingress and egress easement granted herein.

B. Pedestrian Easement. Rosegate and Northridge hereby grant to TMI, for the benefit of the TMI Property, and the successors and assigns of the TMI Property, and all owners, employees, tenants, invitees and guests of the TMI Property, a non-exclusive easement for pedestrian ingress and egress over that portion of the Rosegate Property and the Northridge Property more specifically described on the attached Exhibit "B" and described as "Easement D" (the "Pedestrian Easement", and together with the Entrance Easement, the "Easements") in order to provide access over the private driveways/roadways, but not private parking areas, and for no other purpose. Rosegate and Northridge reserve to themselves and their respective successors and assigns all incidents of ownership of the Pedestrian Easement that are not inconsistent with the ingress and egress easement granted herein.

2. Scope and Duration of Easements: This Agreement and said Easements shall be a non-exclusive easement for a term of thirty (30) years commencing on the date of this Agreement and terminating on February 1 2046 (the "Easement Term"), unless earlier terminated pursuant to the terms hereof, to be used by and binding upon all of the Parties, their heirs and assigns, in common with the use by the grantor or grantors of said Easements, and shall be appurtenant to, a burden upon and benefit for each parcel of real property described herein. The scope of the Easements and use of the Easements by the benefitted properties shall remain

consistent with the use of the Easements at the time of the Agreement and the Easements shall not become overburdened as the result of development or expansion of the benefitted properties.

3. **Consideration:** The consideration for the Easements includes the reciprocal grant of the Entrance Easement and the Pedestrian Easement, the agreements herein related to the sharing of maintenance of the Entrance Easement, the maintenance of the Pedestrian Easement, and a payment to TMI or its designee in the amount of Twenty Thousand and no/100 Dollars (\$20,000.00), payable in immediately available funds, no later than the execution of this Agreement, to cover TMI's costs and expenses in connection herewith, including for the avoidance of doubt, any internal personnel expenses, plus a payment by Rosegate and/or Northridge to TMI or its designee for reimbursement of any additional costs and expenses, including attorney's fees, incurred by TMI in connection with this Agreement, payable pursuant to the terms set forth in a separate reimbursement agreement between the Parties. Rosegate and/or Northridge agree to pay applicable state and county transfer taxes resulting from the recording of this Agreement.

4. **Access:** The Easements are non-exclusive and the benefitted properties uses are limited to the purposes set forth herein and may not be expanded by the benefitted properties or retracted by the burdened properties. The Easements shall not be blocked, hindered or disturbed by any of the Parties to this Agreement, their lessees, guests, employees, successors, heirs or assigns. Any knowledge of a future temporary disturbance due to repair, maintenance or emergency shall be communicated to the other party promptly.

5. **Shared Maintenance and Limited Maintenance:** The owner of the TMI Property agrees it is responsible for coordinating, performing and making the improvements, maintenance and repairs upon that portion of the Entrance Easement that is specifically described on Exhibit "A" and described as "Easement B" (the "Jointly Maintained Area") in compliance with all applicable laws and regulations, as are reasonable and necessary from time to time, and that the owner of the TMI Property shall maintain the Jointly Maintained Area in good order, appearance and repair..

The owners of the Rosegate Property and Northridge Property agree they do not have authority to make improvements, maintain or repair the Jointly Maintained Area but that the owners of the Rosegate Property and Northridge Property are responsible for the shared cost of the improvements, maintenance and repairs to the Jointly Maintained Area of the Entrance Easement, including, but not limited to, resurfacing, sealing, asphalt and curb maintenance, pot hole filling, restriping and snow removal (as set forth in Section 6 below).

The cost of improvements, maintenance and repairs of the Jointly Maintained Area of the Entrance Easement shall be shared equally (1/3 each) by the Parties (or their successors in interest)

The parties hereto acknowledge and agree that the Jointly Maintained Area of the Entrance Easement makes up approximately 1/12 of the entire asphalt surface area of the TMI Property (as of the execution date of this Agreement) and that the owners of the TMI Property shall not allocate more than 1/12 of the overall cost of any improvement, maintenance and repairs to all of the paved surface areas of the TMI Property to the Jointly Maintained Area of the Entrance Easement. For the sake of

exemplar only: If TMI is resurfacing all of its paved surface area for a total cost of \$12,000, only 1/12 (or \$1,000) shall be allocated to the Jointly Maintained Area of the Entrance Easement. The, the \$1,000 cost allocated to the Jointly Maintained Area shall be split evenly between the owners of the TMI Property, the Rosegate Property and the Northridge Property, with each paying approximately \$333.33 towards the cost of resurfacing.

If the improvement, repair or maintenance to be performed or made encompasses not all of the paved area of the TMI Property, but more than just the Jointly Maintained Area, only that portion of the cost of the project reasonably allocated to the Jointly Maintained Area shall be shared by the owners of the Rosegate Property and Northridge Property. Such allocation shall be determined by the party contracted to perform or made the improvements, repairs, or maintenance. For the sake of exemplar only: If TMI is resurfacing the Jointly Maintained Area, plus the two attached parking lots, but not all of their paved surface areas, a reasonable estimation of the portion of the resurfacing allocated to the Jointly Maintained Area shall be calculated by company providing the resurfacing. The owners of the TMI Property, Rosegate Property and Northridge Property shall share equally in that portion of the total cost of the improvements, repairs or maintenance allocated to the Jointly Maintained Area.

Prior to commencement of any improvements, maintenance or repairs to the Jointly Maintained Area of the Entrance Easement, which for any project would be allocated to the Jointly Maintained Area in the aggregate of Five Thousand and No/100 Dollars (\$5,000.00) or more (equal to \$1,666.66 allocated to each Party), the owner of the TMI Property shall provide to the owners of the Rosegate Property and Northridge

Property a written notice with a description and an estimate of the improvement, maintenance or repair to be performed or made (except in an emergency the owner of the TMI Property shall only be required to give the owners of the Rosegate Property and the Northridge Property such notice as is reasonably practical).

Within thirty (30) days following the completion of any improvements, maintenance or repairs to the Jointly Maintained Area, the owners of the Rosegate Property and the Northridge Property shall be provided an invoice for their respective share of the costs of said improvements, maintenance or repairs. The owners of the Rosegate Property and Northridge Property shall reimburse the owner of the TMI Property in regards to their 1/3 of the cost of said improvements, maintenance or repairs within fifteen (15) days of receipt of the invoice from the owner of the TMI Property.

If either owner of the Rosegate Property or Northridge Property believe the Jointly Maintained Area of the Entrance Easement requires improvement, maintenance or repairs in order to facilitate safe and reasonable use of the Entrance Easement consistent with this Agreement, said owner shall provide a written notice to the owner of the TMI Property regarding their suggested improvement, maintenance or repair request for approval by the owner of the TMI Property, which approval will not be unreasonably withheld.

The owners of the Rosegate Property and the Northridge Property agree they are responsible for coordinating, performing and making the improvements, maintenance and repairs upon that portion of the Entrance Easement that is described and labeled on Exhibit "A" described as "Easement C (the "Limited Maintained Area")", in compliance with all applicable laws and regulations, as are reasonable and necessary, from time to

time, and that they shall maintain the Limited Maintained Area in good order, appearance and repair.

The owner of the TMI Property shall not be responsible for any expenses, fees, charges, or any allocated portion of any improvements, maintenance or repairs to the Limited Maintained Area of the Entrance Easement. The owners of the Rosegate Property and Northridge Property are hereby agreeing to share equally in the improvements, maintenance and repairs of the Limited Maintained Area, with each party paying ½ of the expense.

6. **Maintenance of the Pedestrian Easement.** The owners of the Rosegate Property and Northridge Property shall be solely responsible for the cost and performance of all improvements, maintenance and repair of the Pedestrian Easement, without any input or contribution from the owner of the TMI Property.

7. **Snow Removal.** Maintenance, as discussed above, shall include snow removal, as governed by this paragraph. The Parties do hereby agree to each contribute Two Hundred and 00/100 Dollars (\$200.00) per year towards the cost of snow removal for the Jointly Maintained Area (the "Snow Removal Fee"). The Snow Removal Fee shall be increased by twenty percent (20%) every five (5) years during the Easement Term. The owner of the TMI Property shall be responsible for coordinating the snow removal for the Jointly Maintained Area of the Entrance Easement and the cost of the snow removal in excess of the amount contributed by the owners of the Rosegate Property and the Northridge Property. The owners of the Rosegate Property and Northridge Property are responsible for coordinating and full cost of snow removal from the Limited Maintained Area of the Entrance Easement without allocation or

contribution from the owner of the TMI Property, as well as coordinating and the full cost of snow removal from the Pedestrian Easement without allocation or contribution from the owner of the TMI Property.

8. Use and Limitations of the Entrance Easement, the Rosegate Property and the Northridge Property: There shall be no parking, stopping, or blocking of any traffic upon the Entrance Easement by any party, or their lessee, invitee, employee or guest. The owners of the Rosegate Property and Northridge Property agree to provide and maintain a stop sign located where the Limited Maintained Area meets the Jointly Maintenance Area so to require the traffic leaving the Rosegate Property and Northridge Property to stop before entering the Jointly Maintained Area of the Entrance Easement. The owner of the Rosegate Property and the Northridge Property shall be permitted to install, at the sole cost and expense of the owners of the Rosegate Property and the Northridge Property, reasonable signage identifying the entrance to their respective properties where the Jointly Maintained Area meets the Limited Maintained Area, so long as the signage does not violate any local zoning or sign ordinance and such signage is in good taste so as not to detract from the general appearance of the TMI Property. The Parties further agree that if, at any time, the business activities conducted at the Rosegate Property or the Northridge Property are competitive with the business activities conducted at the TMI Property, as determined by the owner of the TMI Property in its sole discretion, then there shall be a material default of this Agreement by the competing Party. The Parties agree that a competitive business activity, for purposes of this Agreement, shall include operating as a skilled nursing facility.

9. **Use and Limitations of the Pedestrian Easement:** The Parties acknowledge and agree that the use of the Pedestrian Easement shall be shared with vehicular traffic of the owners, employees, guests, invitees and lessees of the Rosegate Property and Northridge Property, and that the owners, employees, lessees, guests and invitees of the TMI Property understand and accept that said vehicular traffic does not in any way prevent or impede upon the pedestrian access granted by this Easement, and that they accept the inherent risk in using the Pedestrian Easement. Furthermore, the owners, employees, guests, invitees and lessees of the TMI Property agree that their use of the Pedestrian Easement is limited to that area depicted upon the attached Exhibit "B" and does not give the right to leave the roadway/driveway or enter onto any additional parking areas, sidewalks or trails and that the access to the Pedestrian Easement is limited to foot, bike and wheelchair traffic and does not provide for any vehicular traffic, stopping or parking on the Pedestrian Easement.

10. **Indemnity:** The owner of any lot benefited by this Agreement ("Indemnitor") shall indemnify, defend, and hold the owner of any lot burdened by this Agreement ("Indemnitee") harmless from and against any and all claims, damages, losses, or expenses (including reasonable attorney's fees), arising as a result of the use by the Indemnitor, or its successors, assigns, tenants, agents, employees, contractors or invitees, of the easements and rights granted herein to the Indemnitor. This provision shall survive the termination of this Agreement.

11. **Assignment of Rights:** All rights hereunder granted shall not be further assignable by such property Owners except as an appurtenance to and in conjunction with the sale of their parcels.

12. **Effective:** This Agreement shall be effective upon the date first set forth above.

13. **Not a Replacement:** The Easements created herein do not supersede, effect or replace any easements between the Rosegate Property and the Northridge Property.

14. **Default:** If an Owner defaults in any of its obligations under any provision of this Agreement, and such default continues for fifteen (15) days after written notice thereof given by any aggrieved Owner (or, with respect to nonmonetary defaults, the defaulting Owner fails to commence reasonable efforts to cure within such 15 days, or fails to diligently complete such cure within a reasonable time thereafter), any one or more of the aggrieved Owners may (i) enforce such obligations, either at law or in equity, by injunction or specific performance or other available relief, or (ii) perform or pay all or any part of such obligations and charge the cost of performing or the payment made, including reasonable attorneys' fees and interest, to the defaulting Owner, or (iii) terminate this Agreement and the easement rights granted to the defaulting Owner herein as of the date of written notice of termination (the "Termination Notice") to the defaulting Owner, provided such termination shall not affect the easement rights of any non-defaulting Owner. The indebtedness incurred hereunder on behalf of a defaulting Owner and any other sums due and owing by a defaulting Owner in accordance with this Agreement shall bear interest from fifteen (15) days after notice of default is given as herein provided at a rate of ten percent (10%) per annum or at the highest annual interest rate allowed by law, whichever is less, and any indebtedness of the defaulting Owner, including interest, and all reasonable costs of suit or collection thereof (including

reasonable attorneys' fees, whether suit be brought or not, with interest on such costs of suit or collection at the rate above set out), shall be payable on demand of the creditor. Any indebtedness incurred hereunder on behalf of a defaulting Owner and any other sums due and owing by a defaulting Owner in accordance with this Agreement may be secured by a lien on the Property of the defaulting Owner and may be perfected in accordance with the laws of the State of Michigan; provided, however, that any liens shall be subordinate and subject to any first mortgage upon the defaulting Owner's Property held by a lender that is not an affiliate of the defaulting Owner. Failure to enforce any covenant hereunder shall not be deemed to be a waiver of the right to do so thereafter. The rights and remedies given to any party to this Agreement shall be deemed to be cumulative and no one of such rights and remedies shall be exclusive of any of the others, or of any other right or remedy at law or in equity which any such party might otherwise have by virtue of a default under this Agreement, and the exercise of one such right or remedy by any such party shall not impair such party's standing to exercise any other right or remedy.

15. **Taxes:** Each Owner shall pay (or cause to be paid) before delinquency all real estate taxes and assessments levied on its Property and the improvements situated thereon.

16. **Insurance:** The owners of the Rosegate Property and the Northridge Property shall each obtain liability insurance as part of their respective owner's policy for the Rosegate Property and the Northridge Property to cover any liabilities that arise as a result of the use by the owners of the Rosegate Property and the Northridge Property, or the owner's tenants, agents, employees, contractors or invitees, of the Entrance

Easement. The liability policies held by both the owners of the Rosegate Property and the Northridge Property shall each name the owner of the TMI Property as an additional insured with respect to the use of the Entrance Easement by the owner of the TMI Property. Upon demand, the owners of the Rosegate Property and the Northridge Property shall each furnish the owner of the TMI Property with a certificate of insurance evidencing the foregoing insurance coverage and providing that such insurance policy may not be cancelled on less than thirty (30) days prior written notice to the owner of the TMI Property.

17. **Amendment/Termination.** This Agreement may be modified, amended or terminated only by the express written consent of all of the Parties, but no other persons, such as tenants or occupants of said Properties, shall have any rights whatsoever to join in, prevent or otherwise be a party to any such modification, amendment or termination.

18. **Severability:** If any provision of this Agreement is, to any extent, declared by a court of competent jurisdiction to be invalid or unenforceable, the remainder of this Agreement (or the application of such provision to persons or circumstances other than those in respect of which the determination of invalidity or unenforceability was made) will not be affected thereby and each provision of this Agreement will be valid and enforceable to the fullest extent permitted by law.

19. **Governing Law:** This Agreement will be construed in accordance with the laws of the State of Michigan. Enforcement may be by legal proceedings against any person or persons violating or attempting to violate any declaration, restriction, covenant, condition or agreement herein contained either to restrain or enjoin such

violation and/or recover damages; provided, however, that no such easements or covenants or any similar rights or privileges may be enforced by legal action or otherwise by any persons whatsoever (such as lessees or occupants of the buildings and structures which may now or hereafter be constructed upon the Properties), except the owners and mortgagees, their successors and assigns, of the Properties, which owners and mortgagees shall be the only persons entitled to bring action under and to enforce the rights and remedies of this Agreement.

20. Attorney's Fees: In the event of litigation by reason of this Agreement, the prevailing party in such litigation shall be entitled to recover reasonable attorneys' fees in addition to all other expenses incurred by such litigation.

21. Joint and Several Liability. LaCross Northridge Partners, LLC agrees and acknowledges that all rights, liabilities, and obligations herein given to or imposed upon Northridge Partners hereto shall extend to and bind LaCross Northridge Partners, LLC; and they shall be bound jointly and severally by the terms, covenants and agreements contained herein.

[SIGNATURE PAGES TO FOLLOW]

In witness whereof the undersigned have executed this Agreement on the dates set forth below.

Date: 1/27, 2016

TMI Birchwood RE, LLC

Scott Brown
By: Scott Brown
Its: Vice President

STATE OF Georgia)
COUNTY OF Gwinnett)

On this 27 day of January, 2016, before me personally appeared Scott Brown, to me known and known to me, who being duly sworn, did depose and say that he/she is a Vice President of TMI Birchwood RE, LLC, a Wisconsin limited liability company, the company described in and which executed the foregoing instrument, and that he/she signed his/her name thereto pursuant to the authority granted in the Operating Agreement, as and for his/her voluntary act and deed and as and for the voluntary act and deed of said company.



Zena Laubie
Notary Public,
Gwinnett County,
Acting in _____ County,
My Commission Expires: 4/20/19

Date: _____, 2016

Rosegate Assisted Living, LLC

SEE NEXT PAGE
By: Jean Ahart
Its: Managing Member

STATE OF _____)
COUNTY OF _____)

On this _____ day of _____, 2016, before me personally appeared Jean Ahart, to me known and known to me, who being duly sworn, did depose and say that she is a Managing Member of Rosegate Assisted Living, LLC, a Michigan limited liability company, the company described in and which executed the foregoing instrument, and that she signed her name thereto pursuant to the authority granted in the Operating Agreement, as and for her voluntary act and deed and as and for the voluntary act and deed of said company.

Notary Public,

County, _____
Acting in _____ County,
My Commission Expires: _____

Date: 2-2-16, 2016

Rosegate Assisted Living, LLC

Jean Ahart
By: Jean Ahart
Its: Managing Member

STATE OF Michigan
COUNTY OF Grand Traverse) ss.

On this 2nd day of February, 2016, before me personally appeared Jean Ahart, to me known and known to me, who being duly sworn, did depose and say that she is a Managing Member of Rosegate Assisted Living, LLC, a Michigan limited liability company, the company described in and which executed the foregoing instrument, and that she signed her name thereto pursuant to the authority granted in the Operating Agreement, as and for her voluntary act and deed and as and for the voluntary act and deed of said company.

VICTORIA M. GRZYBOWSKI
NOTARY PUBLIC, STATE OF MICHIGAN
COUNTY OF WEXFORD
MY COMMISSION EXPIRES JAN 6, 2019
ACTING IN GRAND TRAVERSE COUNTY

Victoria M. Grzybowski
Notary Public,
County, ___
Acting in _____ County, _
My Commission Expires: _____

Date: February 2, 2016

Northridge Partners

Glenn F. LaCross
By: Glenn F. LaCross
Its: Partner

Judith D. LaCross
By: Judith D. LaCross
Its: Partner

STATE OF MICHIGAN)

) ss.
COUNTY OF Grand Traverse

On this 2nd day of February, 2016, before me personally appeared Glenn F. LaCross and Judith D. LaCross, to me known and known to me, who being duly sworn, did depose and say that they are the remaining co-partner of Northridge Partners, a Michigan dissolved co-partnership, the dissolved co-partnership described in and which executed the foregoing instrument, and that they signed their name thereto pursuant to approval of the required number of co-partners of said dissolved co-partnership, as and for their voluntary act and deed and as and for the voluntary act and deed of said remaining partners of the dissolved co-partnership.

VICTORIA M. GRZYBOWSKI
NOTARY PUBLIC, STATE OF MICHIGAN
COUNTY OF WEXFORD
MY COMMISSION EXPIRES JAN 5, 2019
ACTING IN GRAND TRAVERSE COUNTY

[Signature]
Notary Public,
County, MI

Acting in _____ County, MI
My Commission Expires: _____

LaCross Northridge Partners, LLC

Glenn F. LaCross
By: Glenn F. LaCross
Its: Member

Judith D. LaCross
By: Judith D. LaCross
Its: Member

STATE OF MICHIGAN)

) ss.
COUNTY OF Grand Traverse

On this 2nd day of February, 2016, before me personally appeared Glenn F. LaCross and Judith D. LaCross, members of LaCross Northridge Partners, LLC, to me known and known to me, who being duly sworn, did depose and say that he is a partner of Northridge Partners, Michigan partnership, the partnership described in and which executed the foregoing instrument, and that he/she signed his/her name thereto pursuant to approval of the required number of partners of said limited partnership, as and for his/her voluntary act and deed and as and for the voluntary act and deed of said limited partnership.

VICTORIA M. GRZYBOWSKI
NOTARY PUBLIC, STATE OF MICHIGAN
COUNTY OF WEXFORD
MY COMMISSION EXPIRES JAN 5, 2019
ACTING IN GRAND TRAVERSE COUNTY

[Signature]
Notary Public,
County, MI

Acting in _____ County, MI
My Commission Expires: _____

Drafted by and when recorded return to:
H. Douglas Shepherd IV, North Coast Legal, PLC, 800 Cottageview Dr, Suite 1080A
Traverse City, MI 49684

CONSENT OF MORTGAGEE

The undersigned, the Mortgagee under that certain Mortgage dated July 10, 2012 encumbering the property commonly known as 2950 LaFranier Rd., Traverse City, MI (the "TMI Property"), and recorded on July 25, 2012 in Document No. 2012R-13871, Grand Traverse County Records, for itself and its successors and assigns, does hereby consent to the foregoing Reciprocal Easement Agreement and agrees to be bound by the terms thereof and agrees that its interest in the TMI Property shall be subordinate to and subject to the foregoing Reciprocal Easement Agreement.

WALKER & DUNLOP, LLC


By: Shannon K. Chase
Its: Vice President

COMMONWEALTH OF MASSACHUSETTS)
COUNTY OF NORFOLK)

The foregoing instrument was executed before me this 31st day of January, 2016, by Shannon K. Chase, the Vice President of Walker & Dunlop, LLC, on behalf of the Mortgagee.


Notary Public
NORFOLK County, MASSACHUSETTS
My Commission Expires: 1/2/2020

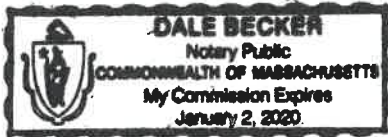
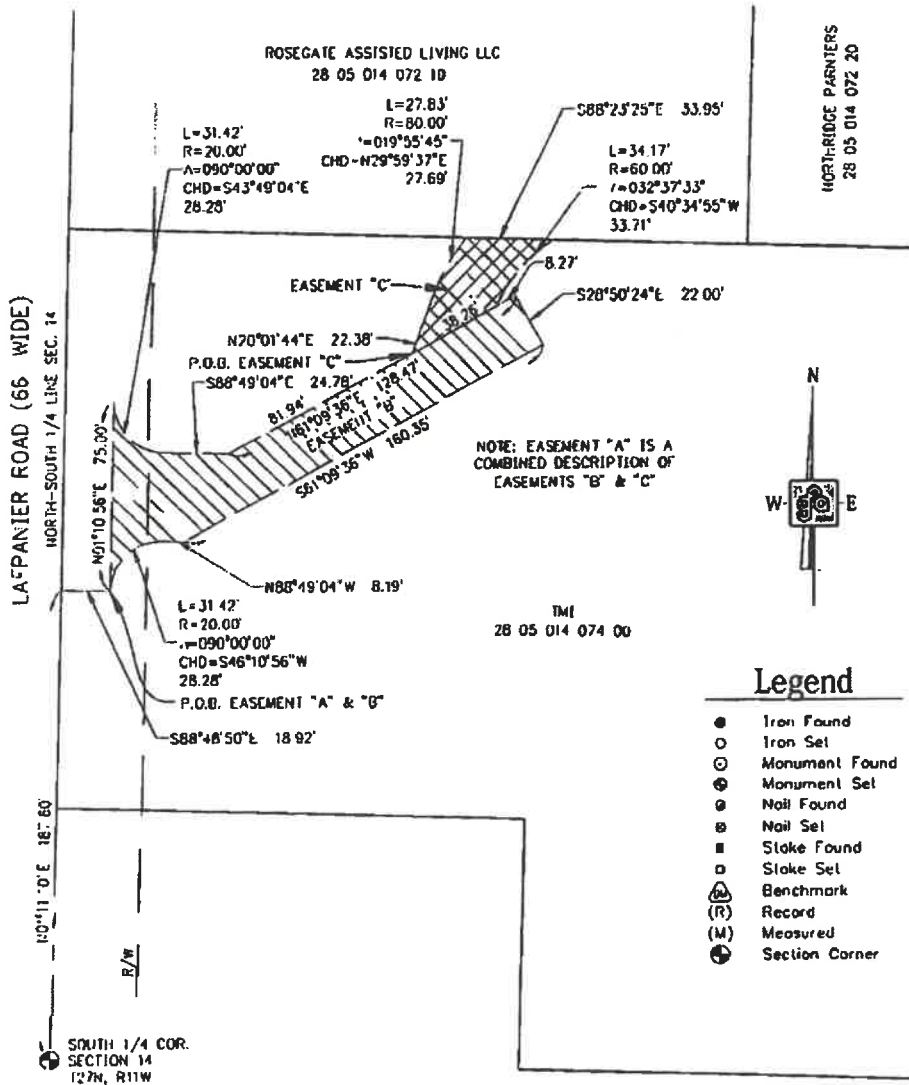
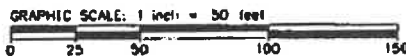


EXHIBIT A

EASEMENT SKETCH



NOTE: SEE SHEET 2 FOR LEGAL DESCRIPTIONS



PREPARED FOR: ROSEGATE ASSISTED LIVING, LLC		BASIS OF BEARINGS: NATIONAL STATE PLANE COORDINATES	
ENGINEERING SURVEYING TESTING & OPERATIONS 123 West Front Street Traverse City, MI 49684		http://gta.ti	Date: 12/23/2015
		231.946.5874 (p) 231.946.3703 (f)	PART OF SOUTHEAST 1/4 SECTION 14, TOWN 27 NORTH, RANGE 11 WEST GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY, MI 15446 SHEET 1 OF 2

EASEMENT DESCRIPTIONS

LEGAL DESCRIPTION OF EASEMENT "A"

A variable width easement for ingress and egress purposes located in the Southwest 1/4 of the Southeast 1/4 of Section 14, Township 27 North, Range 11 West, Garfield Township, Grand Traverse County, Michigan, being more particularly described as: Commencing at the South 1/4 corner of said Section 14; thence North 01°11'10" East, 187.60 feet along the North-South 1/4 line of said Section 14; thence South 88°48'50" East 18.92 feet to the POINT OF BEGINNING; thence North 01°10'56" East, 75.00 feet; thence 31.42 feet along the arc of a non-tangential curve to the left, having a radius of 20.00 feet, central angle of 90°00'00", and a long chord bearing South 43°49'04" East a distance of 28.28 feet; thence South 88°49'04" East, 24.78 feet; thence North 61°09'36" East, 81.94 feet; thence North 20°01'44" East, 22.38 feet; thence 27.83 feet along the arc of a curve to the right, having a radius of 80.00 feet, central angle of 19°55'45", and long chord bearing North 29°59'37" East a distance of 27.69 feet; thence South 88°23'25" East, 33.95 feet; thence 34.17 feet along the arc of a non-tangential curve to the left, having a radius of 60.00 feet, a central angle of 32°37'33", and a long chord bearing South 40°34'55" West a distance of 33.71 feet; thence North 61°09'36" East, 8.27 feet; thence South 28°50'24" East, 22.00 feet; thence South 61°09'36" West, 160.35 feet; thence North 88°49'04" West, 8.19 feet; thence 31.42 feet along the arc of a curve to the left, having a radius of 20.00 feet, a central angle of 90°00'00", and long chord bearing South 46°10'56" West a distance of 28.28 feet to the POINT OF BEGINNING.

LEGAL DESCRIPTION OF EASEMENT "B"

A variable width easement for ingress and egress purposes located in the Southwest 1/4 of the Southeast 1/4 of Section 14, Township 27 North, Range 11 West, Garfield Township, Grand Traverse County, Michigan, being more particularly described as: Commencing at the South 1/4 corner of said Section 14; thence North 01°11'10" East, 187.60 feet along the North-South 1/4 line of said Section 14; thence South 88°48'50" East 18.92 feet to the POINT OF BEGINNING; thence North 01°10'56" East, 75.00 feet; thence 31.42 feet along the arc of a non-tangential curve to the left, having a radius of 20.00 feet, central angle of 90°00'00", and a long chord bearing South 43°49'04" East a distance of 28.28 feet; thence South 88°49'04" East, 24.78 feet; thence North 61°09'36" East, 128.47 feet; thence South 28°50'24" East, 22.00 feet; thence South 61°09'36" West, 160.35 feet; thence North 88°49'04" West, 8.19 feet; thence 31.42 feet along the arc of a curve to the left, having a radius of 20.00 feet, a central angle of 90°00'00", and long chord bearing South 46°10'56" West a distance of 28.28 feet to the POINT OF BEGINNING.

LEGAL DESCRIPTION OF EASEMENT "C"

A variable width easement for ingress and egress purposes located in the Southwest 1/4 of the Southeast 1/4 of Section 14, Township 27 North, Range 11 West, Garfield Township, Grand Traverse County, Michigan, being more particularly described as: Commencing at the South 1/4 corner of said Section 14; thence North 01°11'10" East, 187.60 feet along the North-South 1/4 line of said Section 14; thence South 88°48'50" East 18.92 feet; thence North 01°10'56" East, 75.00 feet; thence 31.42 feet along the arc of a non-tangential curve to the left, having a radius of 20.00 feet, central angle of 90°00'00", and a long chord bearing South 43°49'04" East a distance of 28.28 feet; thence South 88°49'04" East, 24.78 feet; thence North 61°09'36" East, 81.94 feet to the POINT OF BEGINNING; thence North 20°01'44" East, 22.38 feet; thence 27.83 feet along the arc of a curve to the right, having a radius of 80.00 feet, central angle of 19°55'45", and long chord bearing North 29°59'37" East a distance of 27.69 feet; thence South 88°23'25" East, 33.95 feet; thence 34.17 feet along the arc of a non-tangential curve to the left, having a radius of 60.00 feet, a central angle of 32°37'33", and a long chord bearing South 40°34'55" West a distance of 33.71 feet; thence South 61°09'36" West, 38.26 feet to the POINT OF BEGINNING.


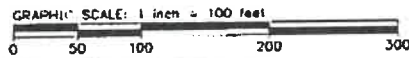
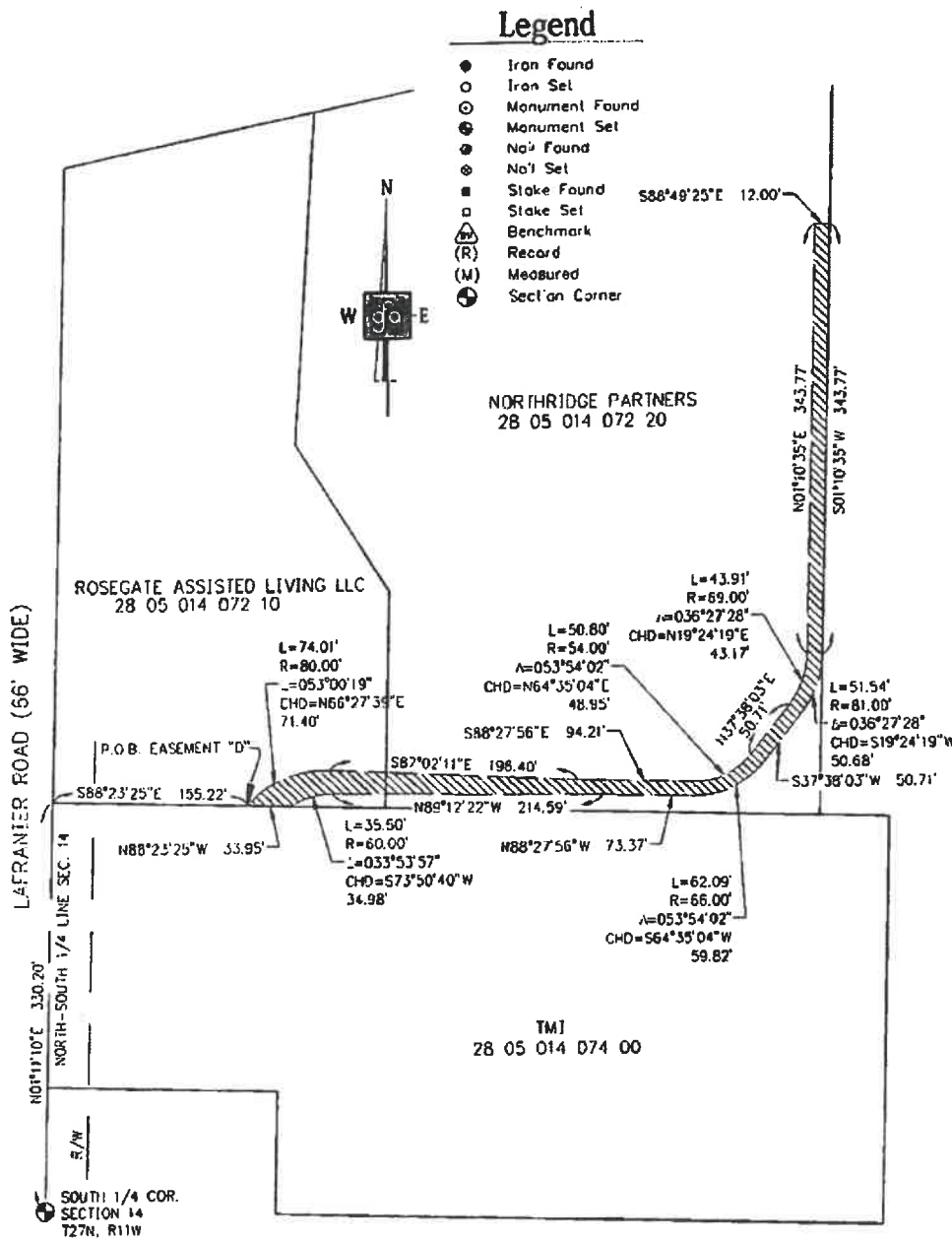
<p>PREPARED FOR: ROSEGATE ASSISTED LIVING, LLC</p>		<p>DATE: 10/23/2015</p>	
<p>ENGINEERING SURVEYING TESTING & OPERATIONS</p>		<p>http://gfa.io</p> <p>231.946.5874 (p)</p> <p>231.946.3705 (f)</p>	<p>Location:</p> <p style="text-align: center;">PART OF SOUTHEAST 1/4 SECTION 14, TOWN 27 NORTH, RANGE 11 WEST GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY, MI</p>
<p>123 West Front Street Traverse City, MI 49684</p>		<p>15446</p> <p>SHT 2 OF 2</p>	
<p>THIS DOCUMENT IS PREPARED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THE CONTRACT FOR THIS PROJECT.</p>			

EXHIBIT B

EASEMENT SKETCH



PREPARED FOR: ROSEGATE ASSISTED LIVING, LLC		DATE: 12/23/2015	
ENGINEERING SURVEYING TESTING & OPERATIONS		PROJECT: PART OF SOUTHEAST 1/4 SECTION 14, TOWN 27 NORTH, RANGE 11 WEST GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY, MI	
		BY: CLL (cd) PDC	
http://gfa.lc 231.946.5874 (p) 231.946.5708 (f)		15446	
123 West Front Street Traverse City, MI 49684		SHT 1 OF 2	


EASEMENT DESCRIPTION

LEGAL DESCRIPTION OF EASEMENT "D"

A variable width easement for ingress and egress purposes located in the Southwest 1/4 of the Southeast 1/4 of Section 14, Township 27 North, Range 11 West, Garfield Township, Grand Traverse County, Michigan, being more particularly described as: Commencing at the South 1/4 corner of said Section 14; thence North 01°11'10" East, 330.20 feet along the North-South 1/4 line of said Section 14; thence South 88°23'25" East, 155.22 feet to the POINT OF BEGINNING; thence 74.01 feet along the arc of a non-tangential curve to the right, having a radius of 80.00 feet, central angle of 53°00'19", and a long chord bearing North 66°27'39" East a distance of 71.40 feet; thence South 87°02'11" East, 196.40 feet; thence South 88°27'56" East, 94.21 feet; thence 50.80 feet along the arc of a curve to the left, having a radius of 54.00 feet, central angle of 53°54'02", and a long chord bearing North 64°35'04" East a distance of 48.95 feet; thence North 37°38'03" East, 50.71 feet; thence 43.91 feet along the arc of a curve to the left, having a radius of 69.00 feet, central angle of 36°27'28", and a long chord bearing North 19°24'19" East a distance of 43.17 feet; thence North 01°10'35" East, 343.77 feet; thence South 88°49'25" East, 12.00 feet; thence South 01°10'35" West, 343.77 feet; thence 51.54 feet along the arc of a curve to the right, having a radius of 81.00 feet; central angle of 36°27'28", and a long chord bearing South 19°24'19" West a distance of 50.68 feet; thence South 37°38'03" West, 50.71 feet; thence 62.09 feet along the arc of a curve to the right, having a radius of 66.00 feet, central angle of 53°54'02", and a long chord bearing South 64°35'04" West 59.82 feet; thence North 88°27'56" West, 73.37 feet; thence North 89°12'22" West, 214.59 feet; thence 35.50 feet along the arc of a curve to the left, having a radius of 60.00 feet, central angle of 33°53'57", and a long chord bearing South 73°50'40" West a distance of 34.98 feet; thence North 88°23'25" West, 33.95 feet to the POINT OF BEGINNING.

PREPARED FOR: **ROSEGATE ASSISTED LIVING, LLC**

BASES OF BEARINGS: MICHIGAN STATE PLAIN COORDINATES

<p>ENGINEERING SURVEYING TESTING & OPERATIONS</p> <p>123 West Front Street Traverse City, MI 49684</p>		<p>http://gfa.lc</p> <p>231.946.5874 (p)</p> <p>231.946.3703 (f)</p>	<p>Location: PART OF SOUTHEAST 1/4 SECTION 14, TOWN 27 NORTH, RANGE 11 WEST GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY, MI</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>DATE</td> <td>12/23/2015</td> </tr> <tr> <td>BY</td> <td>PJC</td> </tr> <tr> <td>NO. OF SHEETS</td> <td>15446</td> </tr> <tr> <td>SHEET NO.</td> <td>2 OF 2</td> </tr> </table>	DATE	12/23/2015	BY	PJC	NO. OF SHEETS	15446	SHEET NO.	2 OF 2
DATE	12/23/2015											
BY	PJC											
NO. OF SHEETS	15446											
SHEET NO.	2 OF 2											

THESE DOCUMENTS ARE PREPARED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THE CONTRACT FOR THIS PROJECT.

BURDCO, INC

FRENCH MANOR LaFRAINER ADDITION

CIVIL SITE PLAN

AGENCIES

PLANNING/ZONING

GARFIELD TOWNSHIP
3848 VETERANS DR.
TRAVERSE CITY, MI 49684
Contact: MICHAEL GREEN
Phone: (231) 941-1620

BUILDING CODES

GARFIELD TOWNSHIP
3848 VETERANS DR.
TRAVERSE CITY, MI 49684
Contact: CARL STUDZINSKI
Phone: (231) 941-1620

D.P.W.

GRAND TRAVERSE COUNTY
2650 LAFRANIER RD.
TRAVERSE CITY, MI 49686
Contact: JOHN DIVOZZO
Phone: (231) 995-6039

ELECTRIC

CONSUMERS ENERGY
821 HASTINGS ST.
TRAVERSE CITY, MI 49686
Contact: .
Phone: (800) 477-5050

EGLE

ENVIRONMENT, GREAT LAKES & ENERGY
120 W CHAPIN ST
CADILLAC, MI 49601
Contact: .
Phone: (231) 775-1511

CABLE TELEVISION

SPECTRUM
1392 TRADE CENTER DR
TRAVERSE CITY, MI 49686
Contact: .
Phone:

SOIL AND EROSION

GRAND TRAVERSE COUNTY
2650 LAFRANIER RD.
TRAVERSE CITY, MI 49686
Contact: FAITH SOUSA
Phone: (231) 995-6051

TELEPHONE

AT&T
142 E. STATE ST
TRAVERSE CITY, MI 49684
Contact: .
Phone: (231) 941-2707

ROADS AND STREETS

GRAND TRAVERSE COUNTY ROAD COMMISSION
1881 LAFRANIER RD.
TRAVERSE CITY, MI 49686
Contact: STEVE BARRY
Phone: (231) 922-4848

NATURAL GAS

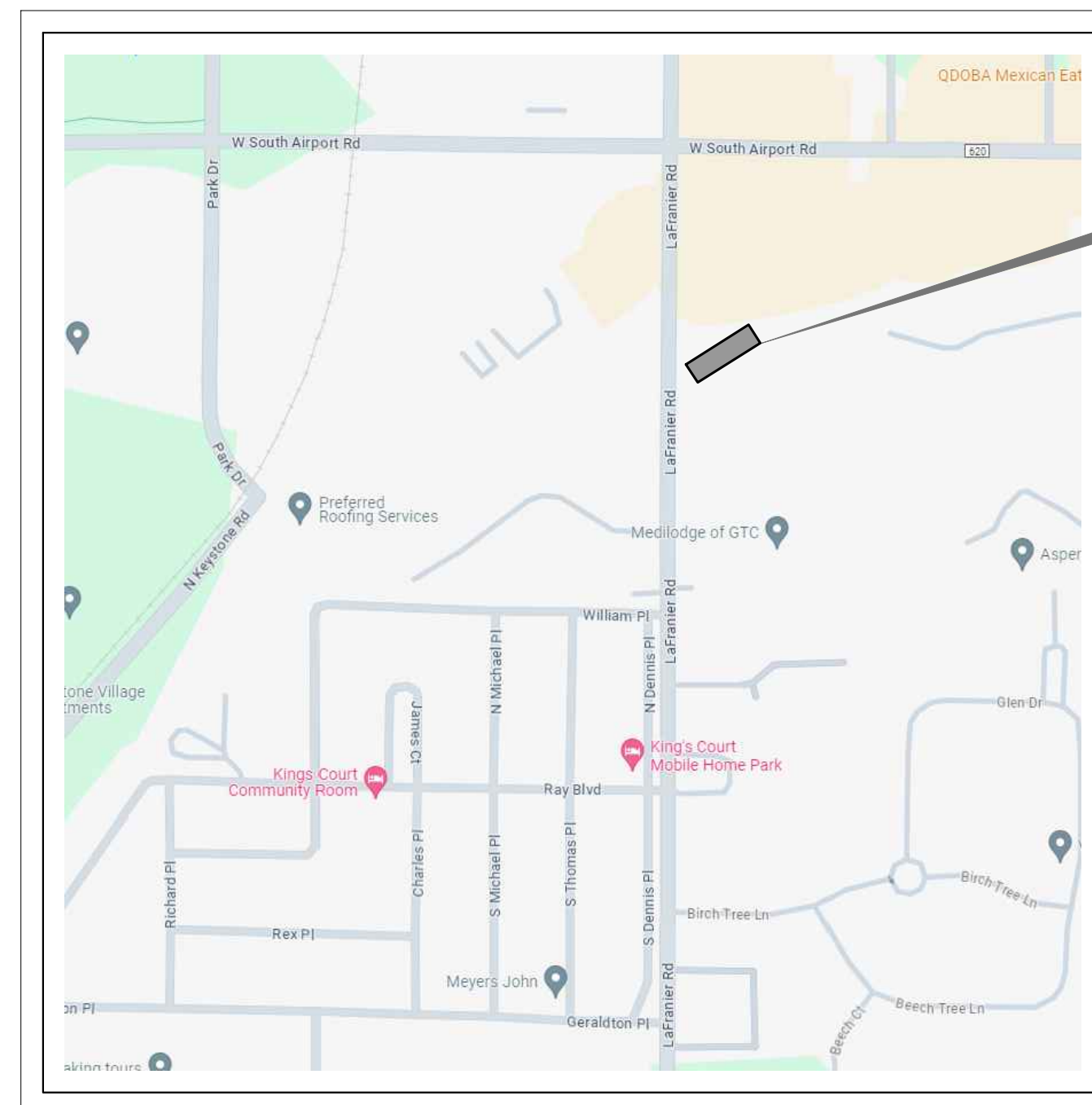
DTE
1011 HASTINGS ST
TRAVERSE CITY, MI 49686
Contact: LAUREL HALL
Phone: (231) 932-2832

FIRE CODE

GRAND TRAVERSE METRO EMERGENCY SERVICES
897 PARSONS ROAD
TRAVERSE CITY, MI 49686
Contact: CHIEF - PAUL MACKIN
Phone: (231) 947-3000, EXT 1235

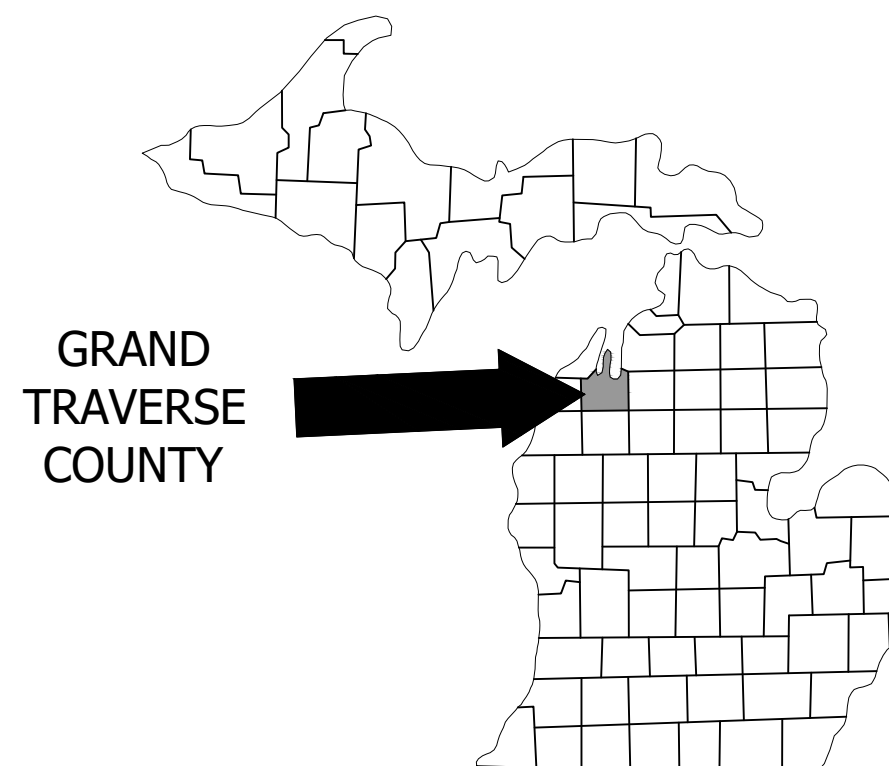
EMERGENCIES

POLICE DEPARTMENT: 9-1-1
FIRE DEPARTMENTS: 9-1-1
AMBULANCE: 9-1-1



LOCATION MAP

SECTION 14, T27N, R11W, GARFIELD TOWNSHIP, GRAND TRAVERSE CO, MI
NO SCALE



VICINITY MAP

PROJECT LOCATION

SHEET INDEX

T1	COVER SHEET
R1	NOTES & SPECIFICATIONS
C1	EXISTING SITE CONDITIONS & DEMOLITION PLAN
C2	PROPOSED DIMENSIONAL SITE PLAN
C3	PROPOSED UTILITIES PLAN
C4	GRADING, SOIL EROSION & STORMWATER CONTROL PLAN
C5	CONSTRUCTION DETAILS
C6	CONSTRUCTION DETAILS
D1	EXISTING DRAINAGE PLAN
D2	PROPOSED DRAINAGE PLAN
D3	FLOOD ROUTE PLAN
L1	SITE LANDSCAPE CONDITIONS

OWNER

R&K ACKERMAN, LLC
3735 YORKSHIRE DRIVE
TRAVERSE CITY, MI 49685

APPLICANT

BURDCO, INC
1222 VETERANS DRIVE, SUITE A
TRAVERSE CITY, MI 49684



Know what's below.
Call before you dig.
(3 WORKING DAYS)

THE LOCATION OF THE EXISTING UTILITIES, AS SHOWN ON THIS PLAN, ARE APPROXIMATE ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ACTUAL LOCATION AND DEPTH OF ALL EXISTING UTILITIES. THE OWNER AND THE SURVEYOR SHALL NOT BE RESPONSIBLE FOR ANY OMISSION OR VARIATION FROM THE LOCATION SHOWN. THE CONTRACTOR SHALL NOTIFY "MISS DIG" AT 1 (800) 482-7171 OR 811 THREE (3) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION



1235 E FRONT ST, Suite A
TRAVERSE CITY, MI PH 231.935.1530
www.machinengineering.net



1222 VETERANS DRIVE, SUITE A
TRAVERSE CITY, MI 49684
TELEPHONE: 231-941-9074
FACSIMILE: 231-947-9135
www.BURDCO.com



ON 22x34 SHEET SCALE: FULL (AS NOTED)
ON 11x17 SHEET SCALE: HALF

REV#	DESCRIPTION	DATE
A	REVIEW - 30% DESIGN	08/05/2024
B	REVIEW - 50% DESIGN	08/05/2024
C	REVIEW - 70% DESIGN	08/05/2024
D	ISSUED FOR PERMIT	08/05/2024
E	REVIEW - 90% DESIGN	08/05/2024
F	ISSUED FOR CONSTRUCTION	08/05/2024

DESIGNED BY: FAN CHECKED BY: DATE: 08/05/2024

DATE ISSUED: 08/05/2024

ISSUE PHASE: CONSTRUCTION

PROJECT TITLE:

PROPOSED
FRENCH MANOR
LaFRANIER
ADDITION

CLIENT:
BURDCO, INC
1222 VETERANS DRIVE, SUITE A
TRAVERSE CITY, MI 49684

PROJECT LOCATION:
GRAND TRAVERSE CO, MI

SHEET TITLE:
COVER
SHEET

PROJECT NUMBER 24130
SHEET NUMBER T1

SPECIFICATIONS

- ALL ELEVATIONS ARE BASED ON NAVD88 VERTICAL DATUM.
- ALL PROPERTY IRONS AND MONUMENTS, IF DISTURBED OR DESTROYED BY THE CONTRACTOR, SHALL BE REPLACED BY A MICHIGAN REGISTERED PROFESSIONAL SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- LOCATION OF UTILITIES OR OTHER STRUCTURES SHOWN ON THE PLANS ARE TAKEN FROM UTILITY COMPANY OR OTHER RECORDS BELIEVED TO BE RELIABLE. THE OWNER AND ENGINEER ARE NOT RESPONSIBLE FOR ANY OMISSIONS OR VARIATIONS IN THE LOCATION OF THE UTILITIES ENCOUNTERED IN THE WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS DIG" (800) 482-7171, A MINIMUM OF THREE WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION IN THE AREA OF THE WORK.
- PRIOR TO THE INSTALLATION OF ANY PROPOSED STORMWATER MANAGEMENT, THE EXISTING UTILITIES WHICH CROSS THE PROPOSED WORK AREA SHALL BE EXPOSED BY THE CONTRACTOR TO DETERMINE ANY POSSIBLE CONFLICTS WITH THE PROPOSED WORK.
- ANY UTILITIES, MAINS, SERVICES, UNDERDRAINS, OIL LINES, OR OTHER SIMILAR ITEMS DAMAGED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE UTILITY OWNER IN A MANNER ACCEPTABLE TO THE UTILITY OWNER. ALL COSTS FOR REPAIR OR REPLACEMENT SHALL BE PAID BY THE CONTRACTOR, INCIDENTAL TO THE PROJECT.
- CONTRACTOR SHALL PROVIDE ADEQUATE SUPPORT FOR UTILITY POLES AS NECESSARY. CONTRACTOR SHALL CONSULT WITH THE UTILITY COMPANY PRIOR TO ANY DISTURBANCE OF UTILITY POLE OR ANCHORING SYSTEM.
- ALL TREES, SHRUBS AND LANDSCAPING NOT DESIGNATED TO BE REMOVED SHALL BE PROTECTED DURING CONSTRUCTION. ANY TREES, SHRUBS OR LANDSCAPING DAMAGED IN ANY WAY BY THE CONTRACTOR INCLUDING DAMAGING ROOTS, SHALL BE REPLACED WITH LIKE SPECIES AND SIZE AT THE CONTRACTOR'S EXPENSE.

CONSTRUCTION SEQUENCE

- | | |
|---|-----------------|
| 1. INSTALL SOIL EROSION PREVENTION MEASURES (SILT FENCE): | SEPTEMBER, 2024 |
| 2. REMOVE EXISTING TOPSOIL / DEMOLITION / REMOVALS: | SEPTEMBER, 2024 |
| 3. PLACE GRAVEL BASE: | SEPTEMBER, 2024 |
| 4. EXCAVATE AND INSTALL FOUNDATION: | OCTOBER, 2024 |
| 5. CONSTRUCT BUILDING AND BACKFILL: | OCTOBER, 2024 |
| 6. POUR PAVE PATHWAY: | NOVEMBER, 2024 |
| 7. PAVE DRIVEWAYS: | NOVEMBER, 2024 |
| 8. RE-SPREAD TOP SOIL AND GRASS SEED AND MULCH: | NOVEMBER, 2024 |

SOIL EROSION AND STORM WATER CONTROL NOTES

- THE CONTRACTOR SHALL PROVIDE TEMPORARY SOIL EROSION CONTROL MEASURES PER P.A. 451 AS AMENDED, WITH THE USE OF SILT FENCE AND OTHER TEMPORARY MEASURES THE CONTRACTOR SHALL PROTECT THE ADJACENT AREA FROM ACCELERATED EROSION AND SEDIMENTATION FLOWS RESULTING FROM CONSTRUCTION. THE CONTRACTOR SHALL INSTALL ADDITIONAL TEMPORARY AND PERMANENT SOIL EROSION CONTROL MEASURES, IF DIRECTED BY THE ENGINEER OR SOIL EROSION CONTROL OFFICER, AT NO ADDITIONAL COST TO THE PROJECT.
- INSTALLATION AND MAINTENANCE OF TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- SHOULD ADDITIONAL SOIL EROSION CONTROL MEASURES BE DETERMINED TO BE NECESSARY BY EITHER THE SOIL EROSION CONTROL OFFICER OR THE OWNER'S ENGINEER THEY SHALL BE IN PLACE NO LATER THAN 24 HOURS FROM THE TIME OF NOTIFICATION TO THE GENERAL CONTRACTOR FOR THE PROJECT. IF NOT IN PLACE WITHIN 24 HOURS OR LESS, ALL ON SITE CONSTRUCTION WILL BE HALTED UNTIL SUCH MEASURES ARE INSTALLED AND APPROVED BY EITHER THE SOIL EROSION CONTROL OFFICER OR THE OWNER'S ENGINEER.
- ALL DISTURBED NON-HARD SURFACE AREAS TO BE STABILIZED WITH TOPSOIL, SEEDED, FERTILIZED AND MULCHED. DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH NOT LESS THAN FOUR (4) INCHES.
- EXISTING STORM DRAINAGE DITCHES SHALL BE REBUILT IF FILLED IN REMOVED DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REPAIR OR REPLACE, AS REQUIRED, ALL DRAINAGE CULVERTS DAMAGED DURING CONSTRUCTION AND SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT.
- THE CONTRACTOR SHALL REMOVE OR CAUSE TO BE REMOVED ALL SEDIMENT OR SOILS THAT HAVE BEEN DROPPED, WASHED ONTO OR TRACKED OUT ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE ROADS IMMEDIATELY OR AFTER EACH RAIN EVENT ON NON-WORK DAYS.
- BASINS WILL BE INSPECTED AND CLEANED OF SILT AND DEBRIS AT LEAST ANNUALLY AND THE SEDIMENT WILL CLEANED WHEN REQUIRED. THIS INCLUDES DURING THE COURSE OF CONSTRUCTION.
- THE CONTRACTOR SHALL WATER EXPOSED SOILS ON-SITE DURING DRY CONDITIONS TO PREVENT WIND EROSION.

SPECIFICATIONS (CONTINUED)

DIVISION 02 – EXISTING CONDITIONS

GENERAL

- ALL ITEMS TO BE DEMOLISHED SHALL BE REMOVED FROM SITE UNLESS OTHERWISE STATED.
- SITE IS NOT BALANCED. SPOILS WILL BE GENERATED AND HAULED TO APPROVED OFFSITE LOCATION FOR DISPOSAL.

DIVISION 03 – CONCRETE

CAST IN-PLACE CONCRETE

- ALL CONCRETE WORK SHALL CONFORM TO ACI SPECIFICATIONS, 5% ±1% AIR ENTRAINED.
- FORM ALL CONCRETE WORK.
- CEMENT TYPE I OR II
- SLABS AND WALKS: F'C =4,000 PSI @ 28-DAYS.
- REINFORCING STEEL TO CONFORM TO ASTM A-615 (GRADE 60).
- SLABS ADJOINING OTHER STRUCTURES AND WHERE ELSE INDICATED ON THE PLANS SHALL HAVE MIN 1/2" EXPANSION FELT WITH PVC ZIP STRIPS AND SEALANT
- SUBGRADE SHALL BE COMPACTED TO A MIN. OF 95% OF MAXIMUM DRY DENSITY BY MODIFIED PROCTOR IN ACCORDANCE WITH ASTM D1557.
- COORDINATE WORK BY OTHERS THAT WOULD IMPACT THE QUALITY AND PERFORMANCE OF THE FINISHED CONCRETE.
- COMPLY WITH THE PAVEMENT PLAN FOR FINISH REQUIREMENTS.
- CONTROL JOINTS SHALL BE SAW CUT IN MAX 100 SFT INCREMENTS FOR PAVEMENTS OR EVEN SQUARES FOR SIDEWALKS.
- MAXIMUM SPACING FOR CONTRACTION AND EXPANSION JOINTS IS 40 FEET U.N.O.
- FIBER REINFORCEMENT SHALL COMPLY WITH ASTM C1116. FIBERS SHALL BE DESIGNED AND ENGINEERED SPECIFICALLY FOR CONCRETE REINFORCEMENT AND HAVE LONG-TERM RESISTANCE TO DETERIORATION WHEN EXPOSED TO MOISTURE AND ALKALIS. ADD FIBER REINFORCEMENT TO MIX AT A RATE OF 1.5 POUNDS PER CUBIC YARD, OR AS RECOMMENDED BY MANUFACTURER FOR SPECIFIC PROJECT CONDITIONS.

DIVISION 31 – EARTHWORK

SITE CLEARING

- CONTACT MISS DIG AT 8-1-1 A MIN. OF 72 HOURS PRIOR TO COMMENCING WORK
- INSTALL TEMPORARY SOIL AND EROSION CONTROL MEASURES. REMOVE UPON COMPLETION OF PROJECT AND ONCE VEGETATION IS ESTABLISHED. MAINTAIN THESE MEASURES IN WORKING ORDER AT ALL TIMES.
- COMPLY WITH THE INDIVIDUAL REQUIREMENTS ON THE AGENCY PERMITS.

EARTHWORK

- PROTECT ALL STRUCTURES AND THOSE AREAS DESIGNATED FOR PROTECTION.
- CONSTRUCT ALL GRADES TO THAT DESIGNATED ON THE PLANS. ANY DISCREPANCIES SHOULD BE IDENTIFIED AHEAD OF CONSTRUCTION TO THE ENGINEER. ENGINEER WILL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES THAT ARE NOT DISCUSSED PRIOR TO CONSTRUCTION.
- ALL STORED MATERIALS SUCH AS FILL MATERIALS, TOPSOIL, AND ANY OTHER TEMP. STOCKPILES SHALL BE STORED ON OWNER'S PROPERTY IN DESIGNATED AREAS.
- MAINTAIN ALL SLOPES TO A MIN OF 3H:1V U.N.O. WHERE SLOPES ARE GREATER THAN 3H:1V, SLOPE STABILIZATION PRACTICES SHALL BE MAINTAINED UNTIL ADEQUATE VEGETATION IS ESTABLISHED.
- ALL SUBBASE MATERIAL SHALL BE MDOT CLASS II
- COMPACT ALL BACKFILLS AND FOUNDATIONS SOILS TO A MIN. OF 98% OF MAX. DRY DENSITY.
- CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING GROUND COVER ON AREAS DISTURBED BY CONSTRUCTION AND SHALL REPAIR ALL WASHOUTS AND EROSION DURING THE GUARANTEE PERIOD ON ONE (1) YEAR AFTER GROUND COVER IS ESTABLISHED AT NO ADDITIONAL COST TO THE OWNER.
- FINAL GRADES OF PAVED PARKING AREA SHALL BE SUCH THAT POSITIVE DRAINAGE IS ATTAINED TOWARD LOW POINTS OR VALLEYS WHERE INDICATED.

DIVISION 32 – EXTERIOR IMPROVEMENTS

LAWNS AND GRASSES

- PROCEED WITH PLANTING ONLY WHEN EXISTING AND FORECASTED WEATHER CONDITIONS PERMIT PLANTING TO BE PERFORMED WHEN BENEFICIAL AND OPTIMUM RESULTS MAY BE OBTAINED.
- SEEDING ON NON-MAINTAINED AREAS: CEREAL RYE MIX.
- FERTILIZER: 240 LBS/ACRE.
- MULCH: STRAW MULCH AT 2 TONS/ACRE OR SPRAY APPLIED TACKIFIER.
- EXCELSIOR MULCH BLANKETS: NORTH AMERICAN GREEN DS150 ON SLOPES GREATER THAN 3H:1V AND ALONG ALL TRAFFIC AREAS.
- USE TURF REINFORCEMENT MATS IN AREAS WHERE SLOPES ARE GREATER THAN 3H:1V
- ROLL AND RAKE TOPSOIL, REMOVE RIDGES, FILL DEPRESSIONS, REMOVE ALL DELETERIOUS DEBRIS, ROCKS GREATER THAN 1" IN DIA., CONSTRUCTION DEBRIS, ET CETERA.
- PROMPTLY CLEANUP DEBRIS FROM OPERATIONS.

DIVISION 33 – UTILITIES/STORMWATER

MATERIAL

- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE TOWNSHIPS CURRENT STANDARDS, SPECIFICATIONS AND DETAILS (2017 GRAND TRAVERSE COUNTY STANDARD TECHNICAL SPECIFICATIONS AND CONSTRUCTION DETAILS, ADOPTED ON SEPTEMBER 26, 2017 (AS AMENDED).
- PIPE BEDDING, THRUST BLOCKS, HYDRANT, VALVES, VALVES MANHOLES, AND ALL APPURTENANCES SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS & DETAILS.
- CATCH BASINS SHALL BE INSTALLED WITH FINAL RIM ELEVATION AND INVERTS AS SHOWN ON PLANS. CATCH BASINS SHALL HAVE SUMPS MATCHING THE DIMENSIONS AS IDENTIFIED IN THE DETAILS WHERE SHOWN. MINIMUM SUMP DEPTH TO BE 2.0' U.N.O.
- ALL STONE SHALL BE CLEAN, CRUSHED, AND ANGULAR MEETING MDOT 6A CRUSHED REQUIREMENTS OR EQUAL.

SPECIFICATIONS (CONTINUED)

- PIPING SHALL BE SMOOTHED LINED, CORRUGATED PLASTIC PIPE SIMILAR TO ADS N-12 WT IB OR EQUAL AND SHALL BE DESIGNED TO MEET APPLICABLE AASHTO LOADING FOR INSTALLATIONS UNDER ASPHALT ROADS.
- INSTALLATION OF STORMWATER PIPE SHALL BE IN ACCORDANCE WITH ASTM D2321 AND MANUFACTURER GUIDELINES.
- GEOTEXTILE FABRIC SHALL BE FREE DRAINING, NON-WOVEN WITH AN EQUIVALENT WEIGHT TO 60Z AS PRODUCED BY CSI GEOTEURF OR EQUAL.
- POSITIVE DRAINAGE TO STORM SEWER AT BUILDING PERIMETERS AND ENTRIES IS REQUIRED.
- STORM DRAINAGE LINES AND CULVERTS REQUIRED TO BE WATERTIGHT.
- ALL DRAIN GRATES AND MANHOLE COVERS SHALL BE CAST IRON AND FABRICATED TO SUPPORT AN HS-20 DESIGN AXLE LOAD.
- ALL DRAIN GRATES AND MANHOLE COVERS SHALL BE SET TO FINAL GRADE BY USE OF CONCRETE RINGS AND ADJUSTMENT COLLARS MADE FOR THAT PURPOSE.

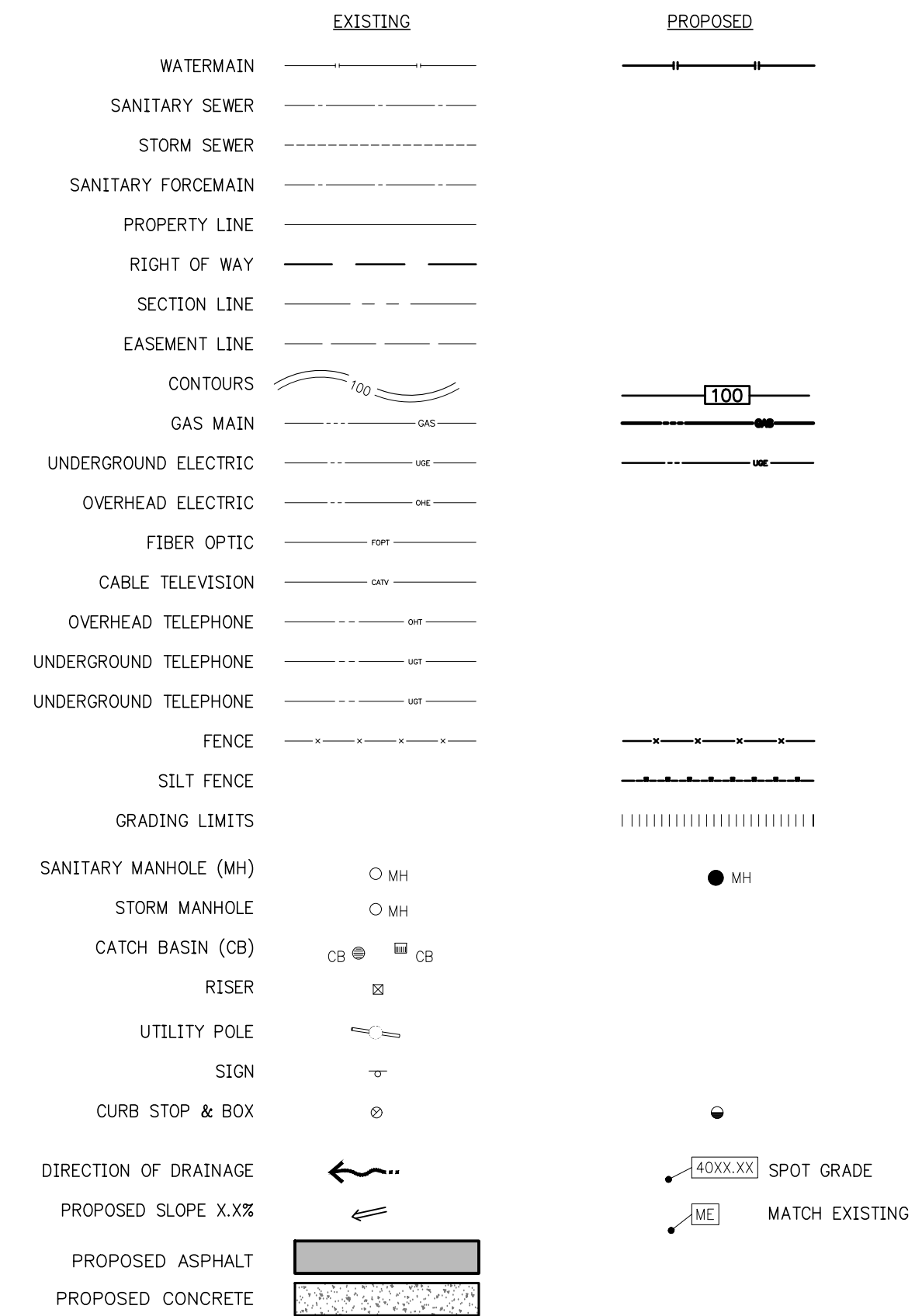
SNOW STORAGE REQUIRED

PARKING AREA = 17,061.8 SFT > 2,700 SFT PER ORDINANCE

SNOW STORAGE AREA REQUIRED = 17,061.8 SFT x (10 SFT / 100 SFT) = 1,706.2 SFT
SHOWN TO SATISFY TOWNSHIP COMMENT

SNOW STORAGE PROVIDED
1,052 SFT + 933 SFT = 1,985 SFT
STORAGE PROVIDED > REQUIRED STORAGE

LEGEND



MACHIN ENGINEERING
1235 E FRONT ST, Suite A
TRAVERSE CITY, MI PH 231.935.1530
www.machinengineering.net

BURDCO INCORPORATED 1222 VETERANS DRIVE, SUITE A
TRAVERSE CITY, MI 49684
TELEPHONE: 231-941-9074
FACSIMILE: 231-947-9135
www.BURDCO.com

STATE OF MICHIGAN
ERIC R. SANDMANN
Licensed No. 6201313372
08/28/2024
LICENSED PROFESSIONAL ENGINEER

ON 22x34 SHEET SCALE: FULL (AS NOTED)
ON 11x17 SHEET SCALE: HALF

REV#	DESCRIPTION	DATE
A	REVIEW 50% DESIGN	08/05/2024
B	REVIEW 75% DESIGN	08/05/2024
C	REVIEW 75% DESIGN	08/05/2024
D	ISSUED FOR PERMIT	08/05/2024
E	REVIEW 90% DESIGN	08/05/2024
F	ISSUED FOR CONSTRUCTION	08/05/2024

DATE ISSUED: 08/05/2024
ISSUE PHASE: CONSTRUCTION

PROJECT TITLE:
PROPOSED FRENCH MANOR LaFRANIER ADDITION

CLIENT:
BURDCO, INC
1222 VETERANS DRIVE, SUITE A
TRAVERSE CITY, MI 49684

PROJECT LOCATION:
GRAND TRAVERSE CO, MI

SHEET TITLE:
NOTES & SPECIFICATIONS

PROJECT NUMBER: 24130
SHEET NUMBER: R1

BENCHMARK DATA
 BM #1: NAIL IN SOUTH SIDE OF LIGHT POLE
 ELEV= 706.80' (NAVD 88)

MACHIN ENGINEERING
 1235 E FRONT ST, Suite A
 TRAVERSE CITY, MI PH 231.935.1530
 www.machinengineering.net

BURDCO INCORPORATED
 DESIGN-BUILD-FINANCE
 1222 VETERANS DRIVE, SUITE A
 TRAVERSE CITY, MI 49684
 TELEPHONE: 231-941-9074
 FACSIMILE: 231-947-9135
 www.BURDCO.com



ON 22x34 SHEET SCALE: FULL (AS NOTED)
 ON 11x17 SHEET SCALE: HALF

REV#	DESCRIPTION	DATE
A	REVIEW - 50% DESIGN	08/05/2024
B	REVIEW - 70% DESIGN	08/05/2024
C	REVIEW - 70% DESIGN	08/05/2024
D	ISSUED FOR PERMIT	08/05/2024
E	REVIEW - 90% DESIGN	08/05/2024
F	ISSUED FOR CONSTRUCTION	08/05/2024

DRAWN BY: [blank] CHECK BY: FJM APPROVED BY: DJC CREATED: 08/05/2024

REVISION: [blank]

DATE ISSUED: 08/05/2024

ISSUE PHASE: CONSTRUCTION

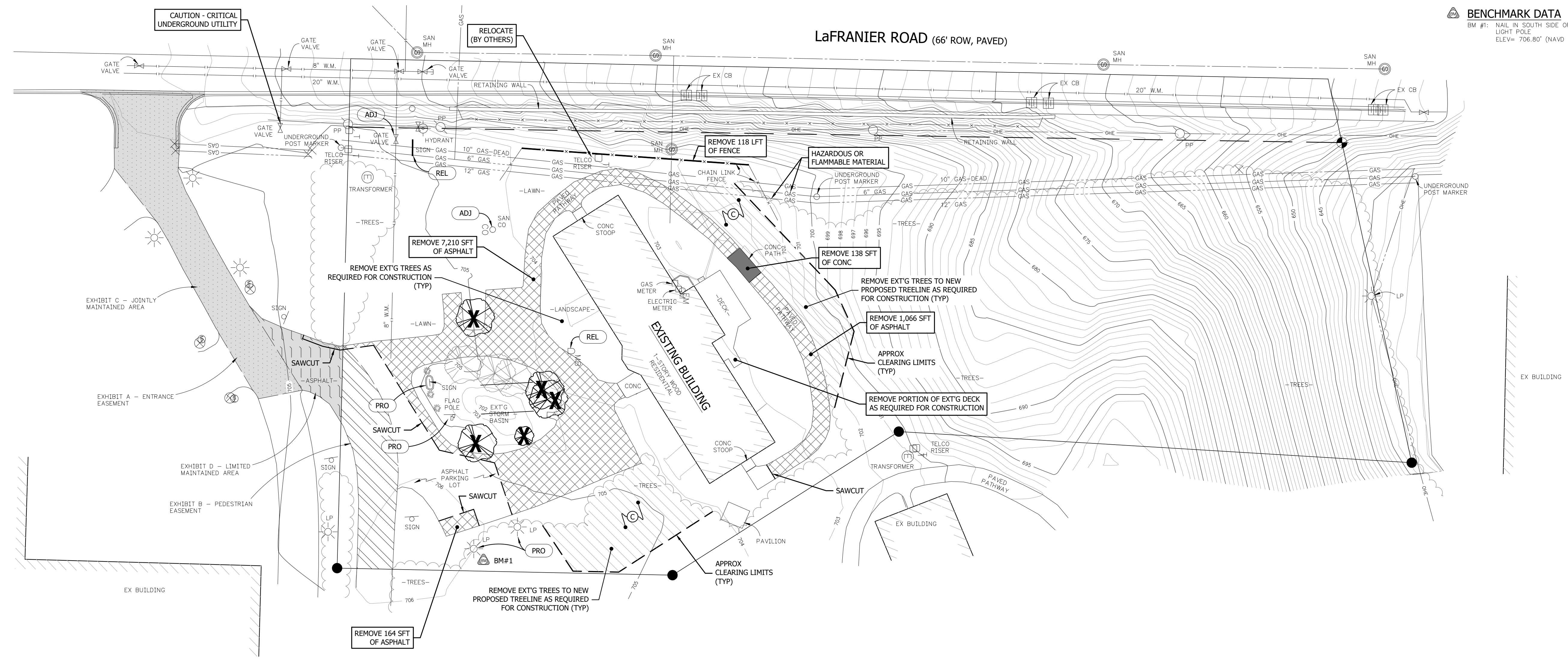
PROJECT TITLE:
PROPOSED FRENCH MANOR LaFRANIER ADDITION

CLIENT:
 BURDCO, INC
 1222 VETERANS DRIVE, SUITE A
 TRAVERSE CITY, MI 49684

PROJECT LOCATION:
GRAND TRAVERSE CO, MI

SHEET TITLE:
EXISTING SITE CONDITIONS & DEMOLITION PLAN

PROJECT NUMBER: **24130**
 SHEET NUMBER: **C1**



NOTES

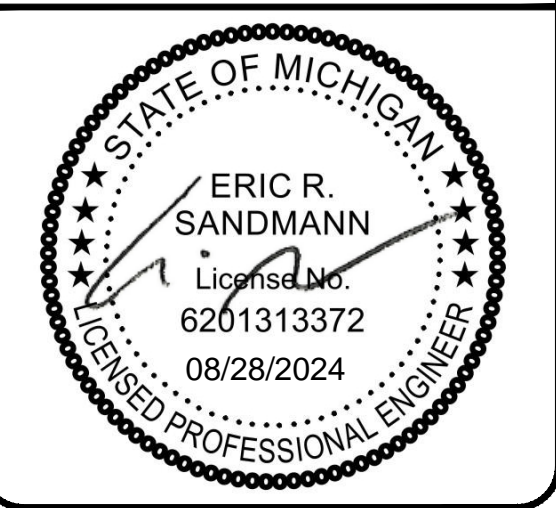
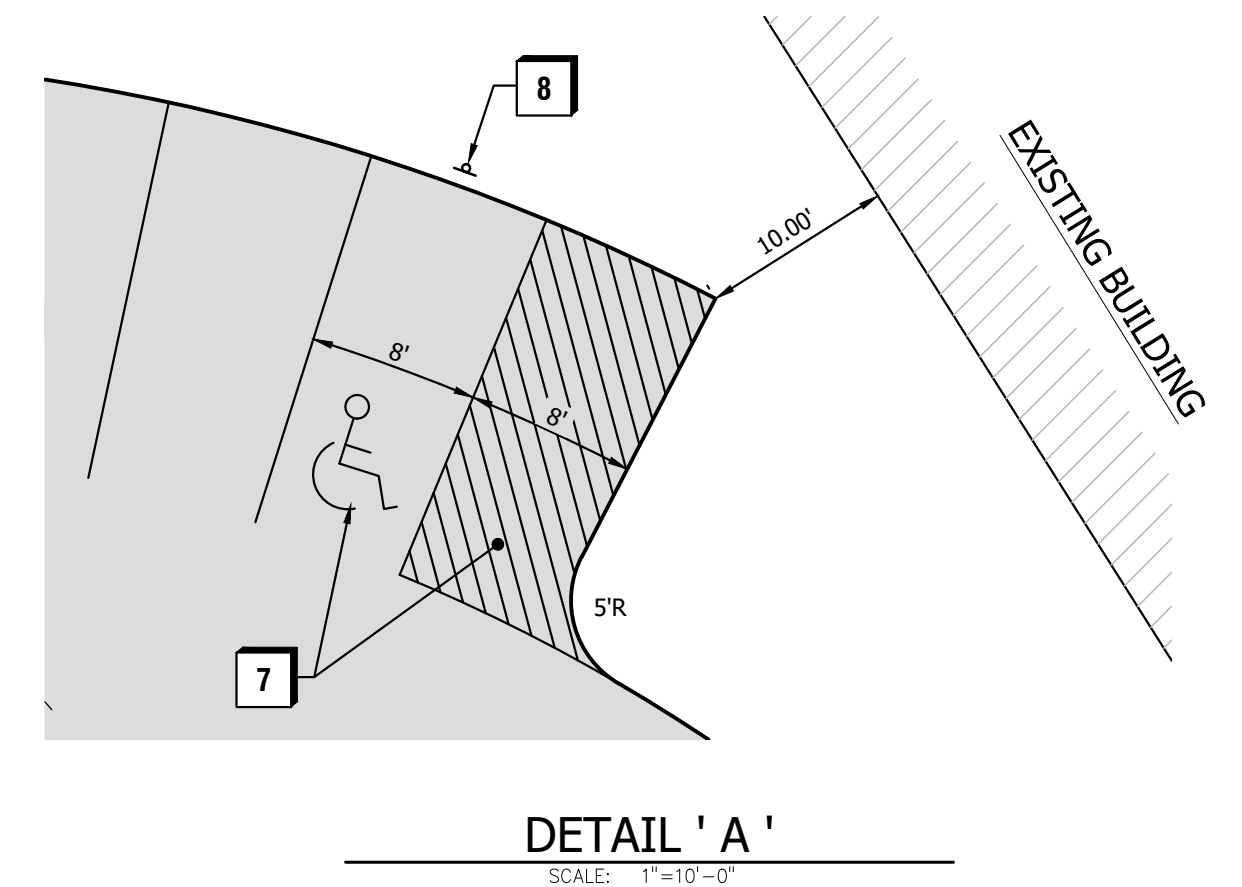
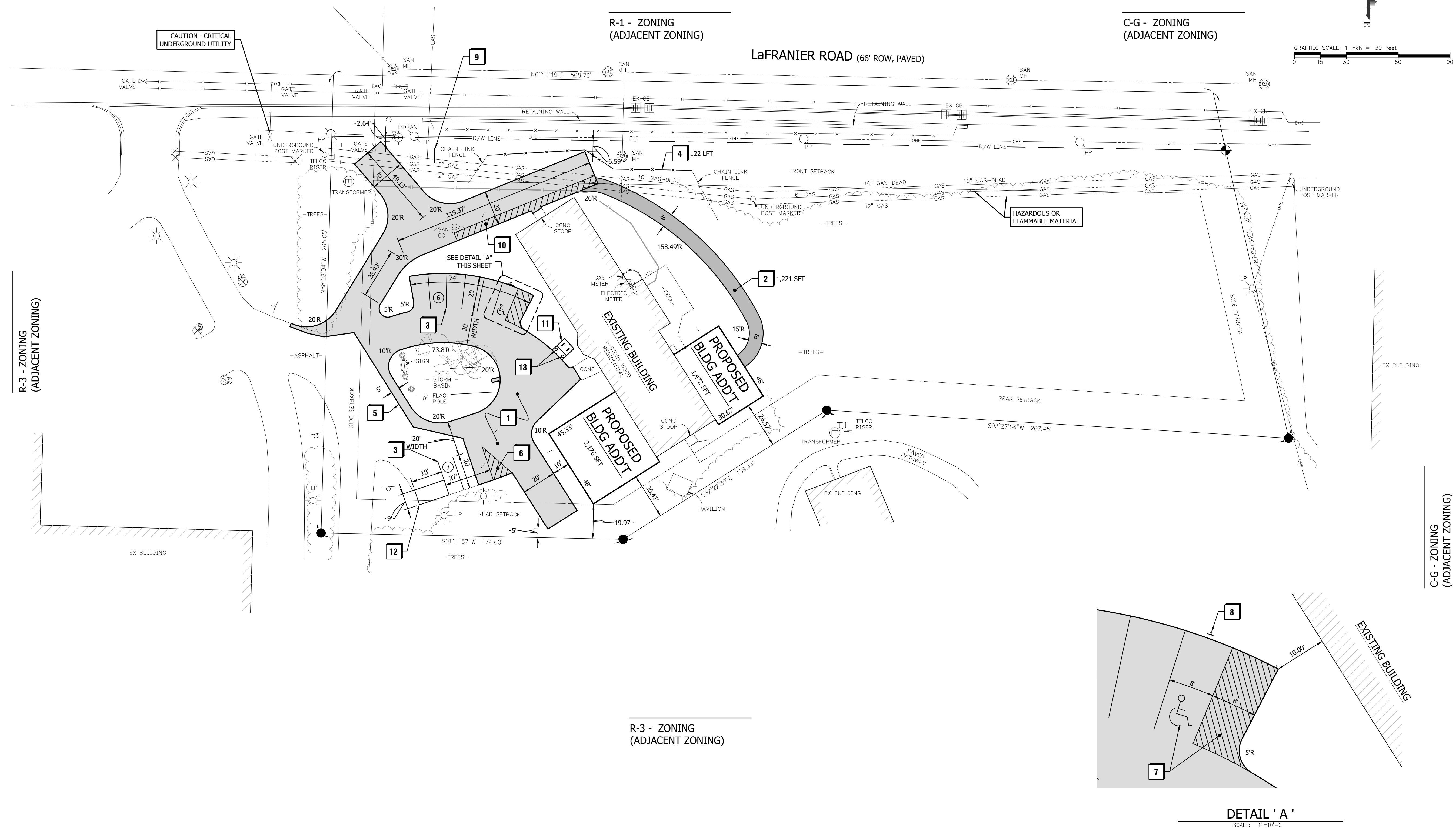
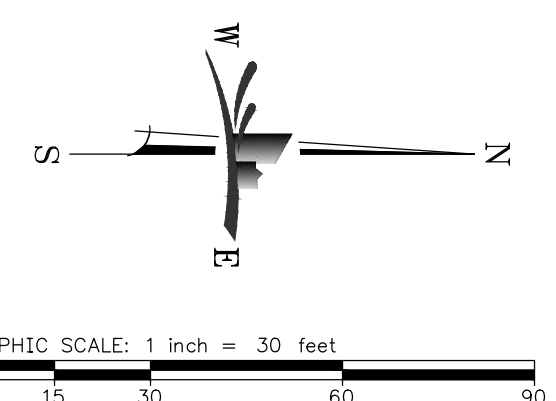
- ALL BOUNDARY SURVEY INFORMATION PROVIDED BY SIMMER LAND SURVEYING, MESICK, MI. ENGINEER MAKES NO REPRESENTATION OR GUARANTEES TO ITS ACCURACY. CONTACT SIMMER LAND SURVEYING (231) 429-4914 SHOULD ANY CONFLICTS WITH THIS INFORMATION ARISE.
- REMOVE ALL TREES AS REQUIRED TO PERFORM REQUIRED WORK.
- CLEAR AND GRUB IN CONFORMANCE WITH TECHNICAL SPECIFICATIONS.
- COORDINATE ALL INDIVIDUAL TREE REMOVALS (NOT SHOWN ON SURVEY) WITH OWNER.

LEGAL DESCRIPTION (as provided)
 A PARCEL 05-014-072-10;
 DESCRIPTION AS FURNISHED - PHASE 1 DESCRIPTION
 PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER, SECTION 14, TOWN 27 NORTH, RANGE 11 WEST, GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY, MI, MORE FULLY DESCRIBED AS: COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 14; THENCE NORTH 00° 19' 00" WEST, 330.00 FEET ALONG THE NORTH AND SOUTH QUARTER LINE OF SAID SECTION 14 TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID QUARTER LINE NORTH 00° 19' 00" WEST, 509.05 FEET; THENCE NORTH 76° 14' 04" EAST, 204.41 FEET; THENCE SOUTH 01° 59' 42" WEST, 267.76 FEET; THENCE SOUTH 33° 49' 00" EAST, 139.49 FEET; THENCE SOUTH 00° 19' 00" EAST, 174.43 FEET PARALLEL WITH SAID NORTH AND SOUTH QUARTER LINE; THENCE NORTH 89° 57' 00" WEST, 265.01 FEET TO THE POINT OF BEGINNING.
 SAID PARCEL CONTAINS 2.74 ACRES (2.0 ACRES EXCLUDING RIGHT-OF-WAY AND EASEMENTS).
 SUBJECT TO THE RIGHT-OF-WAY OF LaFRANIER ROAD OVER THE WEST 33 FEET THEREOF.
 ALSO SUBJECT TO A 66 FOOT WIDE EASEMENT FOR THE PURPOSE OF INGRESS, EGRESS, AND INSTALLATION AND MAINTENANCE OF PUBLIC AND PRIVATE UTILITIES OVER THE SOUTH 66 FEET THEREOF.
 SUBJECT TO OTHER EASEMENTS OR RESTRICTIONS, IF ANY.

LEGEND

- EXISTING CONC. SIDEWALK TO BE REMOVED
- EXISTING BIT., CONC., & GRAVEL TO BE REMOVED
- EXISTING SITE FEATURES TO BE REMOVED
- EXISTING CONTOURS
- REMOVE ITEM
- RELOCATE ITEM
- ADJUST ITEM
- PROTECTION ITEM
- SALVAGE ITEM
- CLEARING
- REMOVAL
- EXHIBIT A - ENTRANCE EASEMENT
- EXHIBIT B - PEDESTRIAN EASEMENT
- EXHIBIT C - JOINTLY MAINTAINED AREA
- EXHIBIT D - LIMITED MAINTAINED AREA

E:\MACHIN\ENGINEERING\2024\24130_BURDCO\PROJECTS\2024\24130_BURDCO_ML\FRENCH MANOR LaFRANIER_GARBFIELD\DRAWINGS\24130_DWG_REV2.DWG (08-28-24 2:06 PM) KIRTSCHULTZ



ON 22x34 SHEET SCALE: FULL (AS NOTED)
 ON 11x17 SHEET SCALE: HALF

REV#	DESCRIPTION	DATE
A	REVIEW - 50% DESIGN	KAS05/02/24
B	REVIEW - 70% DESIGN	KAS05/02/24
C	REVIEW - 70% DESIGN	KAS05/02/24
D	ISSUED FOR PERMIT	KAS05/02/24
E	REVIEW - 90% DESIGN	KAS05/02/24
F	ISSUED FOR CONSTRUCTION	KAS05/02/24

DESIGNED BY:	CHECKED BY:	APPROVED BY:	CREATED:
ERIC R. SANDMANN	ERIC R. SANDMANN	ERIC R. SANDMANN	08/05/2024
DATE ISSUED:	08/05/2024		
ISSUE PHASE:	CONSTRUCTION		
PROJECT TITLE:	PROPOSED FRENCH MANOR LaFRANIER ADDITION		

NOTES

- DEVELOPMENT OF THIS SITE SHALL BE IN ACCORDANCE WITH STATE, COUNTY AND CITY REQUIREMENTS.
- VERIFY FINAL BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
- EXISTING SIGNAGE NOT TO CHANGE.
- LANDSCAPE REQUIREMENTS USES TRADE-OFF FOR NEIGHBORING TREE LINE TO SOUTH AND EAST OF PROPOSED ADDITION.
- ALL DISTURBED AREAS SHALL BE TOPSOILED, SEEDED, MULCHED, AND FERTILIZED.
- ALL BIKE RACKS TO MEET GARFIELD TOWNSHIP SPECIFICATIONS.

SITE INFORMATION

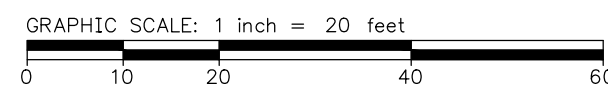
PARCEL CURRENT ZONING:	R-3
PROPOSED USE:	MULTI-FAMILY RESIDENTIAL ADULT FOSTER CARE
PARCEL ADDRESS:	3090 LaFRANIER RD
PROPERTY TAX ID:	05-014-072-10
SECTION, TOWN, RANGE:	14, T27N, R11W
GROSS AREA OF PARCELS (EXCLUDING R/W):	101,373.70 SFT (2.33 AC)
DEVELOPED AREA:	61,698 SFT (1.42 AC)
MIN LOT SIZE:	+/-15,000 SFT (0.34 AC)
MIN LOT WIDTH:	153 FT
BUILDING COVERAGE:	10,058 SFT (10%)
YARD SETBACK:	

PROJECT INFORMATION

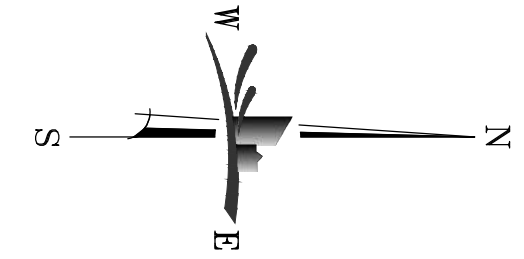
BUILDING	
EXISTING BUILDING 1-STORY STRUCTURE =	6,410 SFT 18'-6"
PROPOSED BUILDING ADDITION 1-STORY STRUCTURE =	3,648 SFT 18'-6"
PARKING REQUIREMENTS	
PROPOSED SPACES PROVIDED: (INCLUDES 1 HANDICAPPED SPACE)	9 SPACES
BICYCLE PARKING REQUIRED: PROPOSED:	2 SPACES 4 SPACES
MINIMUM REQUIRED: 1 SPACE PER 4 BEDS (20 BEDS) (1 SPACE / 4 BEDS) =	5 SPACES
MAXIMUM REQUIRED: 1 SPACE PER 2 BEDS (20 BEDS) (1 SPACE / 2 BEDS) =	10 SPACES
TYPICAL SPACE:	20' x 9'

CONSTRUCTION NOTES

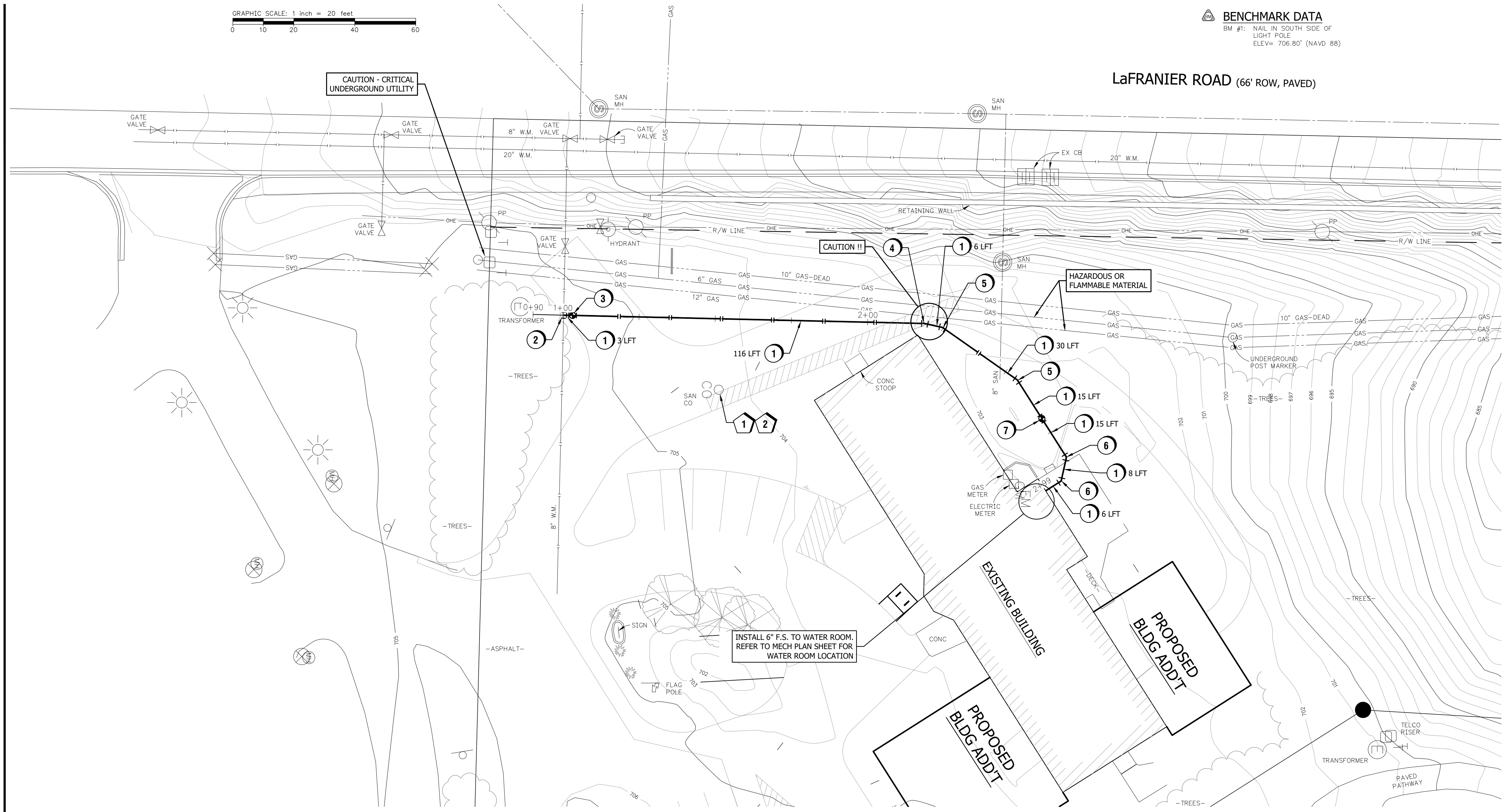
- INSTALL BITUMINOUS PAVT SEE DETAIL '1/C'
- INSTALL 8' WIDE BITUMINOUS PATHWAY SEE DETAIL '2/C'
- 20' x 9' PARKING STALL. PARKING STALL STRIPE, 4" YELLOW
- INSTALL CHAIN LINK FENCE
- INSTALL FULL DEPTH ASPHALT PAVEMENT SEE DETAIL '3/C'
- INSTALL "NO PARKING" STRIPS, 4" YELLOW
- ADA PARKING SPACE. ADA PARKING STALL STRIPE, 4" BLUE HANDICAP SYMBOL - WHITE ON BLUE BACKGROUND SEE DETAIL '8/C'
- INSTALL ADA COMPLIANT SIGNAGE SEE DETAIL '7/C'
- RE-INSTALL SALVAGE BUSINESS SIGN. CONTRACTOR TO COORDINATED WITH OWNER.
- INSTALL 5' WIDE STRIPED PATHWAY, 4" YELLOW
- INSTALL 8' x 6' CONCRETE PAD FOR BICYCLE PARKING SEE DETAIL '11/C'
- INSTALL DUMPSTER AREA ON 4" CONCRETE PAD ENCLOSED W/ 6' HIGH SOLID SCREEN SEE DETAIL '2/C'
- INSTALL 6" BOLLARD POST SEE DETAIL '12/C'



BENCHMARK DATA
 BM #1: NAIL IN SOUTH SIDE OF
 LIGHT POLE
 ELEV= 706.80' (NAVD 88)



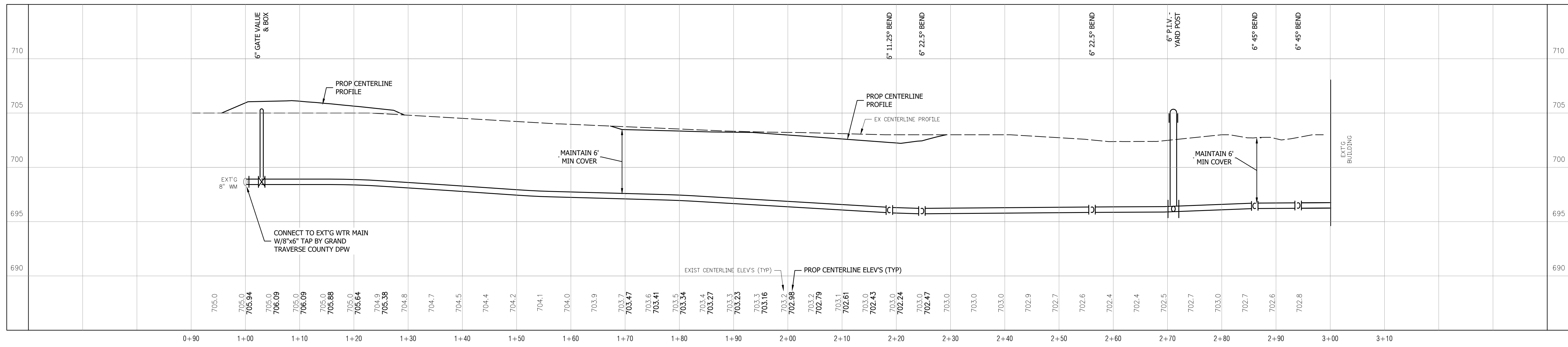
LaFRANIER ROAD (66' ROW, PAVED)



PROPOSED FIRE SERVICE - PLAN & PROFILE
 SCALE:
 HORIZONTAL: 1"=10'
 VERTICAL: 1"=5'

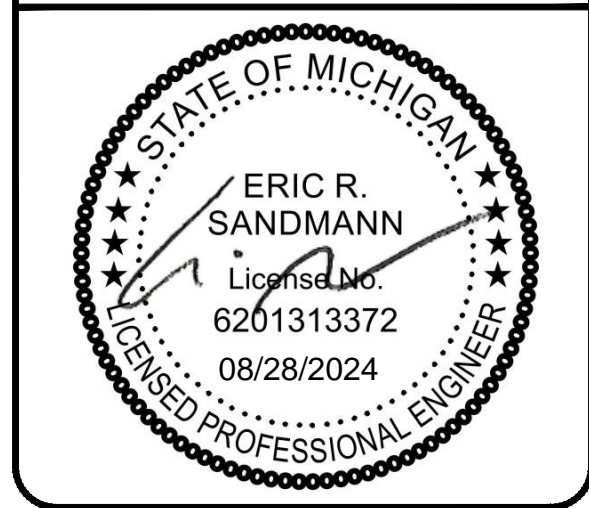
- NOTES**
- ALL BACKFILL MATERIAL SHALL CONFORM TO ASTM D2321 STANDARDS.
 - ALL WATERMAIN, SANITARY SEWER AND RELATED SERVICES SHALL COMPLY WITH COUNTY DPW STANDARDS AND SPECIFICATIONS.
 - CONTRACTOR IS TO SUBMIT A CONNECTION PLAN AND COORDINATE WATER/SEWER CONNECTIONS WITH THE COUNTY DPW.
 - NO CONNECTIONS SHALL BE MADE TO EXISTING WATERMAIN UNTIL ALL BACK AND PRESSURE TESTS OF THE NEW WATERMAIN ARE COMPLETED AND APPROVED FOR SERVICE.
 - MAINTAIN 10' HORIZONTAL AND 18 INCHES VERTICAL SEPARATION BETWEEN ALL WATER AND SANITARY SEWER.

- KEY NOTES**
- 1 6" CLASS 52 D.I. WATERMAIN
 - 2 CONNECT TO EXT'G WATERMAIN W/8"x6" TAP BY GTC DPW
 - 3 6" GATE VALVE & BOX
 - 4 6" 11.25° BEND
 - 5 6" 22.5° BEND
 - 6 6" 45° BEND
 - 7 INSTALL 6" P.I.V. - YARD POST INDICATOR VALVE
 - 1 INSTALL 2' DIA MANHOLE W/ SOLID LID SEE DETAIL 16/C4'
 - 2 ADJUST EXT'G SANITARY CLEAN-OUT ASSEMBLY



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 FACSIMILE: 231-947-9135
 www.BURDCO.com



ON 22x34 SHEET SCALE: FULL (AS NOTED)
 ON 11x17 SHEET SCALE: HALF

REV#	DESCRIPTION	DATE
A	REVIEW - 30% DESIGN	KAS05/2024
B	REVIEW - 50% DESIGN	KAS07/2024
C	REVIEW - 70% DESIGN	KAS07/2024
D	ISSUED FOR PERMIT	KAS07/2024
E	REVIEW - 90% DESIGN	KAS08/2024
F	ISSUED FOR CONSTRUCTION	KAS08/2024

REVISION: _____
 DATE ISSUED: 08/05/2024
 ISSUE PHASE: CONSTRUCTION
 PROJECT TITLE:
PROPOSED FRENCH MANOR LaFRANIER ADDITION

CLIENT:
 BURDCO, INC.
 1222 VETERANS DRIVE, SUITE A
 TRAVERSE CITY, MI 49684

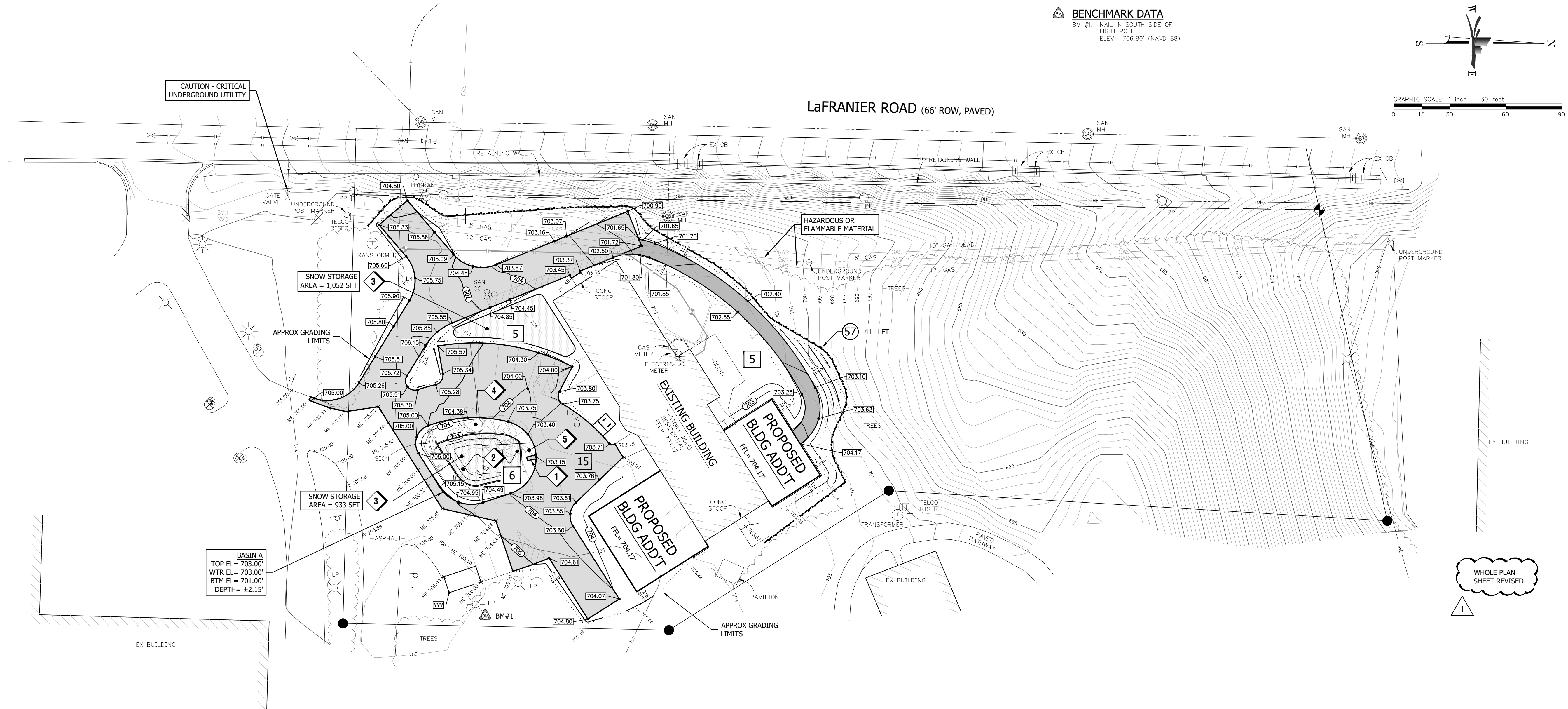
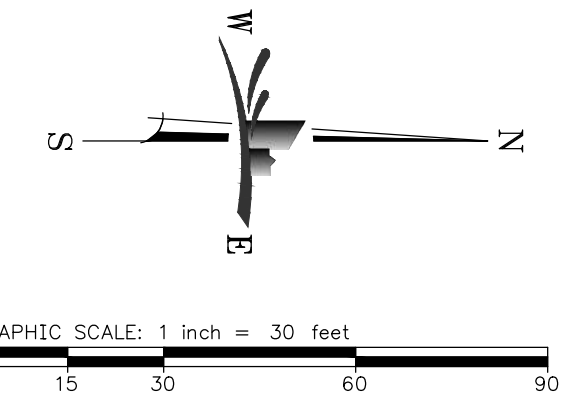
PROJECT LOCATION:
GRAND TRAVERSE CO, MI

SHEET TITLE:
PROPOSED UTILITIES PLAN

PROJECT NUMBER: **24130**
 SHEET NUMBER: **C3**

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BENCHMARK DATA
 BM #1: NAIL IN SOUTH SIDE OF
 LIGHT POLE
 ELEV= 706.80' (NAVD 88)



WHOLE PLAN SHEET REVISED

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B	REVIEW 50% DESIGN	08/05/2024
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E	REVIEW 90% DESIGN	08/05/2024
F	ISSUED FOR CONSTRUCTION	08/05/2024
1	UPDATED PER TAP REVIEW COMMENTS	08/20/2024

REVISION REV #1 08/20/2024
 DATE ISSUED: 08/05/2024
 ISSUE PHASE: CONSTRUCTION

PROJECT TITLE:
PROPOSED FRENCH MANOR LaFRANIER ADDITION

CLIENT:
 BURDCO, INC
 1222 VETERANS DRIVE, SUITE A
 TRAVERSE CITY, MI 49684

PROJECT LOCATION:
 GRAND TRAVERSE CO, MI

SHEET TITLE:
GRADING, SOIL EROSION & STORMWATER CONTROL PLAN

PROJECT NUMBER: 24130
 SHEET NUMBER: C4

NOTES

- VERTICAL DATUM IS NAVD88, CONTOUR INTERVAL IS 1.0 FEET.
 - LOCATION AND TYPE OF EROSION CONTROL MEASURES ARE IDENTIFIED ON THE SKETCH BY KEY NUMBERS. EG, RELATING TO THE MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY UNIFIED KEYING SYSTEM AND BEST MANAGEMENT PRACTICES.
 - ALL STRUCTURES SHALL BE KEPT FREE OF DEBRIS DURING CONSTRUCTION USING CATCH BASIN INLET FILTERS.
 - ALL DISTURBED AREAS SHALL BE TOPSOILED, SEEDDED, MULCHED, AND FERTILIZED
 - POSITIVE DRAINAGE SHALL BE MAINTAINED AWAY FROM BUILDING.
- ⑤ DENOTES TEMPORARY PRACTICES
 ⑤ DENOTES PERMANENT PRACTICES

SE & SC KEYING SYSTEM

5	SEEDING	INEXPENSIVE AND VERY EFFECTIVE. STABILIZES SOIL, THUS MINIMIZING EROSION. PERMITS RUNOFF TO INFILTRATE SOIL, REDUCING RUNOFF VOLUME. SHOULD INCLUDE PREPARED TOPSOIL BED.
6	SEEDING w/ MULCH OR MATING	FACILITATES ESTABLISHMENT OF VEGETATIVE COVER, EFFECTIVE FOR DRAINAGEWAYS w/ LOW VELOCITY. EASILY PLACED IN SMALL QUANTITIES BY INEXPERIENCED PERSONNEL. SHOULD INCLUDE PREPARED TOPSOIL BED.
15	PAVING	PROTECTS AREA WHICH OTHERWISE CANNOT BE PROTECTED, BUT INCREASES RUNOFF VOLUME AND VELOCITY. IRREGULAR SURFACE WILL HELP SLOW VELOCITY.
57	GEOTEXTILE SILT FENCE	USES GEOTEXTILE AND POSTS OR BALES MAY BE CONSTRUCTED OR PREPACKAGED. EASY TO CONSTRUCT AND LOCATE AS NECESSARY.

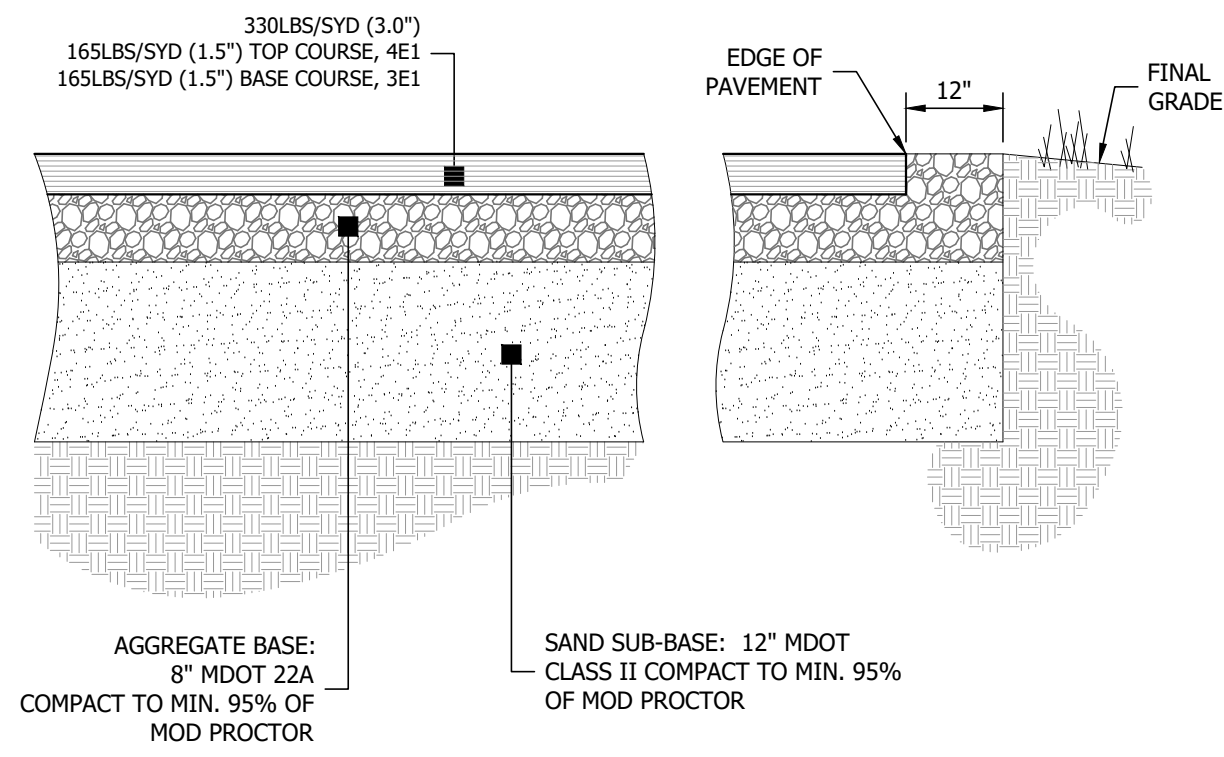
CONSTRUCTION NOTES

- INSTALL BIT SPILLWAY SEE DETAIL '4/C4'
- EXISTING STORMWATER BASIN TO BE MODIFIED
- APPROX SNOW STORAGE AREA
- 5 FT WIDE BENCH
- 15 FT WIDE MAINTENANCE ACCESS

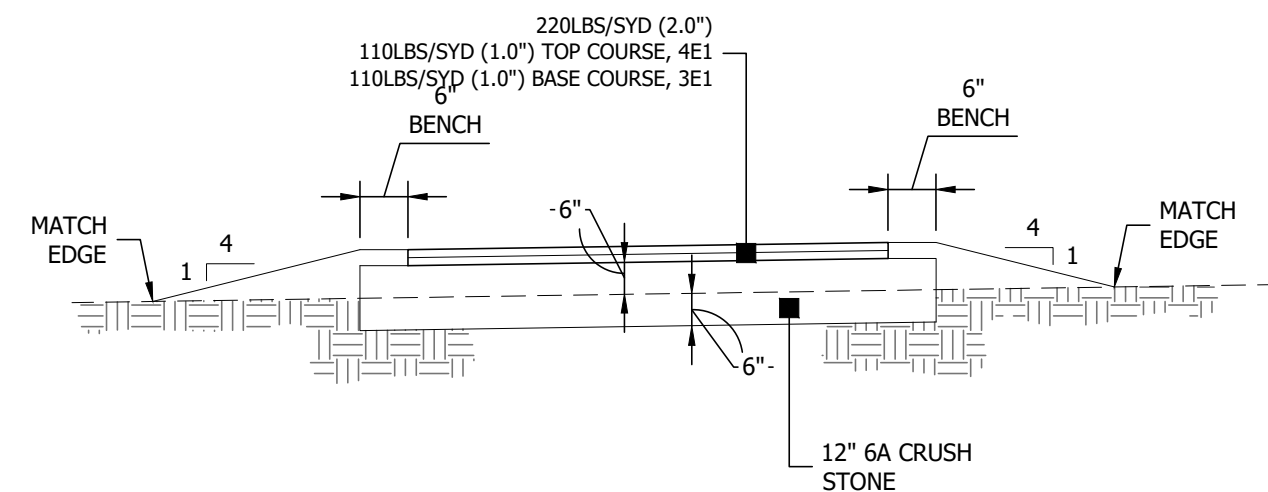
LEGEND

	PROPOSED ASPHALT		SPOT GRADE
	EXISTING CONTOURS		MATCH EXISTING
	PROPOSED CONTOUR		
	PROPOSED VALLEY		
	PROPOSED RIDGE		
	Grading Limits		
	DIRECTION OF DRAINAGE		
	PROPOSED SLOPE X.X%		
	LP= LOW POINT		FFL = FINISHED FLOOR
	HP= HIGH POINT		

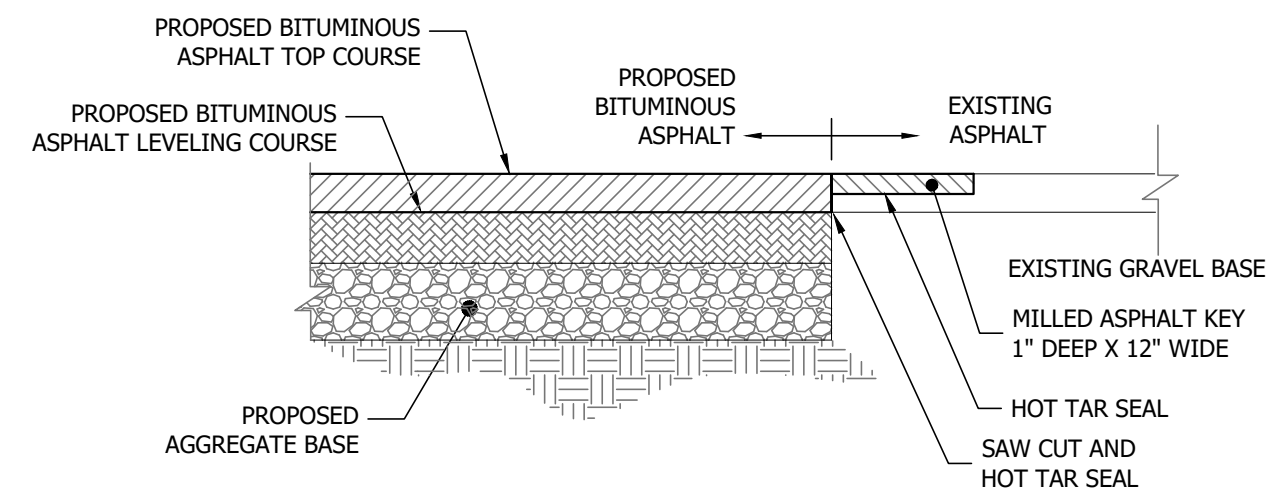
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BITUMINOUS PAVEMENT DETAIL N.T.S. 1

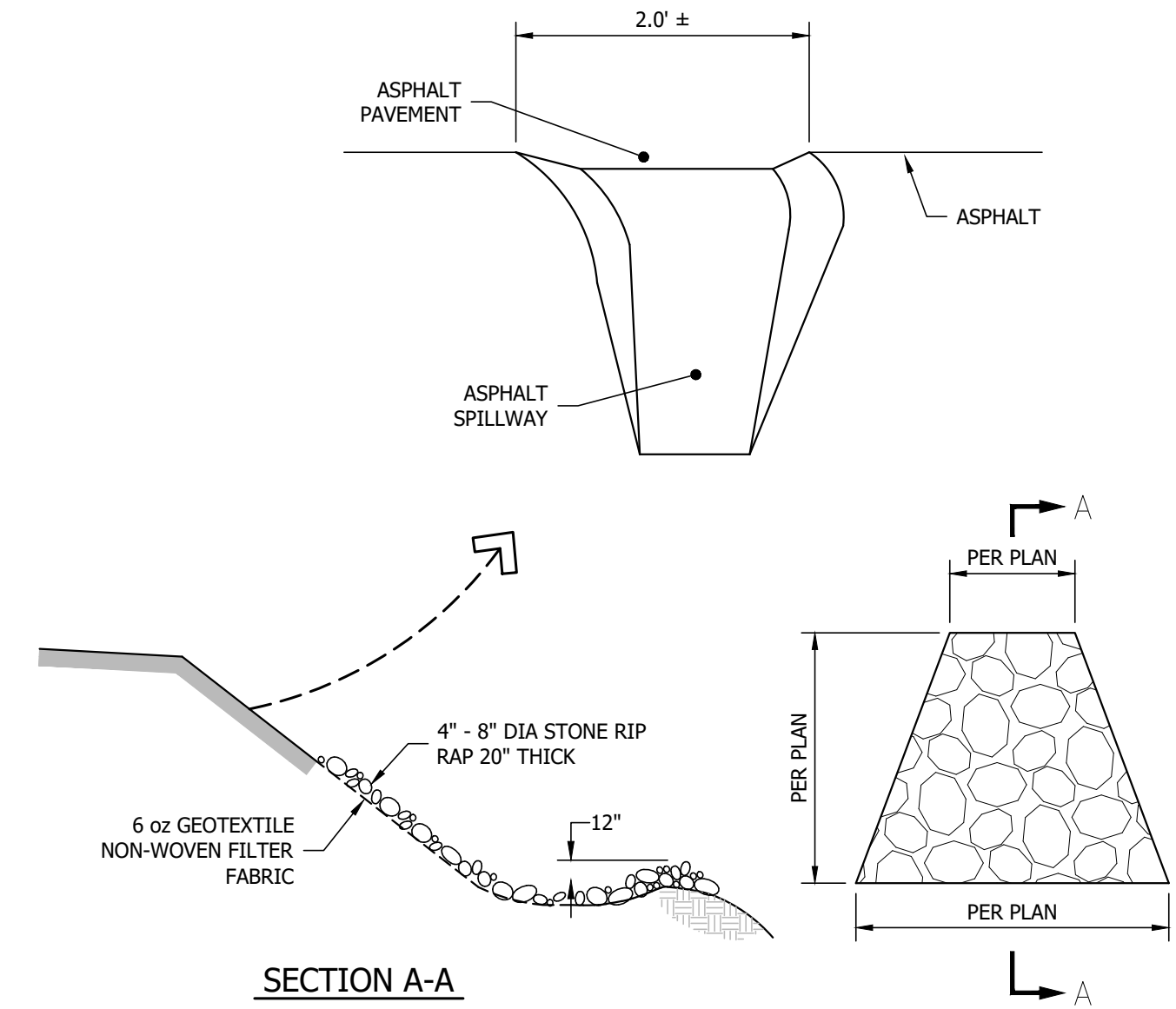


BITUMINOUS PATHWAY DETAIL N.T.S. 2

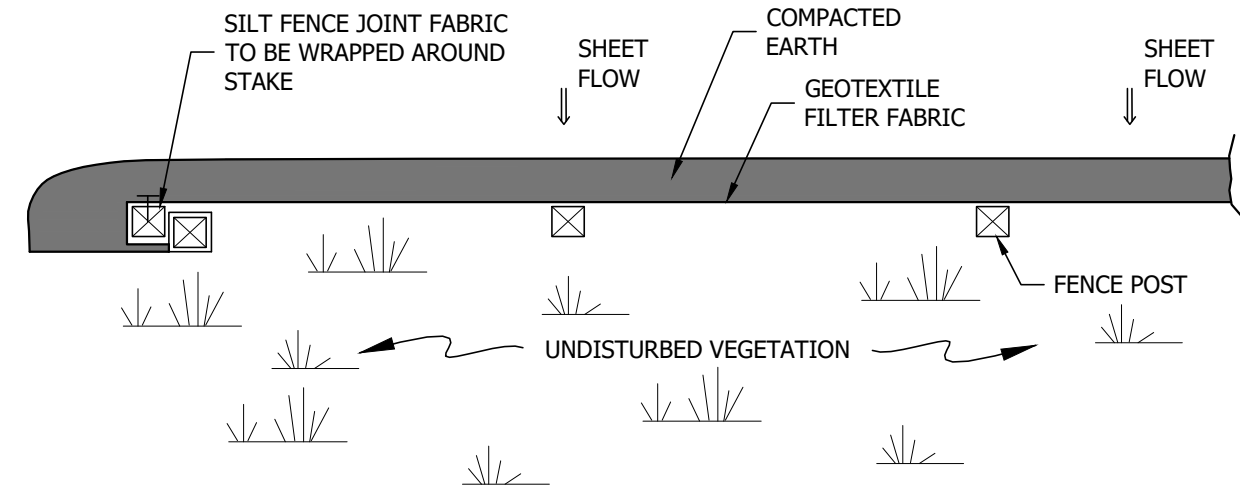


NOTE:
 1. HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
 2. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR THE PAVEMENT CROSS SECTION

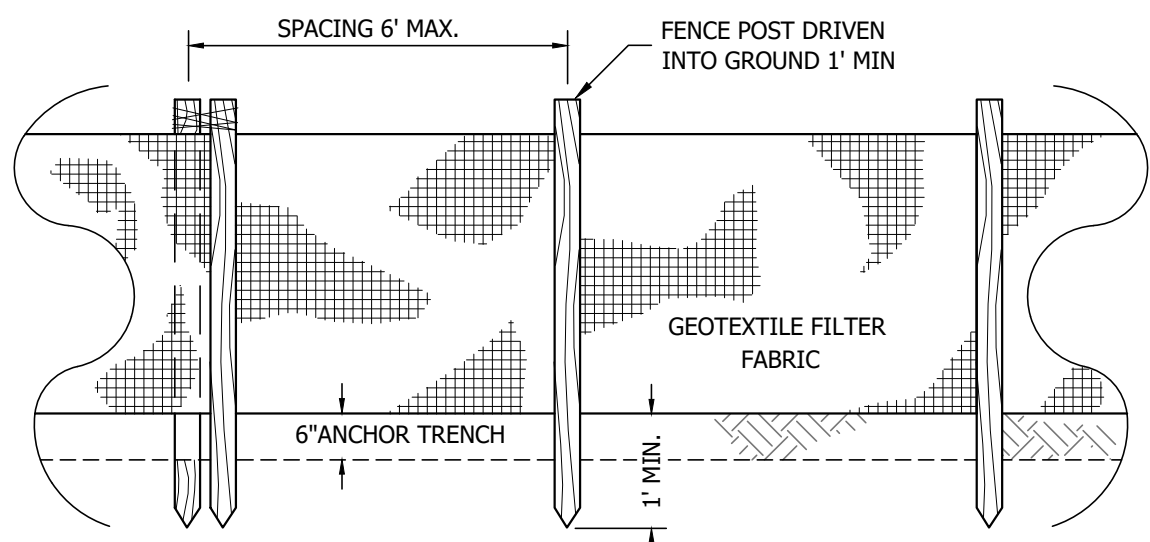
FULL DEPTH ASPHALT PAVEMENT DETAIL N.T.S. 3



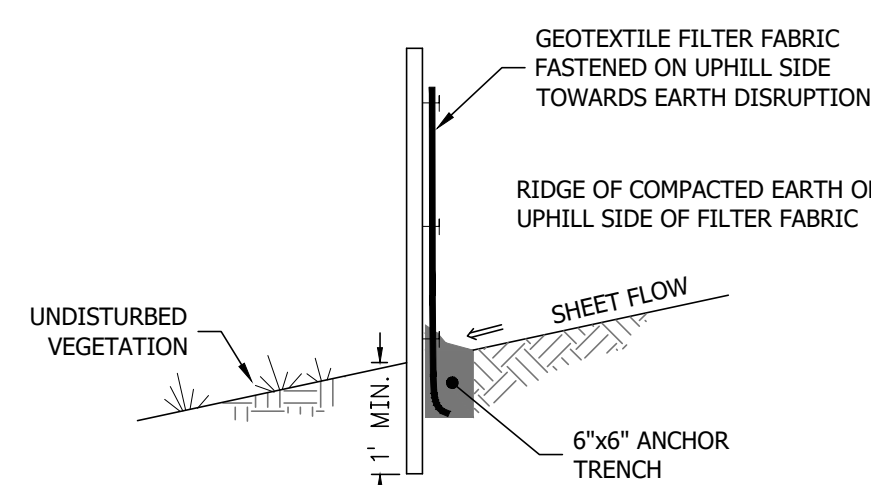
ASPHALT SPILLWAY & STONE RIP-RAP APRON DETAIL N.T.S. 4



PLAN VIEW

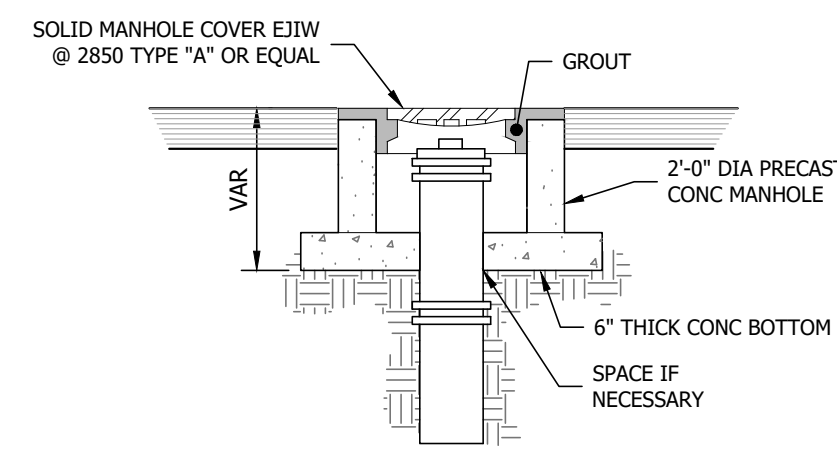


FRONT ELEVATION

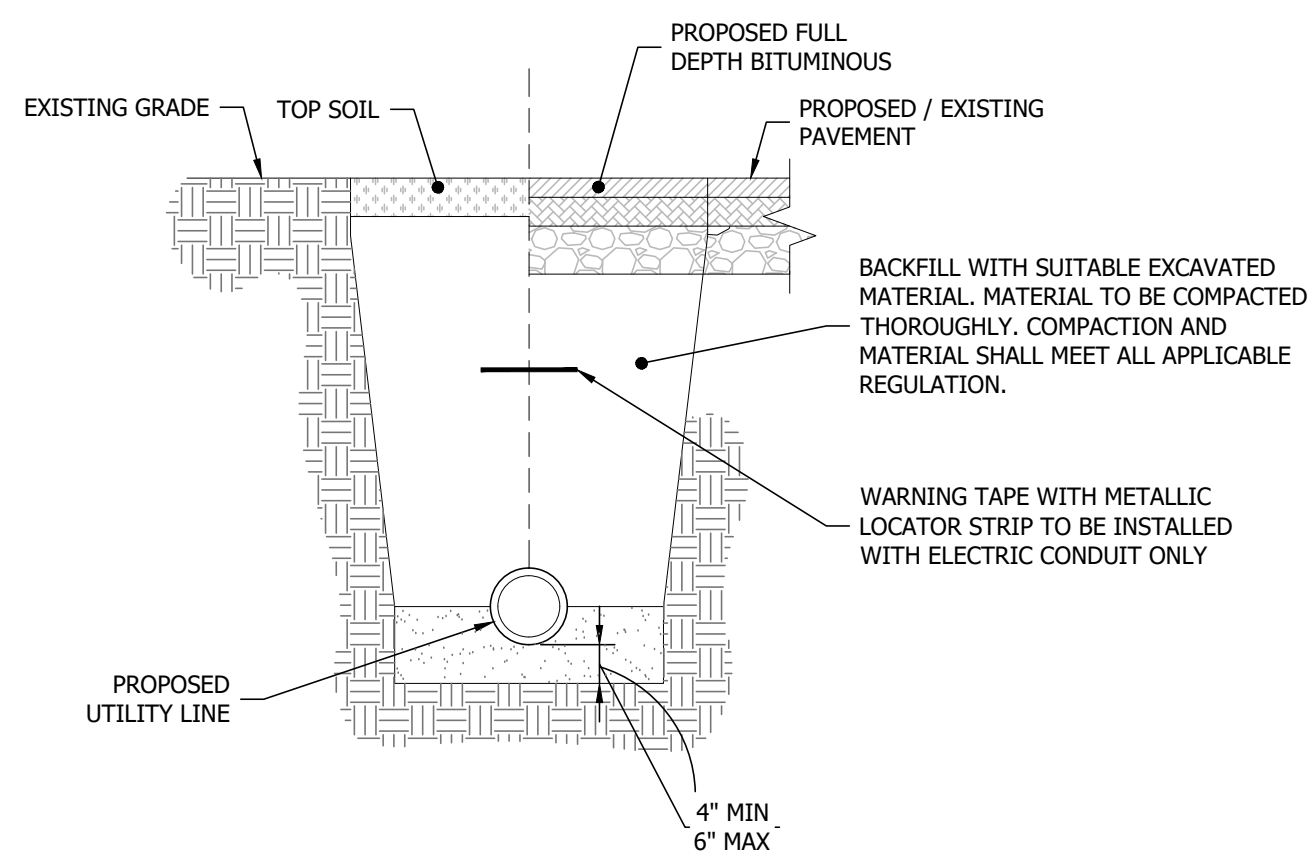


SECTION VIEW

SILT FENCE N.T.S. 9

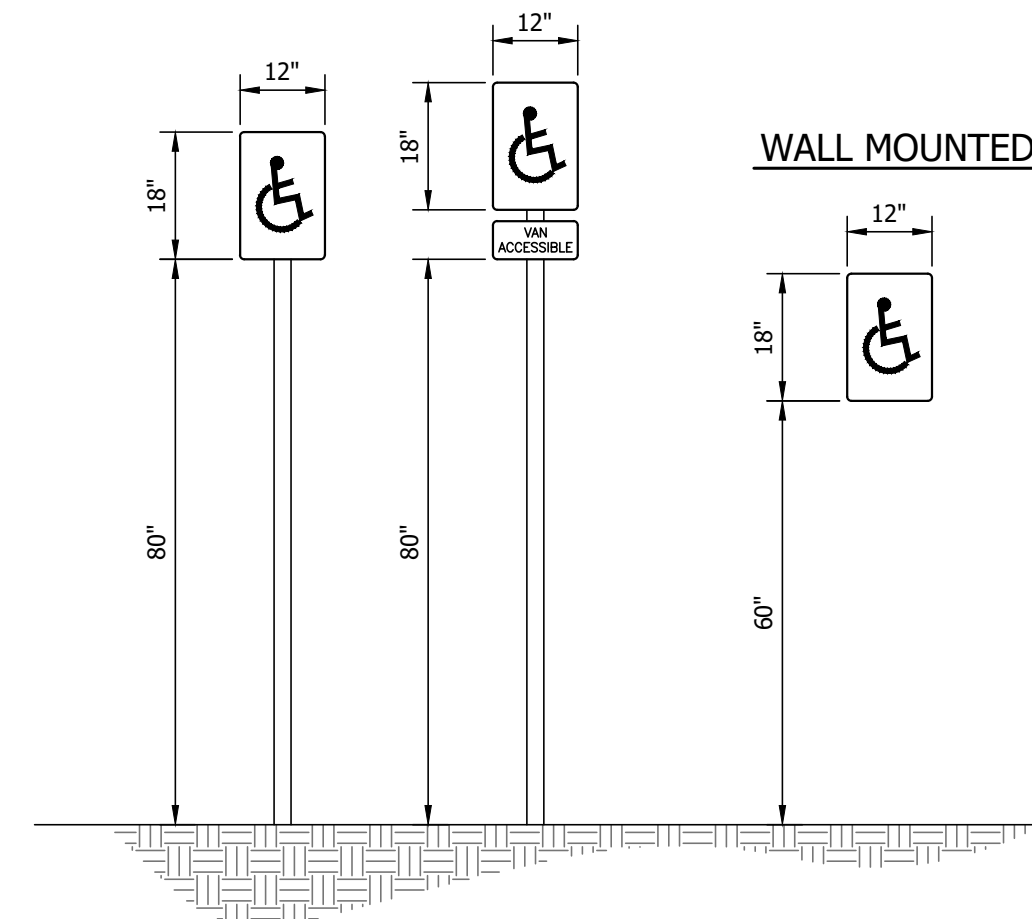


SANITARY CLEAN-OUT N.T.S. 6

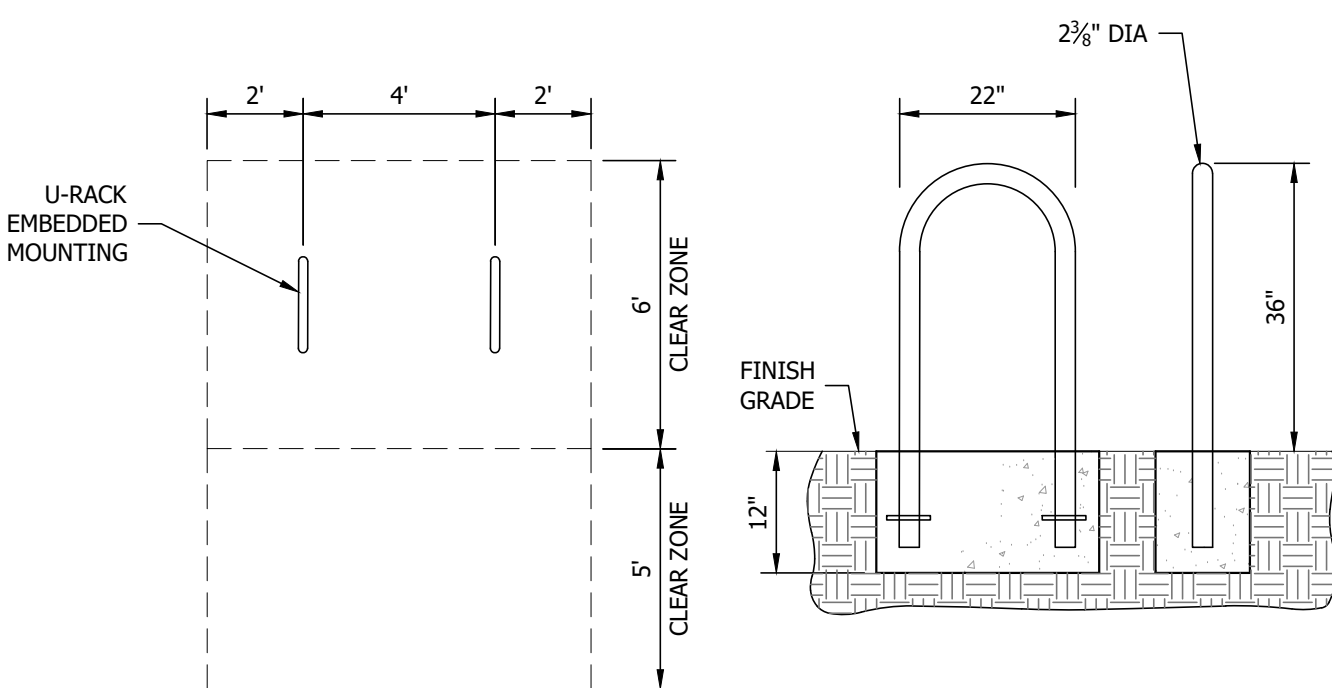


NOTES:
 • MINIMUM PIPE COVER SHALL BE AS FOLLOW:
 • ELECTRIC SERVICE - PER APPLICABLE UTILITY AUTHORITY
 • GAS SERVICE - PER APPLICABLE UTILITY AUTHORITY
 • WATER SERVICE - 70" MINIMUM

UTILITY TRENCH DETAIL N.T.S. 10

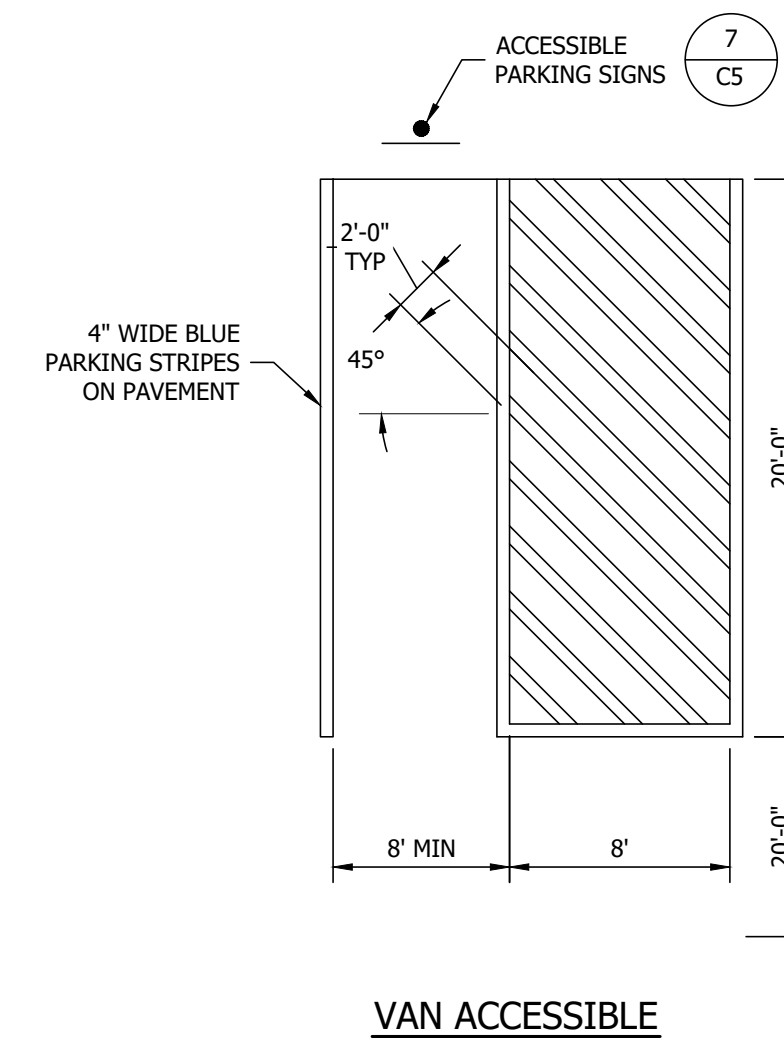


BARRIER FREE SIGN DETAIL N.T.S. 7

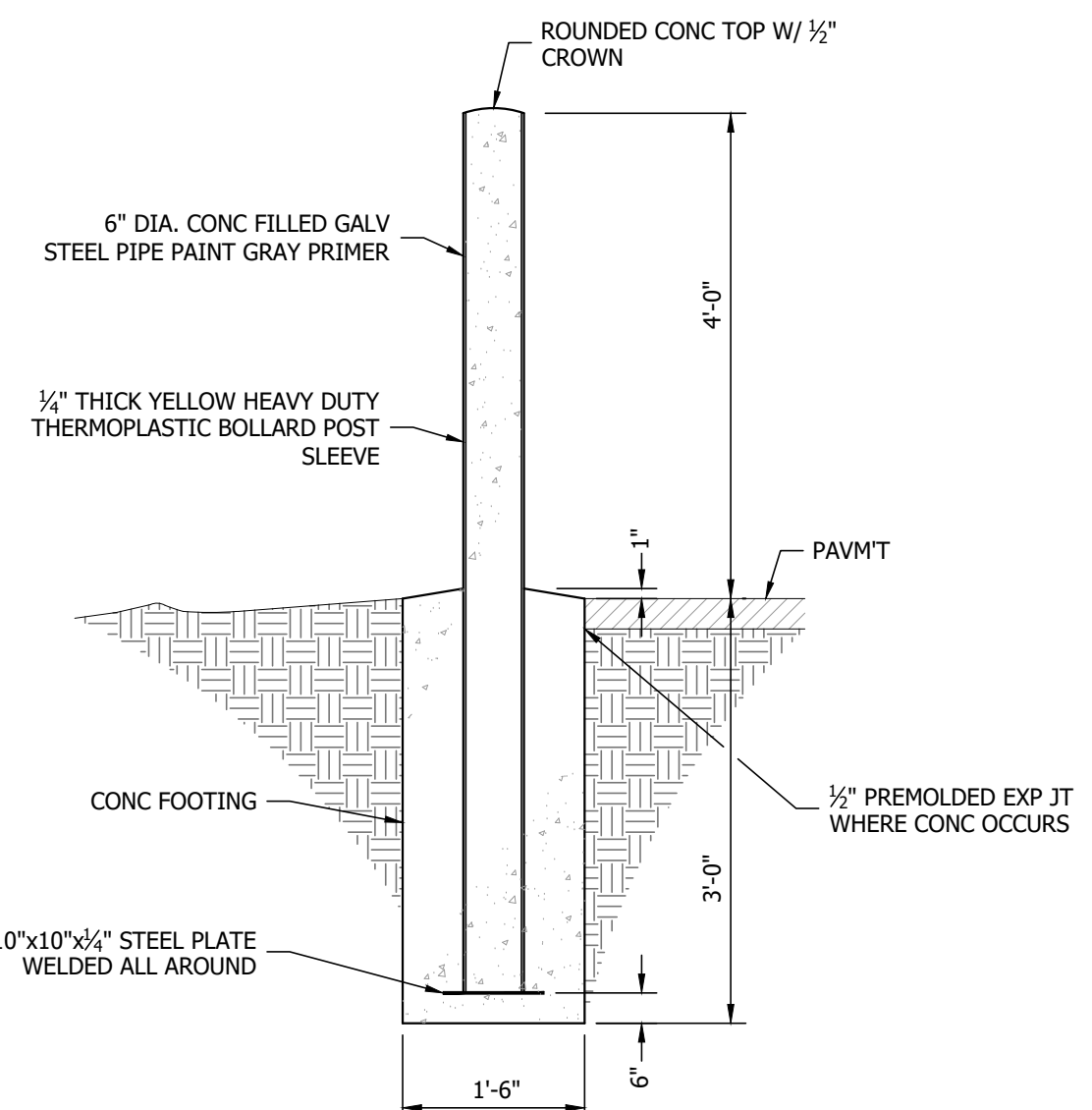


NOTES:
 • U-RACK BIKE RACK SUPPORTS 2-POINT CONTACT WITH FRAME
 • EMBEDMENT DETAILS ARE FOR REFERENCE ILLUSTRATION ONLY. MINIMUM FOUNDATION SIZES DEPEND ON LOCAL SOIL CONDITIONS, WEATHER CONDITIONS AND ENGINEERING REQUIREMENTS.
 • U-RACK BIKE RACK SUPPORT MODELS AVAILABLE FOR SURFACE OR IN-GROUND MOUNT INSTALLATION.

BIKE RACK EMBEDDED MOUNTING DETAIL N.T.S. 11



LAYOUT FOR STANDARD AND ACCESSIBLE PARKING SPACES N.T.S. 8



BOLLARD GUARD POST N.T.S. 12



ON 22x34 SHEET SCALE: FULL (AS NOTED)
 ON 11x17 SHEET SCALE: HALF

REV	DESCRIPTION	DATE
A	REVIEW - 50% DESIGN	08/05/2024
B	REVIEW - 75% DESIGN	08/05/2024
C	REVIEW - 75% DESIGN	08/05/2024
D	ISSUED FOR PERMIT	08/28/2024
E	REVIEW - 90% DESIGN	08/28/2024
F	ISSUED FOR CONSTRUCTION	08/28/2024

DATE ISSUED:	08/05/2024
ISSUE PHASE:	CONSTRUCTION
PROJECT TITLE:	PROPOSED FRENCH MANOR LaFRANIER ADDITION

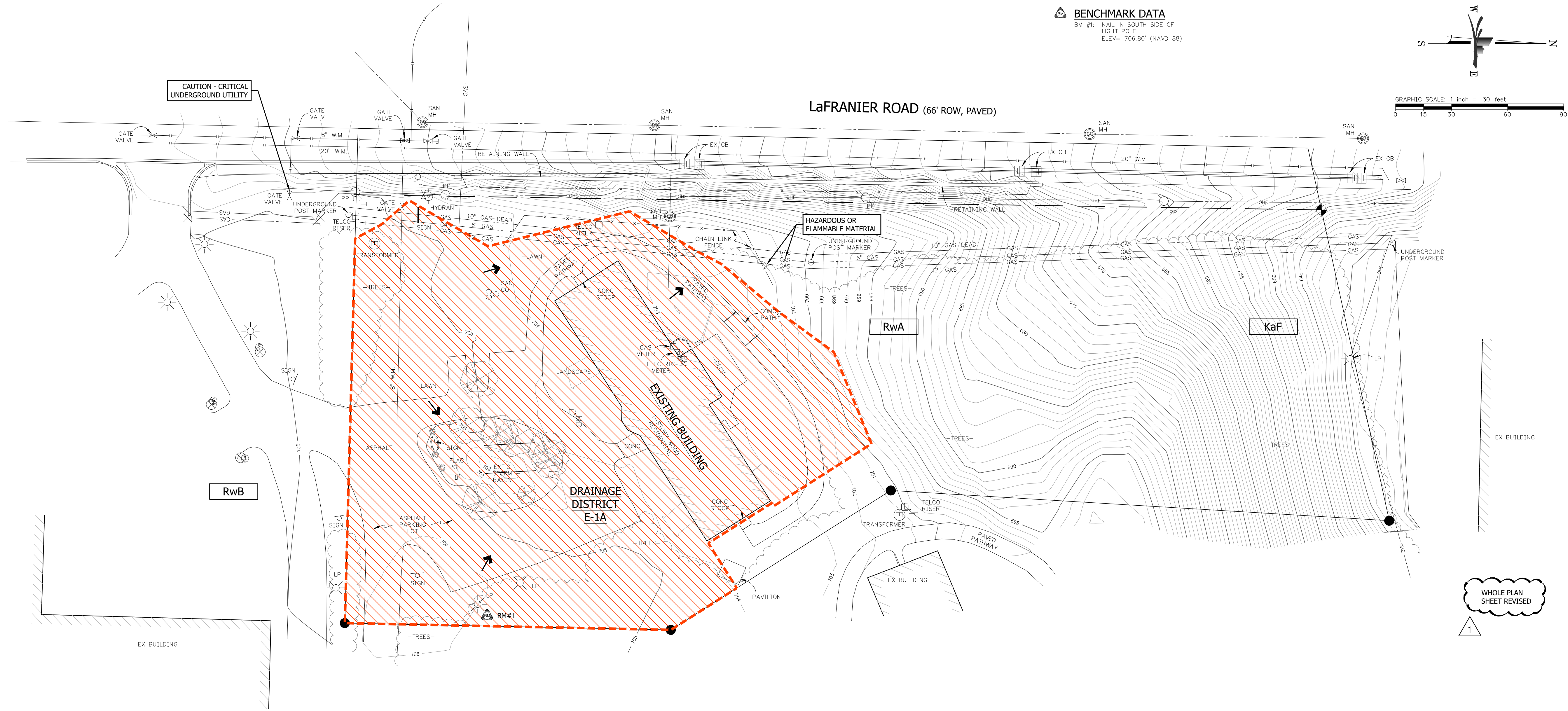
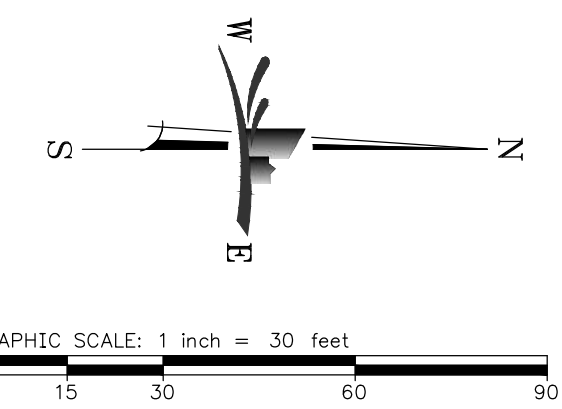
CLIENT:
 BURDCO, INC
 1222 VETERANS DRIVE, SUITE A
 TRAVERSE CITY, MI 49684

PROJECT LOCATION:
 GRAND TRAVERSE CO, MI

SHEET TITLE:
 CONSTRUCTION DETAILS

PROJECT NUMBER: 24130
 SHEET NUMBER: C5

BENCHMARK DATA
 BM #1: NAIL IN SOUTH SIDE OF
 LIGHT POLE
 ELEV= 706.80' (NAVD 88)



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 FACSIMILE: 231-947-9135
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E	REVIEW - 90% DESIGN	08/05/2024
F	ISSUED FOR CONSTRUCTION	08/05/2024
1	UPDATED PER TWP REVIEW COMMENTS	08/20/2024

REVISION REV #1 08/20/2024

DATE ISSUED: 08/05/2024

ISSUE PHASE: CONSTRUCTION

PROJECT TITLE:
PROPOSED FRENCH MANOR LaFRANIER ADDITION

CLIENT:
 BURDCO, INC.
 1222 VETERANS DRIVE, SUITE A
 TRAVERSE CITY, MI 49684

PROJECT LOCATION:
 GRAND TRAVERSE CO, MI

SHEET TITLE:
 EXISTING DRAINAGE PLAN

PROJECT NUMBER: 24130
 SHEET NUMBER: D1

EXISTING DRAINAGE AREA (E-1A)

AREA (SFT)	DESCRIPTION
48,989	> 75% GRASS, GOOD (HSG A)
48,989	TOTAL

NOTE:
 PER CHARTER TOWNSHIP OF GARFIELD ZONING ORDINANCE, THE SITE IS CONSIDERED UNDEVELOPED IN EXISTING CONDITIONS.

USDA SOIL DATA

RwA - RUBICON SAND 0 TO 2 PERCENT SLOPES
 RwB - RUBICON SAND 2 TO 6 PERCENT SLOPES
 KaF - KALKASKA LOAMY SAND 25 TO 45 PERCENT SLOPES

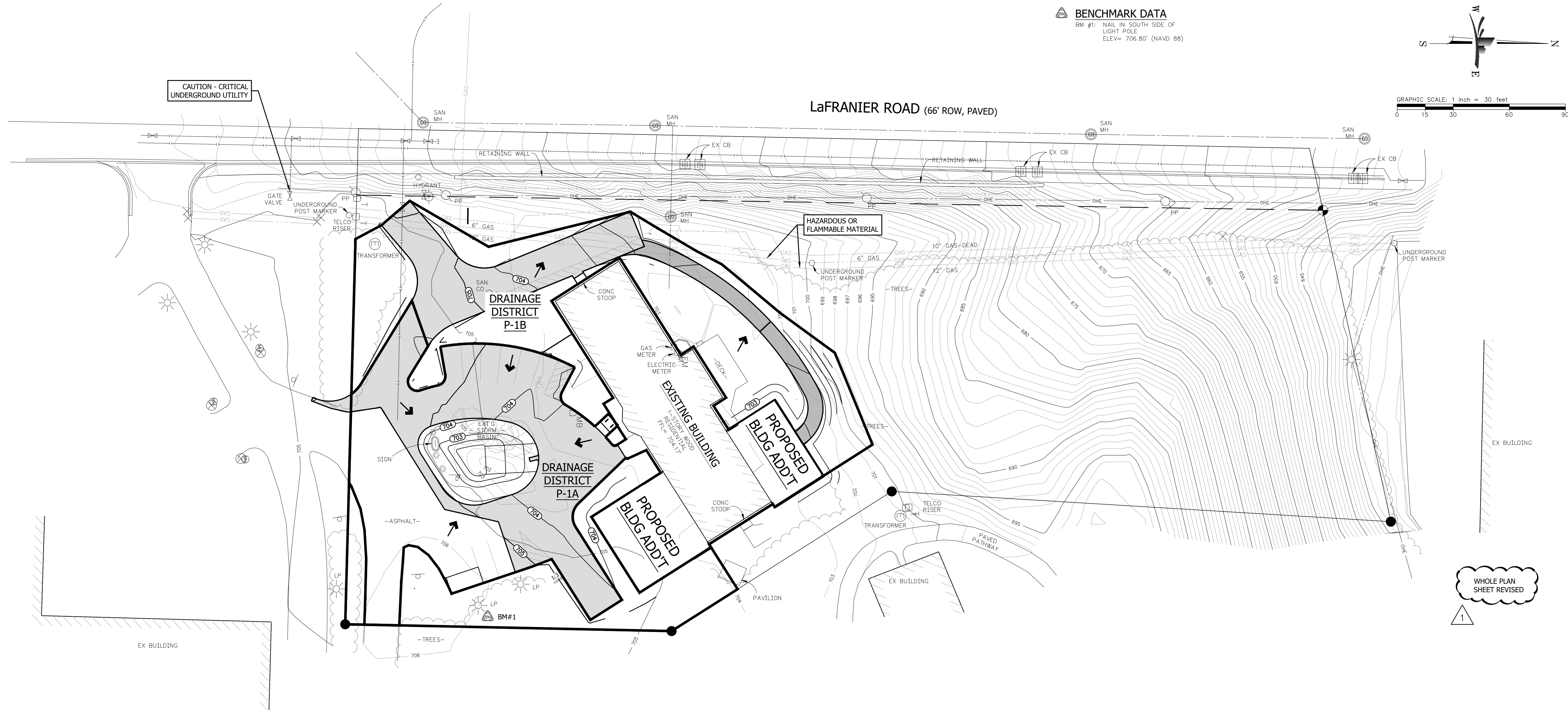
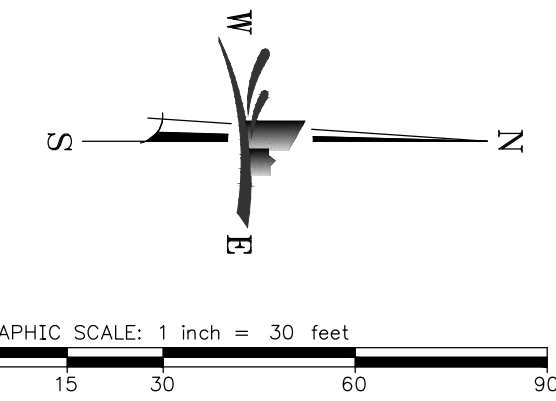
LEGEND



DRAINAGE FLOW

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BENCHMARK DATA
 BM #1: NAIL IN SOUTH SIDE OF
 LIGHT POLE
 ELEV= 706.80' (NAVD 88)



WHOLE PLAN
 SHEET REVISED

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1	UPDATED PER TWP REVIEW COMMENTS	08/05/2024

REVISION REV #1 08/22/2024

DATE ISSUED: 08/05/2024

ISSUE PHASE: CONSTRUCTION

PROJECT TITLE:

PROPOSED
 FRENCH MANOR
 LaFRANIER
 ADDITION

CLIENT:
 BURDCO, INC.
 1222 VETERANS DRIVE, SUITE A
 TRAVERSE CITY, MI 49684

PROJECT LOCATION:
 GRAND TRAVERSE CO, MI

SHEET TITLE:
 PROPOSED
 DRAINAGE PLAN

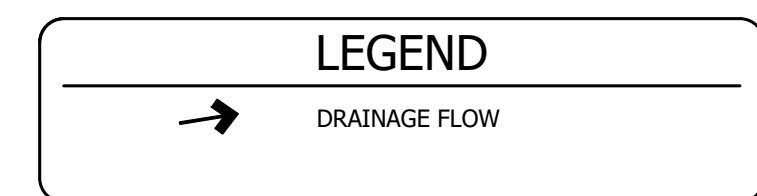
PROJECT NUMBER 24130
 SHEET NUMBER D2

PROPOSED DRAINAGE AREA TO ON-SITE BASIN (P-1A)

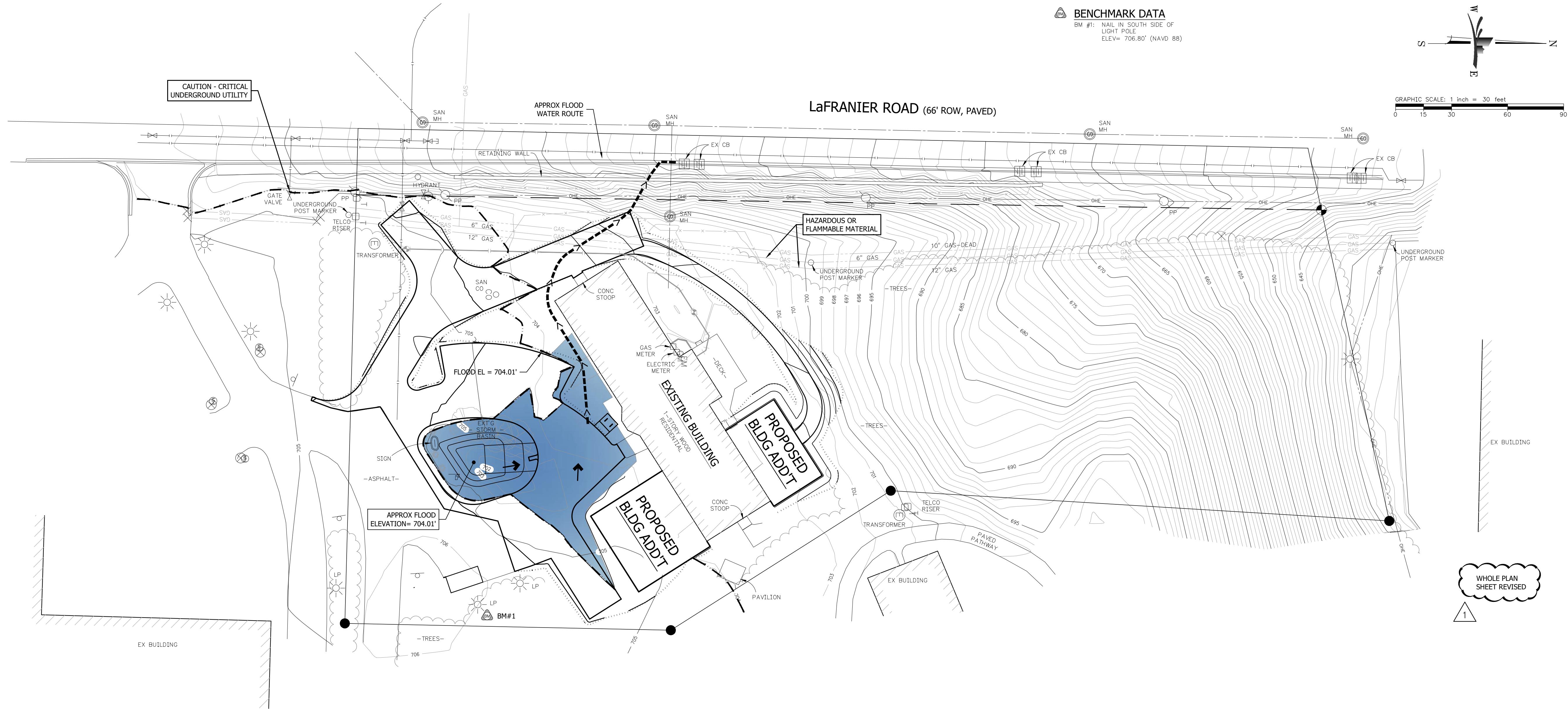
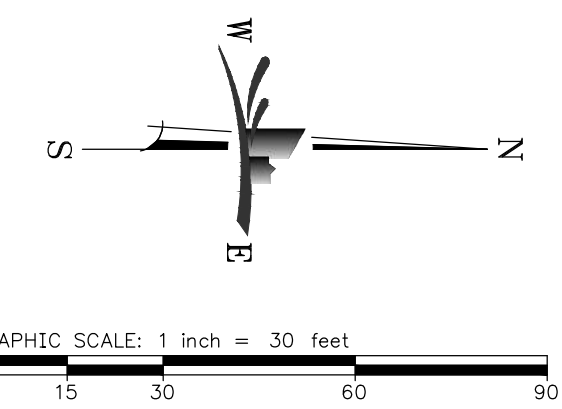
AREA (SFT)	C	ADJ	DESCRIPTION
24,055	0.99		IMPERVIOUS SURFACE
12,000	0.25		PERVIOUS, GOOD (HSG A)
36,055	0.74	1.00	WEIGHTED AVERAGE, FREQUENCY ADJUSTED

PROPOSED DRAINAGE AREA TO ON-SITE FIRE LANE & REAR SITE (P-1B)

AREA (SFT)	C	ADJ	DESCRIPTION
4,935	0.99		IMPERVIOUS SURFACE
7,999	0.25		PERVIOUS, GOOD (HSG A)
12,934	0.53	1.00	WEIGHTED AVERAGE, FREQUENCY ADJUSTED



BENCHMARK DATA
 BM #1: NAIL IN SOUTH SIDE OF
 LIGHT POLE
 ELEV= 706.80' (NAVD 88)



WHOLE PLAN
 SHEET REVISED

NOTE
 1. VERTICAL DATUM IS NAVD88,
 CONTOUR INTERVAL IS 1.0 FEET.

LEGEND

	FLOOD AREA
	EXISTING CONTOURS
	PROPOSED CONTOUR
	DRAINAGE FLOW
	Flood Elevation
	Water Flow

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E	REVIEW - 90% DESIGN	08/05/2024
F	ISSUED FOR CONSTRUCTION	08/05/2024
1	UPDATED PER TWP REVIEW COMMENTS	08/22/2024

REVISION | REV #1 | 08/22/2024
 DATE ISSUED: 08/05/2024
 ISSUE PHASE: CONSTRUCTION

PROJECT TITLE:
PROPOSED FRENCH MANOR LaFRANIER ADDITION

CLIENT:
 BURDCO, INC.
 1222 VETERANS DRIVE, SUITE A
 TRAVERSE CITY, MI 49684

PROJECT LOCATION:
 GRAND TRAVERSE CO, MI

SHEET TITLE:
FLOOD ROUTE PLAN

PROJECT NUMBER: 24130
 SHEET NUMBER: D3

BENCHMARK DATA
 BM #1: NAIL IN SOUTH SIDE OF LIGHT POLE
 ELEV= 706.80' (NAVD 88)

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STATE OF MICHIGAN
 ERIC R. SANDMANN
 License No. 6201313372
 08/28/2024
 LICENSED PROFESSIONAL ENGINEER

ON 22x34 SHEET SCALE: FULL (AS NOTED)
 ON 11x17 SHEET SCALE: HALF

REV	DESCRIPTION	DATE
A	REVIEW - 50% DESIGN	08/05/2024
B	REVIEW - 75% DESIGN	08/05/2024
C	REVIEW - 75% DESIGN	08/05/2024
D	ISSUED FOR PERMIT	08/05/2024
E	REVIEW - 50% DESIGN	08/05/2024
F	ISSUED FOR CONSTRUCTION	08/05/2024
1	UPDATED PER TRF REVIEW COMMENTS	08/05/2024

REVISION REV #1 08/22/2024
 DATE ISSUED: 08/05/2024
 ISSUE PHASE: CONSTRUCTION

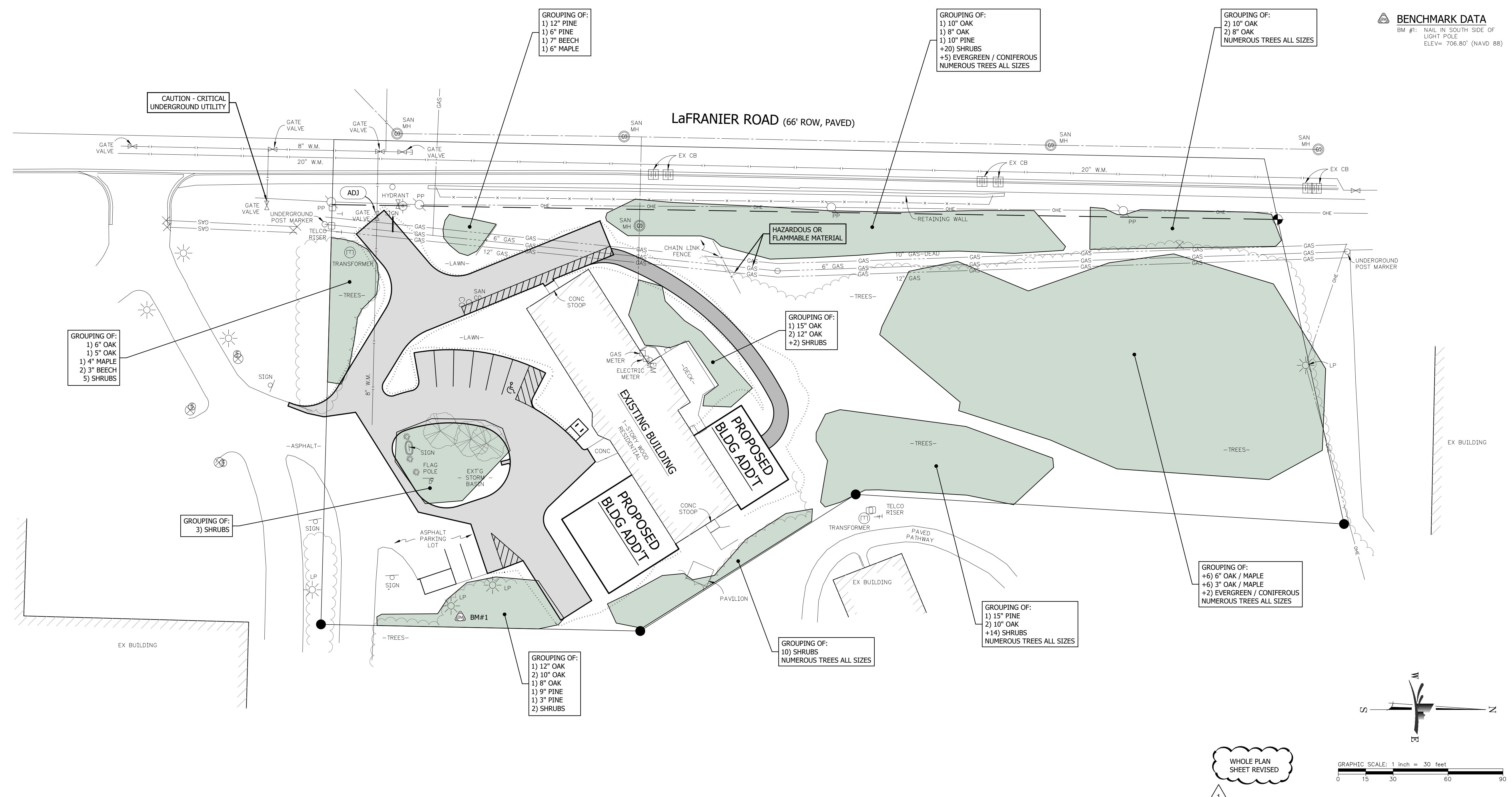
PROJECT TITLE:
PROPOSED FRENCH MANOR LaFRANIER ADDITION

CLIENT:
 BURDCO, INC
 1222 VETERANS DRIVE, SUITE A
 TRAVERSE CITY, MI 49684

PROJECT LOCATION:
GRAND TRAVERSE CO, MI

SHEET TITLE:
SITE LANDSCAPE CONDITIONS

PROJECT NUMBER **24130**
 SHEET NUMBER **L1**



LANDSCAPING REQUIREMENT CALCULATION

PROPERTY LINE	REQUIRED BUFFER TYPE	LENGTH OF BUFFER	REQUIRED PLANTINGS	EXISTING TREES	EXISTING TREES CREDIT	EXISTING + TREE CREDIT	TOTAL PROPOSED
NORTH	Type C	170 FT	6 Large Trees 6 Medium / Small Trees 24 shrubs	Six (6) 6" Large Canopy Trees Six (6) 3" Medium Trees Two (2) Small Evergreen Trees Twenty-four (24) Shrubs	1:3 1:2 1:1 1:1	18 Large Trees 12 Medium Trees 2 Small Trees 24 Shrubs	18 Large Trees 14 Medium / Small Trees 24 Shrubs
EAST	Type B	550 FT	12 Large Trees 6 Medium / Small Trees 24 Shrubs	One (1) 12" Large Canopy Tree Three (3) 10" Large Canopy Tree One (1) 8" Large Canopy Tree One (1) Large Evergreen Tree Greater than 16' One (1) Medium Evergreen Tree Greater than 16' Two (1) Medium Evergreen Tree 12' - 16' Twenty-four (24) Shrubs	1:4 1:3 1:3 1:4 1:4 1:3 1:1	4 Large Trees 9 Large Trees 3 Large Trees 4 Large Trees 4 Medium Trees 6 Medium Trees 24 Shrubs	20 Large Trees 10 Medium / Small Trees 24 Shrubs
SOUTH	Type B	230 FT	4 Large Trees 2 Medium / Small Trees 8 Shrubs	One (1) 6" Large Canopy Tree One (1) 5" Large Canopy Tree One (1) 4" Medium Canopy Tree Two (2) 3" Medium Canopy Tree Eight (8) Shrubs	1:3 1:2 1:2 1:2 1:1	3 Large Trees 2 Large Trees 2 Medium Trees 4 Medium Trees 8 Shrubs	5 Large Trees 6 Medium / Small Trees 8 Shrubs
WEST	Type C	500 FT	15 Large Trees 15 Medium / Small Trees 5 Evergreen / Coniferous Trees	One (1) 15" Large Canopy Tree Two (2) 12" Large Canopy Tree Three (3) 10" Large Canopy Tree Three (3) 8" Large Canopy Tree Three (3) Medium Evergreen Trees Greater than 16' One (1) 7" Medium Canopy Tree One (1) 6" Medium Canopy Tree Five (5) Evergreen / Coniferous Trees	1:5 1:5 1:4 1:3 1:4 1:3 1:3 1:1	5 Large Trees 10 Large Trees 12 Large Trees 9 Large Trees 12 Medium Trees 3 Medium Trees 3 Medium Trees 5 Evergreen / Coniferous Trees	36 Large Trees 18 Medium Trees 5 Evergreen / Coniferous Trees

E:\MACHIN ENGINEERING, INC\ME - PROJECTS\2024\24130_BURDCO_MJ\FRENCH MANOR - LaFRANIER - GARBELLO\DRAWINGS\24130_LSC_REV.DWG (08-28-24 2:06 PM) KIRTSCHULTZ

**PHOTOMETRIC EVALUATION
 NOT FOR CONSTRUCTION**
 Based on the information provided, all dimensions and luminaire locations represent a recommended application. The engineer and/or architect must determine the applicability of the layout regarding existing or future field conditions.
 This lighting layout represents illumination levels calculated using laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved method. Actual performance of a manufacturer's luminaire may vary due to changes in electrical voltage, tolerance in LEDs, and other field conditions. Calculations may not include obstructions such as buildings, curbs, landscaping, or other architectural elements. Future nomenclature may not include mounting hardware or poles. This layout is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

DESIGNED FOR:

FRENCH MANOR
 ADDRESS

SALES

A GRACE

DATE

8.9.2024

DESIGNER

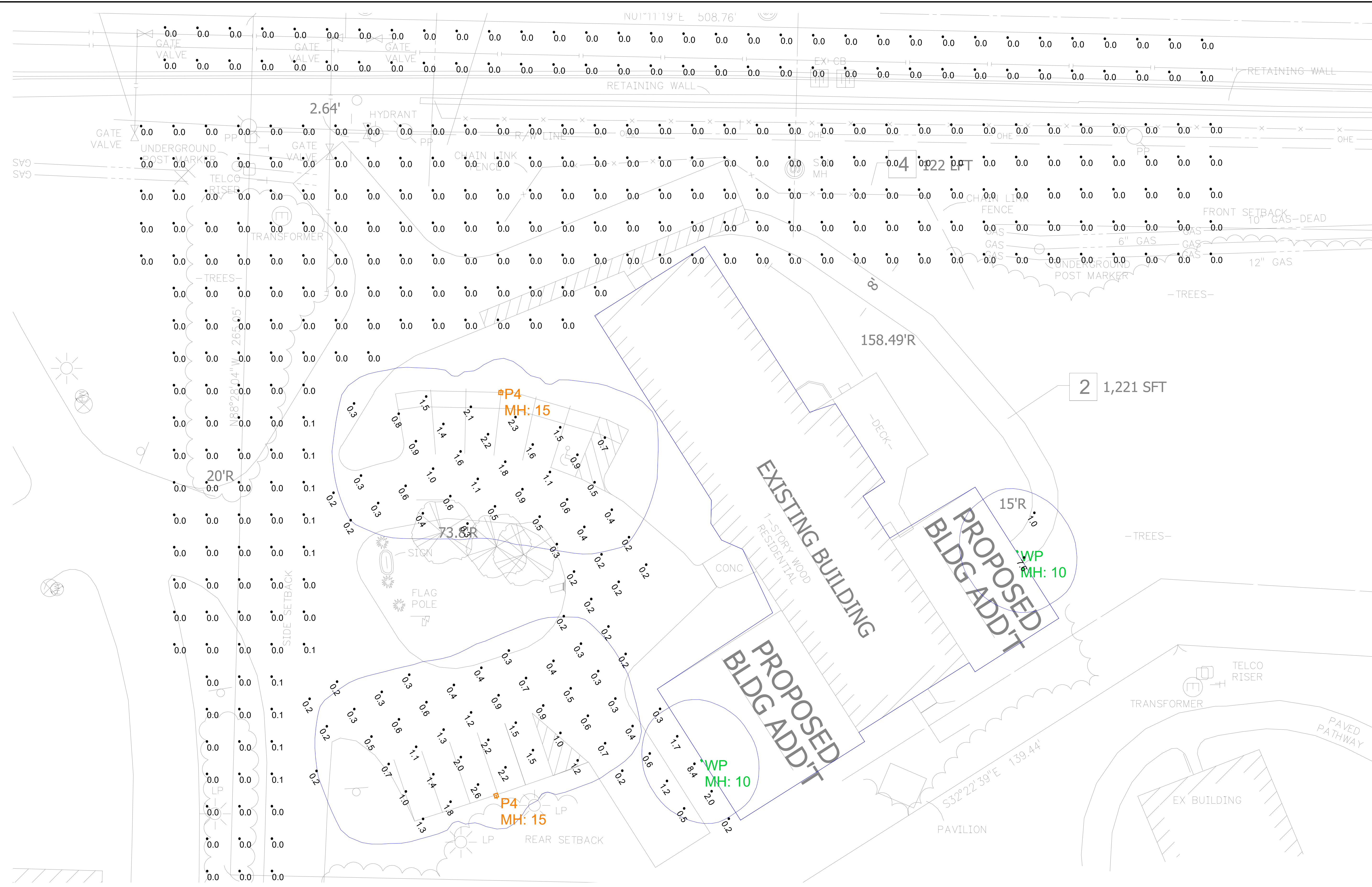
J YONKERS

REVISIONS

DATE	NAME
XX	XX

SHEET

1

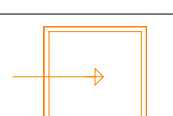


PHOTOMETRIC PLAN

SCALE: NTS

Luminaire Schedule

Scenario: GEN

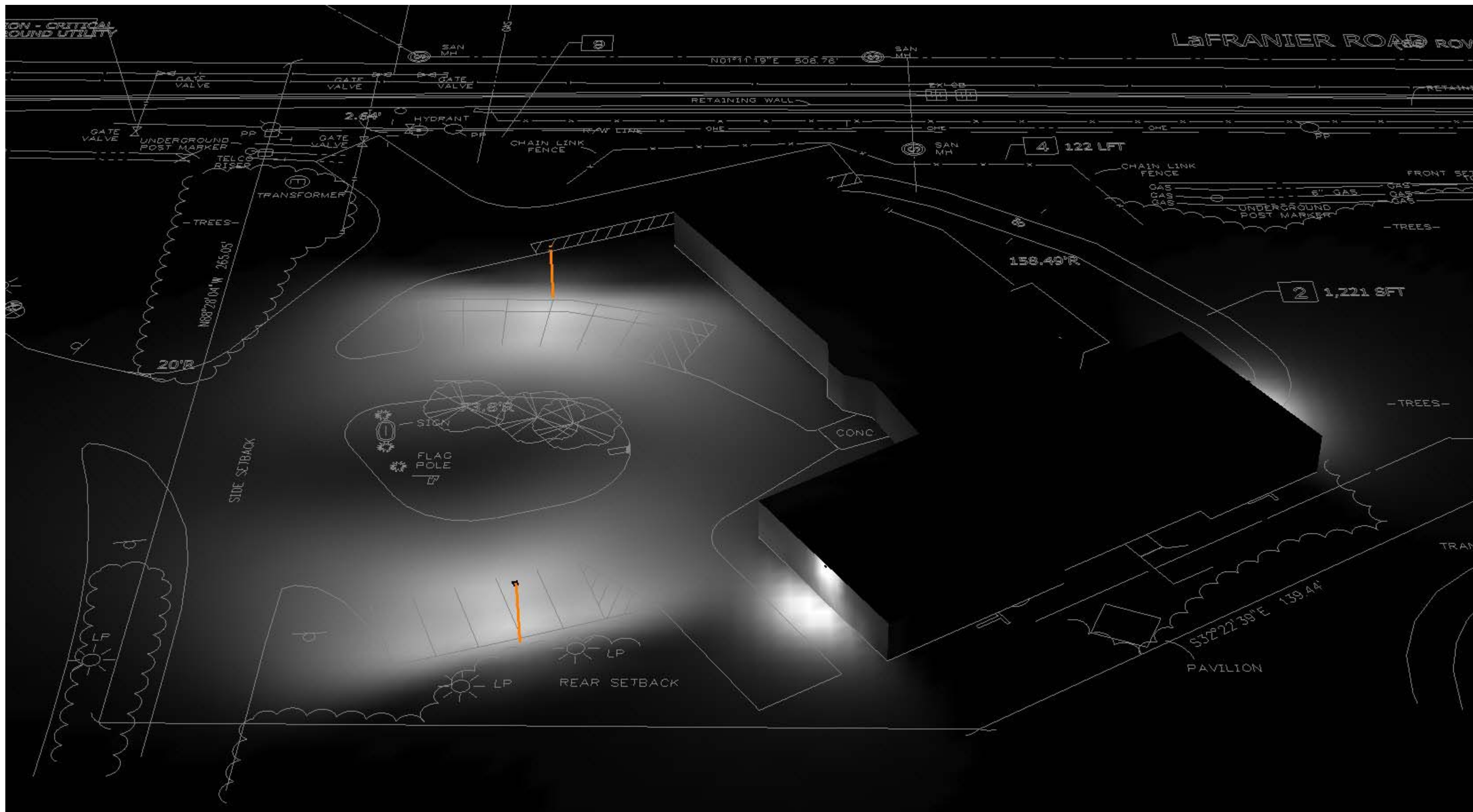
SYMBOL	QTY	LABEL	ARRANGMENT	LLF	[MANUFAC]	DESCRIPTION	MNT HEIGHT	MNT TYPE	TLT WATTS	LUMENS
	2	P4	Single	0.921	COOPER - LUMARK	PRV-PA1A-730-U-T4W-HSS	15	POLE	108	4936
	2	WP	Single	0.921	COOPER - LUMARK	ASWPLED1S-15W-3000K	10	WALL	30	2026

Calculation Summary

Scenario: GEN

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
LIGHT TRESPASS	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.
PARKING LOT	Illuminance	Fc	0.97	8.4	0.2	4.85	42.00
PROPERTY	Illuminance	Fc	0.00	0.1	0.0	N.A.	N.A.

NOTES:
- CALC AT GRADE



CTA LIGHTING & CONTROLS
908C West River Center Dr
Comstock Park, MI 49321
616.647.2400
www.cta-lc.com

**PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION**
Based on the information provided, all dimensions and luminaire locations represent a recommended application. The engineer and/or architect must determine the applicability of the layout regarding existing or future field conditions.
This lighting layout represents illumination levels calculated using laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved method. Actual performance of a manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in LEDs, and other field conditions. Calculations may not include obstructions such as buildings, curbs, landscaping, or other architectural elements. Future nomenclature may not include mounting hardware or poles. This layout is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

DESIGNED FOR:

FRENCH MANOR
ADDRESS

SALES

A GRACE

DATE

8.9.2024

DESIGNER

J YONKERS

REVISIONS

DATE	NAME
XX	XX

SHEET

2

SCHEDULES

SCALE: NTS

Project		Catalog #		Type	
Prepared by		Notes		Date	



Lumark

Prevail Discrete LED

Area / Site Luminaire

Product Features



Product Certifications



Interactive Menu

- Ordering Information [page 2](#)
- Mounting Details [page 3, 4](#)
- Optical Configurations [page 5](#)
- Product Specifications [page 5](#)
- Energy and Performance Data [page 6](#)
- Control Options [page 8](#)

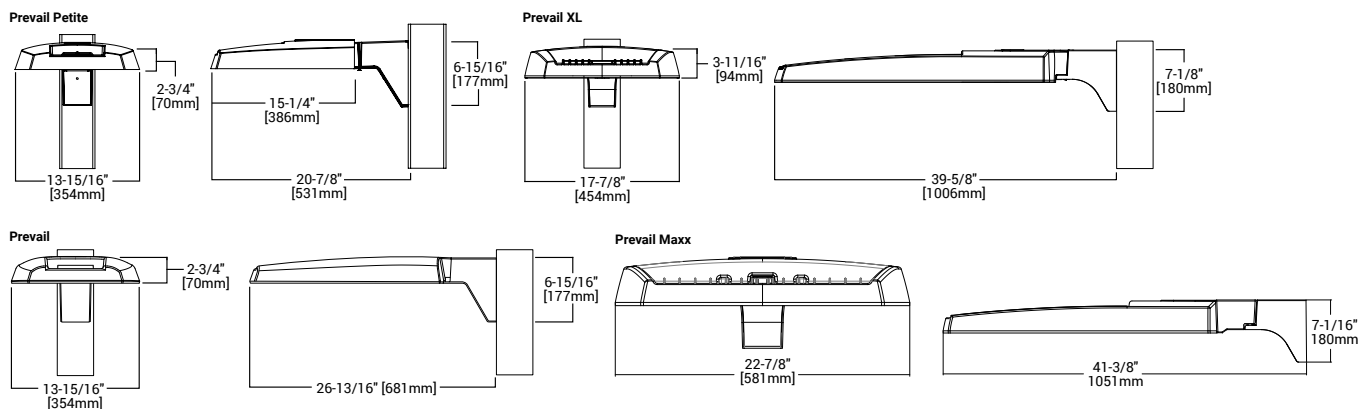
Quick Facts

- Direct-mounted discrete light engine for improved optical uniformity and visual comfort
- Lumen packages range from 4,300 - 68,000 nominal lumens (30W - 550W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 157 lumens per watt
- Standard universal quick mount arm with universal drill pattern

Connected Systems

- WaveLinx PRO Wireless
- WaveLinx LITE Wireless

Dimensional Details




NOTES:
 1. Visit <https://www.designlights.org/search/> to confirm qualification. Not all product variations are DLC qualified.
 2. IDA Certified for 3000K CCT and warmer only.

Ordering Information

SAMPLE NUMBER: PRV-XL-PA4B-740-U-T4W-BZ

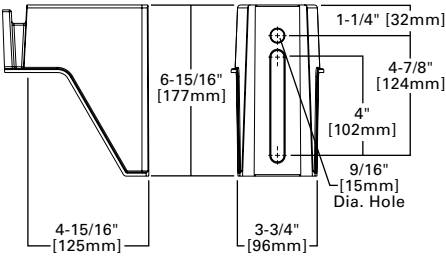
Product Family ^{1,2}	Light Engine		Color Temperature	Voltage	Distribution	Mounting (Included)	Finish			
	Configuration	Drive Current ⁴								
PRV-P =Prevail Petite BAA-PRV-P =Prevail Petite BAA Buy American Act Compliant ³ TAA-PRV-P =Prevail Petite TAA Trade Agreements Act Compliant ³	PA1 =1 Panel, 24 LED Rectangle	A =400mA Nominal B =700mA Nominal C =950mA Nominal D =1200mA Nominal	740 =70CRI, 4000K 730 =70CRI, 3000K 750 =70CRI, 5000K 8540 =85CRI, 4000K	U =Universal, 120-277V H =High Voltage, 347-480V 1=120V 2=208V 3=240V 4=277V 8=480V ⁵ 9=347V DV =DuraVolt, 277-480V ^{5,6}	T2R =Type II Roadway T2U =Type II Urban T3 =Type III T4W =Type IV Wide 5WQ =Type V Square Wide	SA=QM Standard Versatile Arm MA =QM Mast Arm FMA =Fixed Mast Arm ²⁷ WM =QM Wall Mount Arm ADJA-WM = Adjustable Arm - Wall Mount ²⁹ ADJA =Adjustable Arm - Pole Mount ²⁹ ADJS =Adjustable Arm - Slipfitter, 3" vertical tenon ²⁹ SP2 =Adjustable Arm - Slipfitter, 2 3/8" vertical tenon ^{27, 29}	AP =Grey BZ =Bronze BK =Black DP =Dark Platinum GM =Graphite Metallic WH =White			
PRV-Prevail BAA-PRV-Prevail BAA Buy American Act Compliant ³ TAA-PRV-Prevail TAA Trade Agreements Act Compliant ³	PA1 =1 Panel, 24 LED Rectangle PA2 =2 Panels, 48 LED Rectangles	A=700mA Nominal B=950mA Nominal								
PRV-XL =PRV XL BAA-PRV-XL =Prevail XL BAA Buy American Act Compliant ³ TAA-PRV-XL =Prevail XL TAA Trade Agreements Act Compliant ³	PA3 =3 Panels, 72 LED Rectangles PA4 =4 Panels, 96 LED Rectangles	A=750mA Nominal B=950mA Nominal								
PRV-M =Prevail Maxx BAA-PRV-M =Prevail Maxx BAA Buy American Act Compliant ³ TAA-PRV-M =Prevail Maxx TAA Trade Agreements Act Compliant ³	PA6 = 6 Panels, 144 LED Rectangles	A =600mA Nominal B =800mA Nominal C =1000mA Nominal D =1200mA Nominal								
Options (Add as Suffix)			Accessories (Order Separately) ^{20, 21}							
10K =10kV UL 1449 Fused Surge Protective Device 20MSP =20kV MOV Surge Protective Device 20K =20kV UL 1449 Fused Surge Protective Device F =Single Fuse (Used with Voltages 120, 277 or 347V) FF =Double Fuse (Used with Voltages 208, 240 or 480V) FADC =Field Adjustable Dimming Controller ³⁰ L90 =Optics Rotated 90° Left R90 =Optics Rotated 90° Right CC =Coastal Construction finish ⁹ HSS =House Side Shield (Factory Installed) ⁷ HA =50°C High Ambient Temperature ⁸ PR =NEMA 3-PIN Twistlock Photocontrol Receptacle ¹⁰ PR7 =NEMA 7-PIN Twistlock Photocontrol Receptacle ¹⁰ MS7/DIM-L08 =Motion Sensor for Dimming Operation, Up to 8' Mounting Height ^{11, 12, 13} MS7/DIM-L20 =Motion Sensor for Dimming Operation, 9' - 20' Mounting Height ^{11, 12, 13} MS7/DIM-L40 =Motion Sensor for Dimming Operation, 21' - 40' Mounting Height ^{11, 12, 13} SPB1 =Motion Sensor for Dimming Operation, BLE Interface, Up to 8' Mounting Height ^{11, 14} SPB2 =Motion Sensor for Dimming Operation, BLE Interface, 8' - 20' Mounting Height ^{11, 14, 27, 28} SPB4 =Motion Sensor for Dimming Operation, BLE Interface, 21' - 40' Mounting Height ^{11, 14, 28}			WPS2XX =Wavelinx Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting Height ^{11, 12, 15, 16, 17} WPS4XX =Wavelinx Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting Height ^{11, 12, 15, 16, 17} WLS2XX =WaveLinx Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting ^{11, 12, 15, 16, 17} WLS4XX =WaveLinx Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting ^{11, 12, 15, 16, 17} (See Table Below) =LumenSafe Integrated Network Security Camera ^{18, 19}			PRVSA-XX =Standard Arm Mounting Kit ²² PRVMA-XX =Mast Arm Mounting Kit ²² PRVWM-XX =Wall Mount Kit ²² PRV-ADJA-XX =Adjustable Arm - Pole Mount Kit ²² PRV-ADJS-XX =Adjustable Arm - Slipfitter Kit ²² PRV-ADJA-WM-XX =Adjustable Arm - Wall Mount Kit ²² PRVXLSA-XX =Standard Arm Mounting Kit ²⁸ PRVXLSMA-XX =Mast Arm Mounting Kit ²⁸ PRVXLWM-XX =Wall Mount Kit ²⁸ PRV-XL-ADJA-XX =Adjustable Arm - Pole Mount Kit ²⁸ PRV-XL-ADJA-WM-XX = Adjustable Arm - Wall Mount Kit ²⁸ PRV-XL-ADJS-XX = Adjustable Arm - Slipfitter Kit ²⁸ PRV-M-ADJA-XX =Adjustable Arm - Pole Mount Kit ²⁷ PRV-M-ADJS-XX =Adjustable Arm - Slipfitter Kit ²⁷ PRV-M-ADJA-WM-XX =Adjustable Arm - Wall Mount Kit ²⁷ MA1010-XX =Single Tenon Adapter for 3-1/2" O.D. Tenon MA1011-XX =2@180° Tenon Adapter for 3-1/2" O.D. Tenon MA1017-XX =Single Tenon Adapter for 2-3/8" O.D. Tenon MA1018-XX =2@180° Tenon Adapter for 2-3/8" O.D. Tenon SRA238 =Tenon Adapter from 3" to 2-3/8" PRV/DIS-FDV =Full Drop Visor ²³ PRVXL/DIS-FDV =Full Drop Visor ¹⁸ HSS-VP =House Side Shield Kit, Vertical Panel ^{7, 24} HSS-HP =House Side Shield Kit, Horizontal Panel ^{7, 24} VGS-ARCH = Panel Drop Shield, Short VGL-ARCH = Panel Drop Shield, Long OA/RA1013 =Photocontrol Shorting Cap OA/RA1014 =NEMA Photocontrol - 120V OA/RA1016 =NEMA Photocontrol - Multi-Tap 105-285V OA/RA1201 =NEMA Photocontrol - 347V OA/RA1027 =NEMA Photocontrol - 480V FSIR-100 =Wireless Configuration Tool for Occupancy Sensor ²⁵ WOLC-7P-10A =WaveLinx Outdoor Control Module (7-PIN) ²⁶				
NOTES: 1. DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details. 2. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications. Refer to installation instructions and pole white paper WPS13001EN for additional support information. 3. Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to www.designlights.org website for more information. Components shipped separately may be separately analyzed under domestic preference requirements. 4. Nominal drive currents shown here. For actual drive current by configuration, refer to Power and Lumens tables. 5. 480V not to be used with ungrounded or impedance grounded systems. 6. DuraVolt drivers feature added protection from power quality issues such as loss of neutral, transients and voltage fluctuations. Visit www.signify.com/duravolt for more information. 7. House Side Shield not for use with 5WQ distribution. 8. Not available with PATD light engine in Petite housing (PRV-P). 9. Coastal construction finish salt spray tested to over 5,000-hours per ASTM B117, with a scribe rating of 9 per ASTM D1654. 10. If High Voltage (H) or DuraVolt (DV) is specified, use a photocontrol that matches the input voltage used. 11. Controls system is not available in combination with a photocontrol receptacle (PR or PR7) or another controls system (MS SPB). 12. Option not available with High Voltage (H) or DuraVolt (DV). Must specify Universal (U), 347V (9), or 480V (8) voltage. 13. Utilizes the Wattstopper sensor FSP-211. Sensor color white unless specified otherwise via PDR. To field-configure, order FSIR-100 accessory separately. 14. Utilizes the Wattstopper sensor FSP-3XX series. Sensor color determined by product finish. See Sensor Color Reference Table. Field-configures via mobile application. See Controls section for details. 15. Sensor passive infrared (PIR) may be overly sensitive when operating below -20°C (-4°F). 16. In order for the device to be field-configurable, requires WAC Gateway components WAC-PoE and WPOE-120 in appropriate quantities. Only compatible with WaveLinx system and software and requires system components to be installed for operation. See website for more WaveLinx application information. 17. Replace XX with sensor color (WH, BZ or BK). 18. Only available in PRV-XL configurations. 19. Not available with High Voltage (H, DV, 8 or 9) or HA options. Consult LumenSafe system product pages for additional details and compatibility information. 20. Replace XX with paint color. 21. For BAA or TAA requirements, Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information. 22. Not for use with PRV-XL or PRV-M configurations. 23. Only for use with PRV. Not applicable to PRV-M, PRV-XL, or PRV-P. 24. Must order one per optic/LED when ordering as a field-installable accessory (1, 2, 3, 4, or 6). Refer to House Side Shield reference table for details. 25. This tool enables adjustment to Motion Sensor (MS) parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative for more information. 26. Requires 7-PIN NEMA twistlock photocontrol receptacle (PR7) option. The WOLC-7 cannot be used in conjunction with other controls systems (MS or LWR). Only for use at 120-347V. 27. Only available for PRV-M configurations. 28. Only for use with PRV-XL. 29. Fixed for PRV-M. 30. Cannot be used with PR7 or other motion response control options.										

LumenSafe Integrated Network Security Camera Technology Options (Add as Suffix)

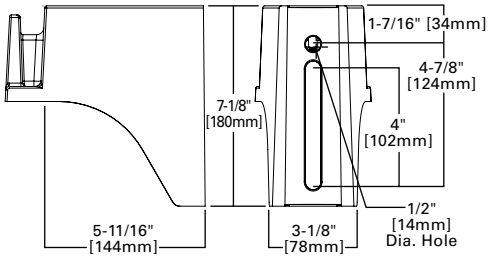
Product Family	Camera Type	Data Backhaul
L =LumenSafe Technology 	H =Dome Camera, High Res Z =Dome Camera, Remote PTZ	C =Cellular, Customer Installed SIM Card A =Cellular, Factory Installed AT&T SIM Card V =Cellular, Factory Installed Verizon SIM Card S =Cellular, Factory Installed Sprint SIM Card E =Ethernet Networking

Mounting Details

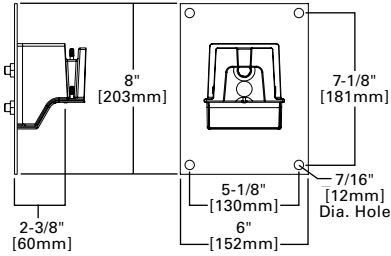
SA=QM Pole Mount Arm (PRV & PRV-P)



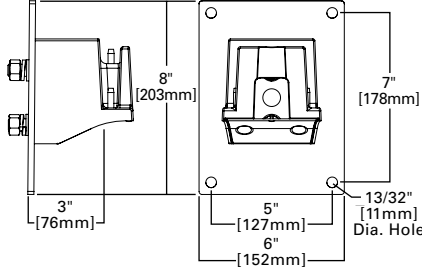
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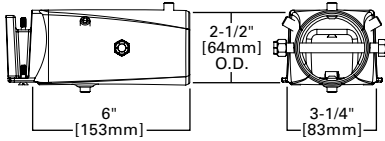
WM=QM Wall Mount Arm (PRV & PRV-P)



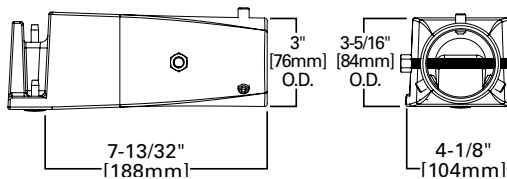
WM=QM Wall Mount Arm (PRV-XL)



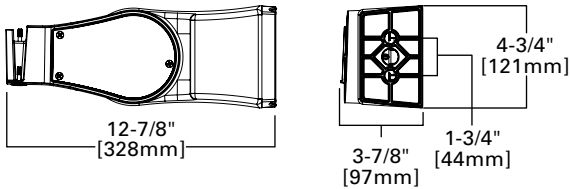
MA=QM Mast Arm (PRV & PRV-P)



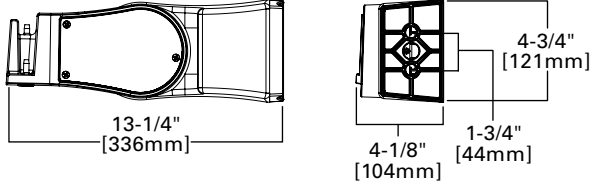
MA=QM Mast Arm (PRV-XL)



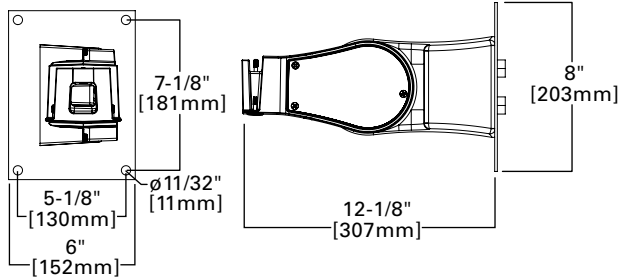
ADJA=Adjustable Arm Pole Mount (PRV & PRV-P)



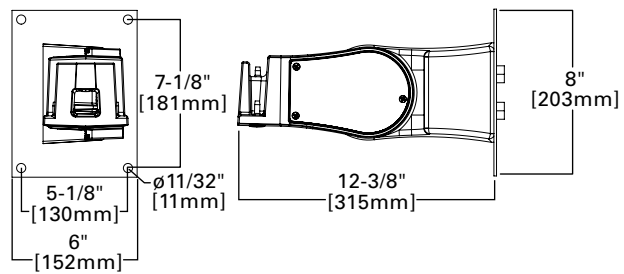
ADJA=Adjustable Arm Pole Mount (PRV-XL)



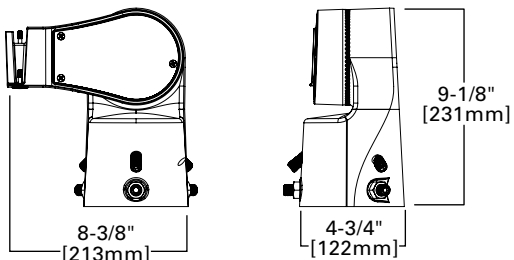
ADJA-WM=Adjustable Arm Wall Mount (PRV & PRV-P)



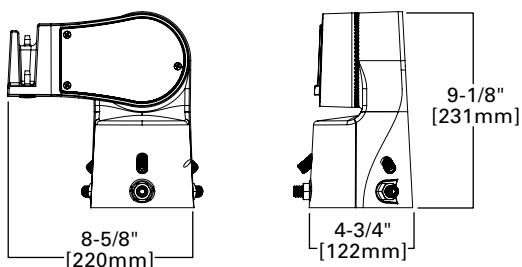
ADJA-WM=Adjustable Arm Wall Mount (PRV-XL)



ADJS=Adjustable Slipfitter 3 (PRV & PRV-P)

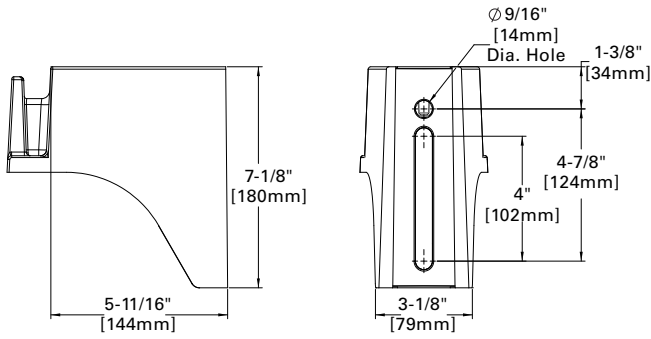


ADJS=Adjustable Slipfitter 3 (PRV-XL)

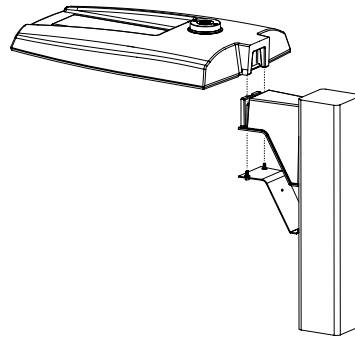


Mounting Details

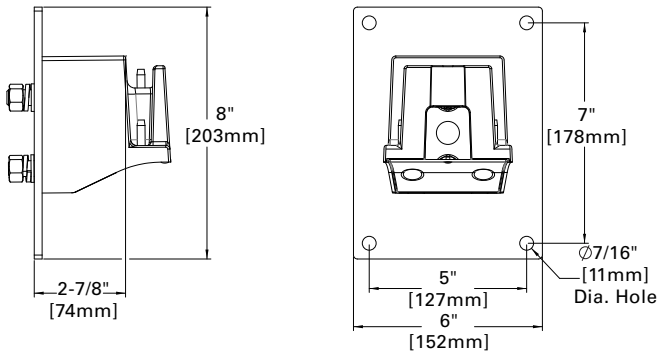
SA=QM Pole Mount Arm (PRV-M)



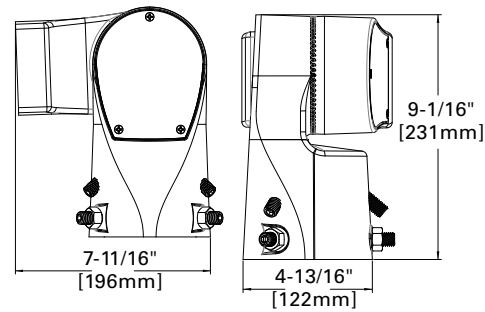
Versatile Mount System



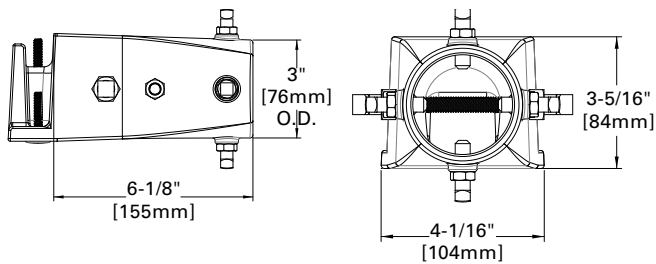
WM=QM Wall Mount Arm (PRV-M)



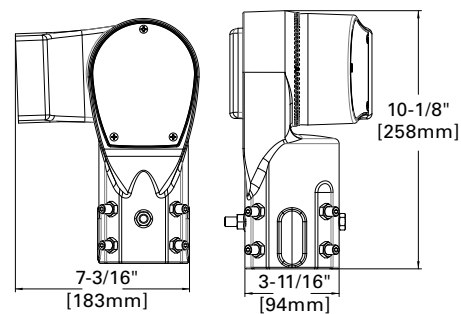
ADJS=Adjustable Slipfitter (PRV-M)



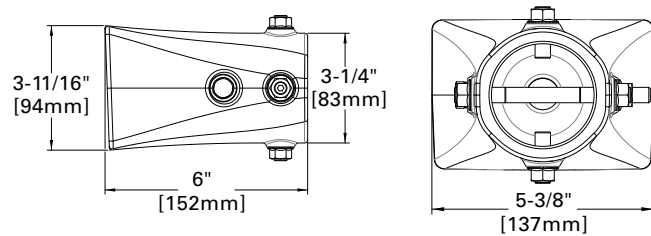
MA=QM Mast Arm (PRV-M)



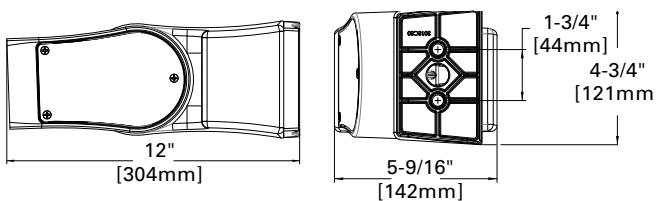
SP2=Adjustable Slipfitter 2-3/8" (PRV-M)



FMA=Fixed Mast Arm (PRV-M)



ADJA=Adjustable Pole Mount Arm (PRV-M)



Mounting Details

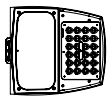
Mounting Configurations and EPAs

NOTE: For 2 PRV's mounted at 90°, requires minimum 3" square or 4" round pole for fixture clearance. For 2 PRV-XL's mounted at 90°, requires minimum 4" square or round pole for fixture clearance. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications

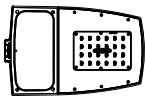
Housing Size	Tilt Angle (Degrees)	Arm Mount Single	Arm Mount 2 @ 180°	Arm Mount 2 @ 90°	Arm Mount 3 @ 90°	Arm Mount 4 @ 90°
Prevail Petite	0°	0.54	1.08	0.84	1.38	1.38
	60°	1.68	1.85	2.42	3.15	3.30
Prevail	0°	0.92	1.35	1.42	1.63	1.63
	60°	2.20	2.40	3.05	3.88	4.07
	60° + Full Drop Visor	2.20	2.40	3.25	4.28	4.47
Prevail XL	0°	1.12	2.25	2.13	2.52	2.52
	60°	3.99	4.30	5.26	6.51	6.79
	60° + Full Drop Visor	3.99	4.30	5.59	7.17	7.49
Prevail Maxx	0°	1.28	2.56	1.7	2.69	2.69
	60°	5.09	5.52	6.34	7.49	7.81

Optical Configurations

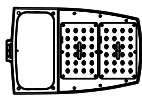
PRV-P-PA1X



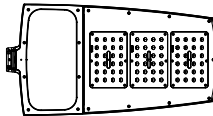
PRV-PA1X



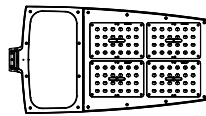
PRV-PA2X



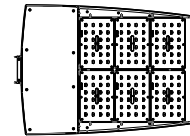
PRV-XL-PA3X



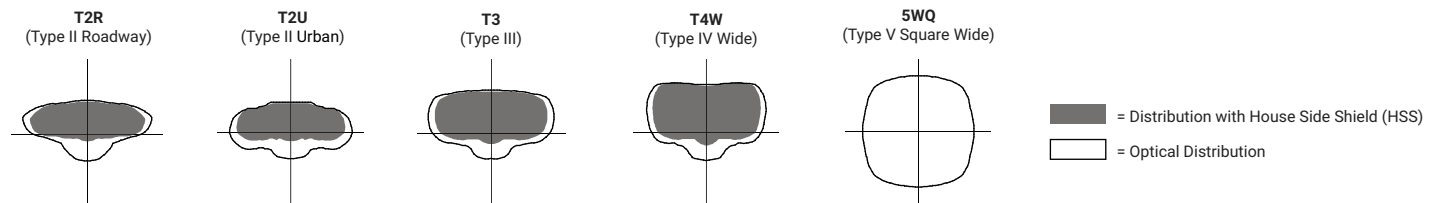
PRV-XL-PA4X



PRV-M-PA6X



Optical Distributions



Product Specifications

Construction

- Single-piece die-cast aluminum housing
- Tethered die-cast aluminum door

Optics

- Dark Sky Approved (3000K CCT and warmer only)
- Precision molded polycarbonate optics

Electrical

- -40°C minimum operating temperature
- 40°C maximum operating temperature
- >.9 power factor
- <20% total harmonic distortion
- Class 1 electronic drivers have expected life of 100,000 hours with <1% failure rate
- 0-10V dimming driver is standard with leads external to the fixture
- Standard MOV surge protective device designed to withstand 10kV of transient line surge

- Luminaire available with the field adjustable dimming controller (FADC) to manually adjust wattage and reduce the total lumen output and light levels; Comes pre-set to the highest position at the lumen output selected

Mounting

- Versatile, patented, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8" (Type M drilling recommended for new installations)
- A knock-out on the standard mounting arm enables round pole mounting
- Adjustable pole and wall mount arms adjust in 5° increments from 0° to 60°; Downward facing orientation only (Type N drilling required for ADJA mount)
- Adjustable slipfitter arm adjusts in 5° increments from -5° to 85°; Downward facing orientation only
- Prevail and Prevail Petite: 3G vibration rated (all arms)
- Prevail XL Mast Arm: 3G vibration rated

- Prevail XL Standard Arm: 1.5G vibration rated
- Adjustable Arms: 1.5G vibration rated

Finish

- Five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness
- Finish is compliant to 3,000 hour salt spray standard (per ASTM B117)

Typical Applications

- Parking lots, Walkways, Roadways and Building Areas

Shipping Data

- Prevail Petite: 18 lbs. (7.94 kgs.)
- Prevail: 20 lbs. (9.09 kgs.)
- Prevail XL: 45 lbs. (20.41 kgs.)
- Prevail Maxx: 49 lbs. (22.23 kgs.)

Warranty

- Five year limited warranty, consult website for details. www.cooperlighting.com/legal

Energy and Performance Data

Power and Lumens

[View PRV-P IES files](#)

[View PRV IES files](#)

[View PRV-XL IES files](#)

Product Family		Prevail Petite				Prevail				Prevail XL				Prevail Maxx			
Light Engine		PA1A	PA1B	PA1C	PA1D	PA1A	PA1B	PA2A	PA2B	PA3A	PA3B	PA4A	PA4B	PA6A	PA6B	PA6C	PA6D
Power (Watts)		31	53	72	93	54	74	113	151	172	234	245	303	274	366	457	544
Drive Current (mA)		375	670	930	1200	670	930	720	970	750	980	785	970	600	800	1000	1200
Input Current @ 120V (A)		0.26	0.44	0.60	0.78	0.45	0.62	0.93	1.26	1.44	1.95	2.04	2.53	2.30	3.05	3.83	4.54
Input Current @ 277V (A)		0.12	0.20	0.28	0.35	0.21	0.28	0.41	0.55	0.62	0.85	0.93	1.12	0.99	1.30	1.62	1.94
Input Current @ 347V (A)		0.10	0.17	0.23	0.29	0.17	0.23	0.33	0.45	0.52	0.70	0.74	0.90	0.78	1.05	1.32	1.60
Input Current @ 480V (A)		0.07	0.13	0.17	0.22	0.12	0.17	0.24	0.33	0.39	0.52	0.53	0.65	0.58	0.76	0.95	1.14
Distribution																	
Type II Roadway	4000K/5000K Lumens	4,505	7,362	9,495	11,300	7,605	9,896	15,811	19,745	24,718	30,648	34,067	39,689	41,611	52,596	61,921	67,899
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	147	139	132	121	141	134	141	131	144	131	139	131	152	144	135	125
	3000K Lumens ¹	4,103	6,705	8,647	10,291	6,926	9,012	14,399	17,982	22,511	27,912	31,025	36,145	37,896	47,900	56,392	61,837
Type II Roadway w/ HSS	4000K/5000K Lumens	3,727	6,091	7,855	9,349	6,006	7,815	12,487	15,594	19,521	24,204	26,094	31,334	32,874	41,553	48,919	53,642
	BUG Rating	B0-U0-G1	B0-U0-G2	B0-U0-G2	B1-U0-G2	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G4	B1-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5
	Lumens per Watt	121	115	109	100	111	106	111	103	113	103	107	103	120	114	107	99
	3000K Lumens ¹	3,394	5,547	7,154	8,514	5,470	7,117	11,372	14,201	17,778	22,043	24,502	28,545	29,939	37,843	44,552	48,853
Type II Urban	4000K/5000K Lumens	4,496	7,347	9,476	11,277	7,597	9,886	15,795	19,724	24,692	30,616	34,031	39,647	41,372	52,294	61,565	67,509
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B4-U0-G4	B4-U0-G4	B4-U0-G4	B4-U0-G4	B4-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	146	139	131	121	141	134	141	131	144	131	139	131	151	143	135	124
	3000K Lumens ¹	4,095	6,691	8,630	10,271	6,919	9,003	14,384	17,963	22,488	27,882	30,992	36,107	37,678	47,625	56,068	61,481
Type II Urban w/ HSS	4000K/5000K Lumens	3,253	5,316	6,856	8,160	5,297	6,893	11,013	13,753	17,217	21,347	23,728	27,644	28,951	36,594	43,082	47,241
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
	Lumens per Watt	106	101	95	87	98	93	97	91	100	91	97	91	106	100	94	87
	3000K Lumens ¹	2,963	4,841	6,244	7,431	4,824	6,277	10,029	12,525	15,680	19,441	21,609	25,176	26,366	33,327	39,235	43,023
Type III	4000K/5000K Lumens	4,443	7,261	9,364	11,145	7,575	9,857	15,749	19,667	24,621	30,527	33,932	39,532	41,155	52,020	61,242	67,155
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B1-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	145	138	130	119	140	133	141	130	143	130	138	130	150	142	134	123
	3000K Lumens ¹	4,046	6,612	8,528	10,150	6,899	8,977	14,343	17,911	22,423	27,802	30,903	36,002	37,480	47,375	55,774	61,159
Type III w/ HSS	4000K/5000K Lumens	3,406	5,566	7,179	8,543	5,592	7,277	11,626	14,519	18,176	22,536	25,049	29,183	30,159	38,121	44,879	49,212
	BUG Rating	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	111	105	100	91	104	98	103	96	106	96	102	96	110	104	98	90
	3000K Lumens ¹	3,102	5,069	6,538	7,781	5,093	6,627	10,588	13,222	16,553	20,524	22,813	26,578	27,466	34,717	40,872	44,818
Type IV Wide	4000K/5000K Lumens	4,348	7,106	9,164	10,906	7,484	9,738	15,560	19,431	24,325	30,161	33,525	39,057	41,207	52,086	61,320	67,240
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	142	135	127	117	139	132	139	129	141	129	137	129	151	142	134	124
	3000K Lumens ¹	3,960	6,471	8,346	9,932	6,816	8,869	14,170	17,696	22,153	27,468	30,531	35,570	37,528	47,435	55,845	61,236
Type IV Wide w/ HSS	4000K/5000K Lumens	3,318	5,422	6,993	8,323	5,420	7,053	11,268	14,072	17,617	24,843	24,279	28,286	30,005	37,926	44,650	48,961
	BUG Rating	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	108	103	97	89	100	95	100	93	102	106	99	93	110	104	98	90
	3000K Lumens ¹	3,022	4,938	6,369	7,580	4,936	6,423	10,262	12,816	16,044	19,892	22,111	25,760	27,326	34,540	40,664	44,589
Type V Square Wide	4000K/5000K Lumens	4,497	7,349	9,478	11,280	7,831	10,190	16,281	20,332	25,453	31,559	35,079	40,868	42,947	54,285	63,909	70,079
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B3-U0-G2	B4-U0-G3	B4-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	146	139	131	121	145	138	145	135	148	135	143	135	157	143	136	129
	3000K Lumens ¹	4,095	6,693	8,632	10,273	7,132	9,280	14,827	18,517	23,180	28,741	31,947	37,219	39,112	49,438	58,203	63,822

NOTES:
1. For 3000K or HSS BUG Ratings, refer to published IES files

Energy and Performance Data

House Side Shield Reference Table

Product Family		Prevail	Prevail		Prevail XL		Prevail Maxx
Light Engine		PA1	PA1	PA2	PA3	PA4	PA6
Rotated Optics	Standard	HSS-HP (Qty 1)	HSS-VP (Qty 1)	HSS-HP (Qty 2)	HSS-HP (Qty 3)	HSS-VP (Qty 4)	HSS-HP (Qty 6)
	L90 or R90 option	HSS-VP (Qty 1)	HSS-HP (Qty 1)	HSS-VP (Qty 2)	HSS-VP (Qty 3)	HSS-HP (Qty 4)	HSS-VP (Qty 6)

Sensor Color Reference Table (SPBx)

Housing Finish	Sensor Color
AP=Grey	Grey
BZ=Bronze	Bronze
BK=Black	Black
DP=Dark Platinum	Grey
GM=Graphite Metallic	Black
WH=White	White

Lumen Multiplier

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

FADC Settings

FADC Postion	Percent of Typical Lumen Output
1	25%
2	48%
3	55%
4	62%
5	72%
6	77%
7	82%
8	85%
9	90%
10	100%

Note: +/-5% typical value

Lumen Maintenance

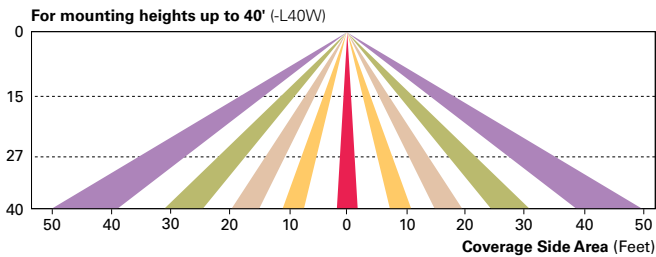
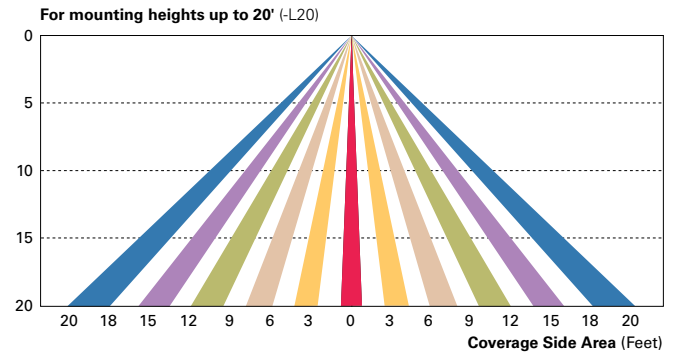
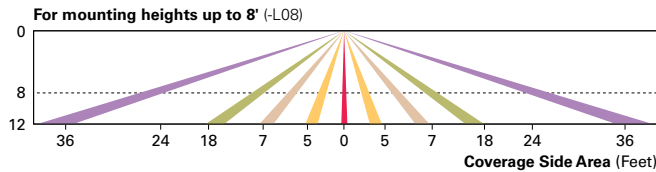
Ambient Temperature	TM-21 Lumen Maintenance (78,000 Hours)	Theoretical L70 (Hours)
Up to 50°C	96.76%	> 896,000

Control Options

0-10V This fixture provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (PR and PR7) Photocontrol receptacles provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-PIN standards can be utilized with the PR7 receptacle.

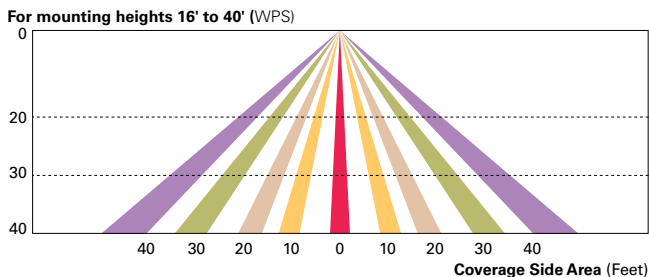
Dimming Occupancy Sensor (SPB, MS/DIM-LXX) These sensors are factory installed in the luminaire housing. When the SPB or MS/DIM sensor options are selected, the luminaire will dim down after five minutes of no activity detected. When activity is detected, the luminaire returns to full light output. These occupancy sensors include an integral photocell for "dusk-to-dawn" control or "daylight harvesting." Factory default is enabled for the MS sensors and disabled for the SPB. SPB motion sensors require the Sensor Configuration mobile application by Wattstopper to change factory default dimming level, time delay, sensitivity and other parameters. Available for iOS and Android devices. The SPB sensor is factory preset to dim down to approximately 10% power with a time delay of five minutes.



WaveLinx Wireless Control and Monitoring System Available in 7-PIN or 4-PIN configurations, the WaveLinx Outdoor control platform operates on a wireless mesh network based on IEEE 802.15.4 standards enabling wireless control of outdoor lighting. At least one Wireless Area Controller (WAC) is required for full functionality and remote communication (including adjustment of any factory pre-sets).

WaveLinx Outdoor Control Module (WOLC-7P-10A) A photocontrol that enables astronomical or time-based schedules to provide ON, OFF and dimming control of fixtures utilizing a 7-PIN receptacle. The out-of-box functionality is ON at dusk and OFF at dawn.

WaveLinx PRO Wireless Sensor (WPS2 and WPS4) These outdoor sensors offer passive infrared (PIR) occupancy sensing and a photocell for closed-loop daylight sensing. These sensors are factory preset to dim down to approximately 50 percent power after 15 minutes of no activity detected, and the photocell for "dusk-to-dawn" control is default enabled. A variety of sensor lenses are available to optimize the coverage pattern for mounting heights from 7'-40'.



LumenSafe (LD) The LumenSafe integrated network camera is a streamlined, outdoor-ready camera that provides high definition video surveillance. This IP camera solution is optimally designed to integrate into virtually any video management system or security software platform of choice. No additional wiring is needed beyond providing line power to the luminaire. LumenSafe features factory-installed power and networking gear in a variety of networking options allowing security integrators to design the optimal solution for active surveillance.

Project		Catalog #		Type	
Prepared by		Notes		Date	



Lumark AP

ASWP Adjustable Slim Wall Pack Series

Wall Mount Luminaire

Product Features



Product Certifications



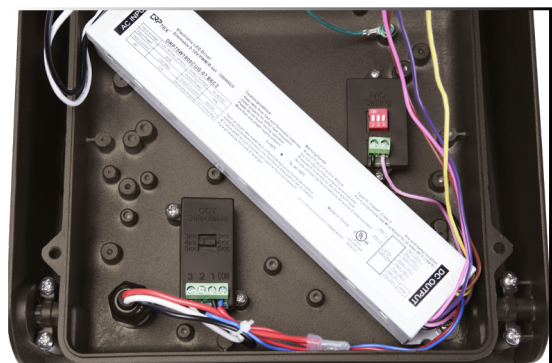
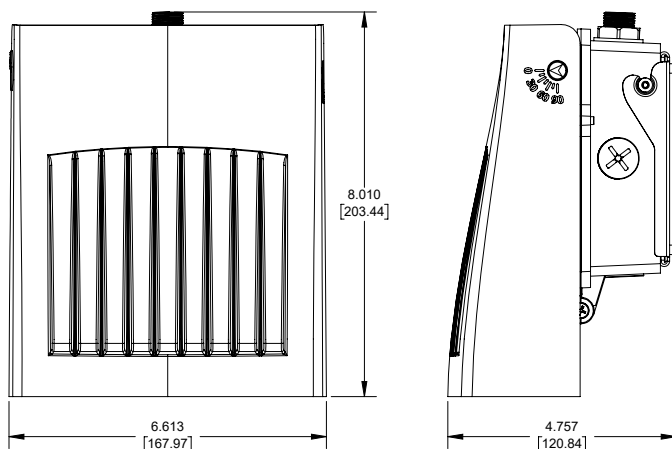
Interactive Menu

- Ordering Information [page 2](#)
- Product Specifications [page 2](#)
- Energy and Performance Data [page 3](#)

Quick Facts

- Selectable configurations available
- Lumen packages range from 2,100-10,200 lumens
- Replaces 155W-375W HID equivalent
- Efficacies up to 130 lumens per watt
- Energy and maintenance savings up to 89%
- Heat and impact resistant borosilicate glass lens

Dimensional Details



Ordering Information

Model Number ¹	Lumens / Wattage	Color Temperature	Voltage	Controls
ASWPLED1S=Small LED Wall Pack	Selectable Lumens: 2,000-4,000 / 15-20-24-30W	Selectable CCT: 3000,4000,5000K / 70CRI	120-347V, 50/60Hz	Selectable Dusk-to-Dawn via Button-type photocontrol
ASWPLED2S=Medium LED Wall Pack	Selectable Lumens: 5,000-10,000 / 40-50-60-75W	Selectable CCT: 3000,4000,5000K / 70CRI	120-347V, 50/60Hz	Selectable Dusk-to-Dawn via Button-type photocontrol

NOTES:
1. DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details.

Product Specifications

Construction

- Die-cast aluminum housing with hinged, removable die-cast aluminum door
- Three 1/2" threaded conduit entry points
- Removable mounting plate for easy installation
- Cast-in angle indicators

Optics

- Impact and heat resistant borosilicate refractive glass lens

Electrical

- -40°C minimum operating temperature
- 40°C maximum operating temperature
- >.9 power factor
- <20% total harmonic distortion
- Class 2 driver incorporates internal fusing designed to withstand 3kV surge
- 0-10V dimming driver standard

Controls

- Selectable configurations supply internal toggle switches to adjust luminaire CCT and lumens. Selectable luminaires will ship default at 4000K CCT and maximum lumen output. Selectable configurations also provide an integrated button-type photocontrol for dusk-to-dawn operation. The photocontrol is also field-adjustable via toggle switches to either enable, disable, or modify the settings. The photocontrol ships default enabled.

Typical Applications

- Outdoor
- Parking Lots
- Walkways
- Building Areas

Finish

- Bronze

Shipping Data

- Unit Carton:
 - ASWPLED1S: 4.4 lbs.
 - ASWPLED2S: 9.1 lbs.
- Master Carton:
 - ASWPLED1S: 19.7 lbs. Qty 4
 - ASWPLED2S: 20.2 lbs. Qty 2

Energy and Performance Data

[View WP IES files](#)

Power and Lumens (ASWPLED1S Selectable)

Light Engine	Set to 15W	Set to 20W	Set to 24W	Set to 30W	
Switch setting	3-ON	2-ON	1-ON	1,2,3-OFF	
Power (Watts)	15	19.6	23.1	30.4	
Input Current @ 120V (A)	0.13	0.16	0.19	0.25	
Input Current @ 277V (A)	0.05	0.07	0.08	0.11	
Input Current @ 347V (A)	0.04	0.06	0.07	0.09	
Performance					
3000K	Lumens	2,083	2,569	2,964	3,733
	Lumens per Watt	138.9	131	128.3	122.8
4000K	Lumens	2,223	2,742	3,163	3,984
	Lumens per Watt	148.2	139.8	136.9	131.1
5000K	Lumens	2,154	2,657	3,065	3,860
	Lumens per Watt	143.6	135.4	132.6	127

CCT Multipliers

CCT	Multipliers
3000K	1.0000
4000K	1.0672
5000K	1.0340

Power and Lumens (ASWPLED2S Selectable)

Light Engine	Set to 40W	Set to 50W	Set to 60W	Set to 75W	
Switch setting	3-ON	2-ON	1-ON	1,2,3-OFF	
Power (Watts)	38.8	50.2	60.4	74.4	
Input Current @ 120V (A)	0.32	0.42	0.50	0.62	
Input Current @ 277V (A)	0.14	0.18	0.22	0.27	
Input Current @ 347V (A)	0.16	0.21	0.25	0.31	
Performance					
3000K	Lumens	5,492	6,916	8,086	9,575
	Lumens per Watt	141.5	137.7	133.9	128.7
4000K	Lumens	5,861	7,381	8,630	10,219
	Lumens per Watt	151	146.9	142.9	137.3
5000K	Lumens	5,679	7,151	8,361	9,900
	Lumens per Watt	146.3	142.4	138.5	133.1

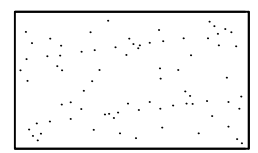
Lumen Maintenance

Configuration	Ambient Temperature	TM-21 Lumen Maintenance (50,000 hrs)	Reported L70 (hrs)
Up to 30W	40°C	87.30%	>72,000
Up to 75W	40°C	86.90%	>72,000

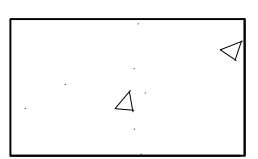
LEGEND:

- = FOUND IRON
- ⊙ = FOUND MONUMENT
- ⊗ = SET 1/2" REBAR & CAP
- △ = SET PK NAIL
- ▲ = FOUND PK NAIL

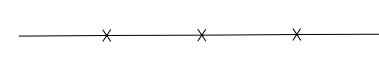
- ☒ = CATCH BASIN
- ⊙ = SANITARY MANHOLE
- ⊗ = IRRIGATION MANHOLE
- ⊗ = SPIGOT
- ⊗ = GAS VALVE
- ⊗ = POWER/UTILITY POLE
- ☀ = LIGHT POLE
- ⊗ = TELEPHONE RISER
- ⊗ = ELECTRIC METER
- ⊗ = GAS METER
- ⊗ = AC UNIT
- ⊗ = MAILBOX
- ⊗ = SIGN
- ⊗ = SATELLITE
- ⊗ = WATER VALVE
- ⊗ = HYDRANT
- ⊗ = TRANSFORMER
- ⊗ = UGG POST
- ⊗ = FLAG POLE
- ⊗ = SANITARY CLEAN-OUT
- ⊗ = UNDERGROUND GAS MARKER



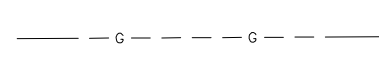
CONCRETE



ASPHALT



FENCE



UNDERGROUND GAS



OVERHEAD ELECTRIC



ROAD STRIPING



TREE LINE

NOTE: EXHIBITS FROM SUPPLIED RECIPROCAL EASEMENT AGREEMENT

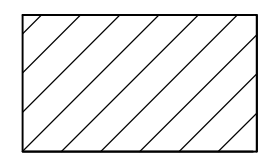


EXHIBIT A - ENTRANCE EASEMENT

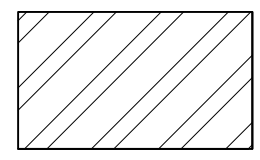


EXHIBIT B - PEDESTRIAN EASEMENT

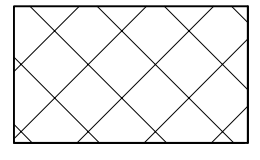


EXHIBIT C - JOINTLY MAINTAINED AREA

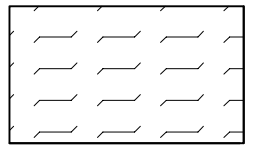


EXHIBIT D - LIMITED MAINTAINED AREA

BENCHMARK
NAIL IN SOUTH SIDE OF LIGHT POLE
ELEV. = 706.80'

PARCEL NO. 05-014-072-10

PARCEL ADDRESS:
3090 LAFRANIER RD.
TRAVERSE CITY, MI 49686

ACTUAL ZONING REQUIREMENTS TO BE CONFIRMED WITH GOVERNING MUNICIPALITY.

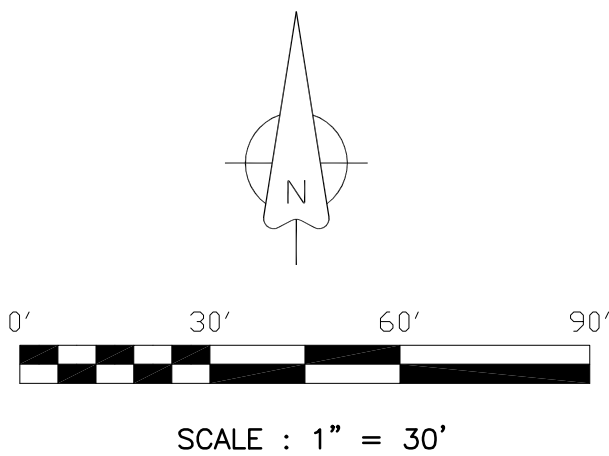
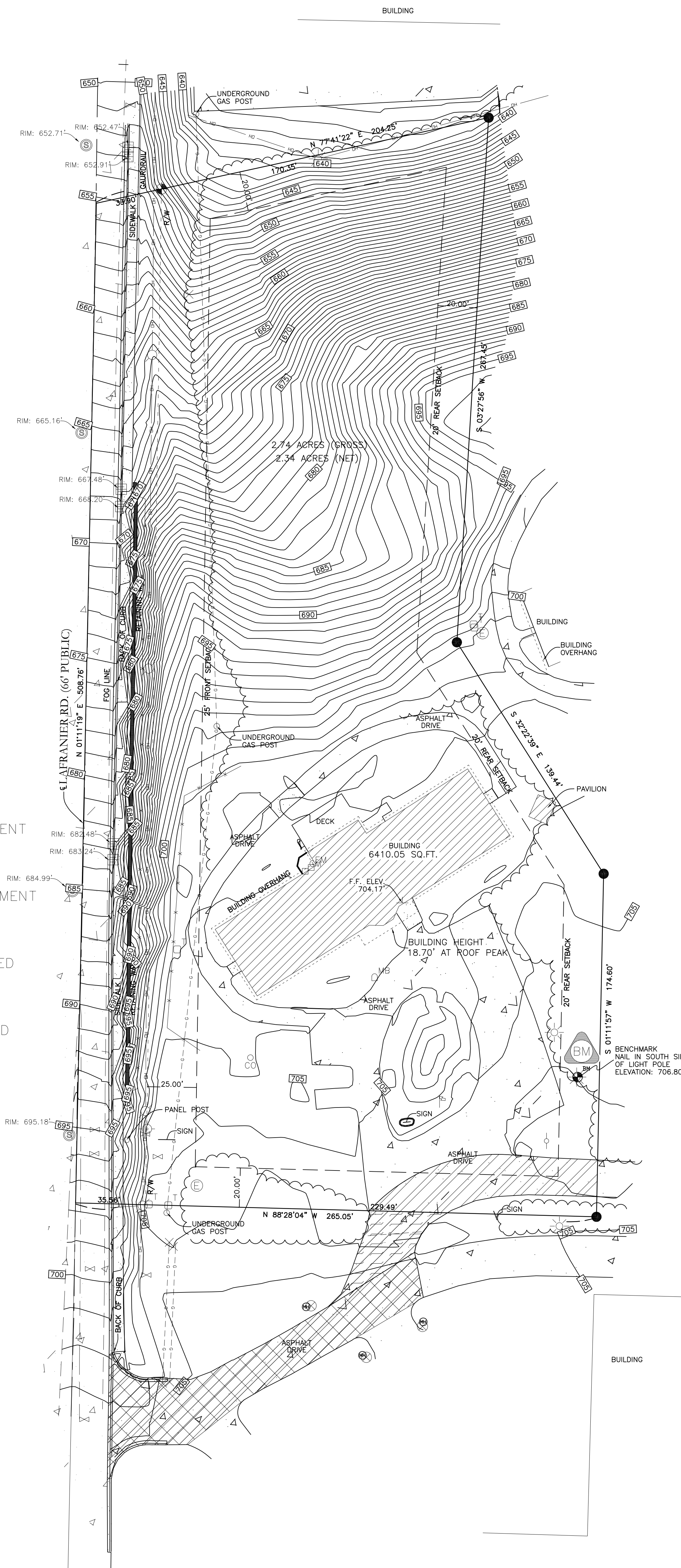
DRAWING SHOWN AS FEATURES WERE FOUND IN THE FIELD.

HORIZONTAL DATUM BASED ON STATE PLANE COORD. MI CENTRAL PROJECTION, NAD 83.

BOUNDARY DIMENSIONS ARE SHOWN AS MEASURED.

SETBACKS: ZONING:
25' FRONT R-3 - MULTI-FAMILY RESIDENTIAL
20' REAR

SIDE:
10' ONE-FAMILY
15' TWO-FAMILY
20' MULTI-FAMILY




DATE: JUNE 25, 2024
DREVISED: AUGUST 27, 2024
DRAWN BY: IRA
PAGE 1 OF 1
JOB #505024B

DESIGN SURVEY

PARCEL NO.: 05-014-072-10
PART OF THE SW¼, SE¼, SEC. 14, T27N, R11W,
GARFIELD TWP., GRAND TRAVERSE CO.,
MICHIGAN

3090 LAFRANIER RD.
TRAVERSE CITY, MI 49686

Kelly M. Simmer, PS
Professional Land Surveyor
404 W. Mesick Ave • Mesick, MI 49668
Cell: (231) 429-4914
ksimmer@simmerlandsurvey.com

		Charter Township of Garfield	
		Planning Department Report No. 2024-72	
Prepared:	September 4, 2024	Pages:	1
Meeting:	September 11, 2024 Planning Commission	Attachments:	<input type="checkbox"/>
Subject:	TowerNorth Wireless Communication Facility Special Use Permit – Update #3		
File No.	SUP-2024-02	Parcel No.	05-019-001-00 (part)
Applicant:	TowerNorth Development, LLC		
Agent:	Jaime Mathew w/Kimley-Horn and Associates, Inc.		
Owner:	Frank A Bare		

BRIEF OVERVIEW:

- 2767 Zimmerman Road – west side of Zimmerman Road north of Silver Lake Road
- Approximately 42.25 acres (entire parcel); approximately 0.23 acres (lease parcel area)
- Portion of one of the parcels containing the existing Alpers gravel mining operation
- A-Agricultural zoning district

APPLICATION HISTORY:

- June 12, 2024 Planning Commission – Application tabled, more information was requested
- July 10, 2024 Planning Commission – Update, application was tabled, applicant was requested to move the proposed location of the tower to meet all setback requirements
- August 14, 2024 Planning Commission – Update #2
- September 11, 2024 Planning Commission – Update #3

PURPOSE OF APPLICATION:

This application requests a Special Use Permit (SUP) for a wireless communication facility (cell tower) at 2767 Zimmerman Road. The applicants propose a 155-foot-tall monopole tower with associated antenna equipment within a 60' x 60' fenced compound. Wireless communication facilities are permitted via SUP in the A-Agricultural zoning district.

UPDATE:


At the July 10, 2024 meeting, the Planning Commission tabled the application and requested the applicant move the location of the proposed tower, to meet all the setback requirements for wireless communication facilities, before moving the application forward. Staff did not receive any updated application materials in advance of the August 14, 2024 meeting nor the September 11, 2024 meeting. Via email, Staff informed the applicant of the following provision in Section 404 of the Zoning Ordinance:

SECTION 404 EXPIRATION OF APPLICATION – *During the course of any administrative, legislative, or quasi-judicial application review, if an applicant has failed to proceed meaningfully towards application completion or application decision for a period of one-hundred and twenty (120) consecutive calendar days, then the application shall be considered expired. Following expiration of an application, the applicant shall be provided with written notice of said expiration.*

The application was originally tabled at the July 10, 2024 Planning Commission meeting and 120 days later will be November 6, 2024. The applicant will need to act before then to avoid expiration of the application.

ACTION REQUESTED:

The application was tabled at the previous Planning Commission meeting. No action is needed.

 Charter Township of Garfield Planning Department Report No. 2024-73			
Prepared:	September 4, 2024	Pages:	6
Meeting:	September 11, 2024 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	SPR-2022-21-A – High Tops Bar/Restaurant/Night Club Site Plan Review		
Applicant:	Philip Beehler		
Owner:	Traverse Entertainment Group / Ulysses C. Walls, President		
Agent:	Gosling-Czubak Engineering Sciences, Inc. / Robert Verschaeve, P.E.		
File No.	SPR-2022-21-A		
Parcel No.	05-014-049-10		

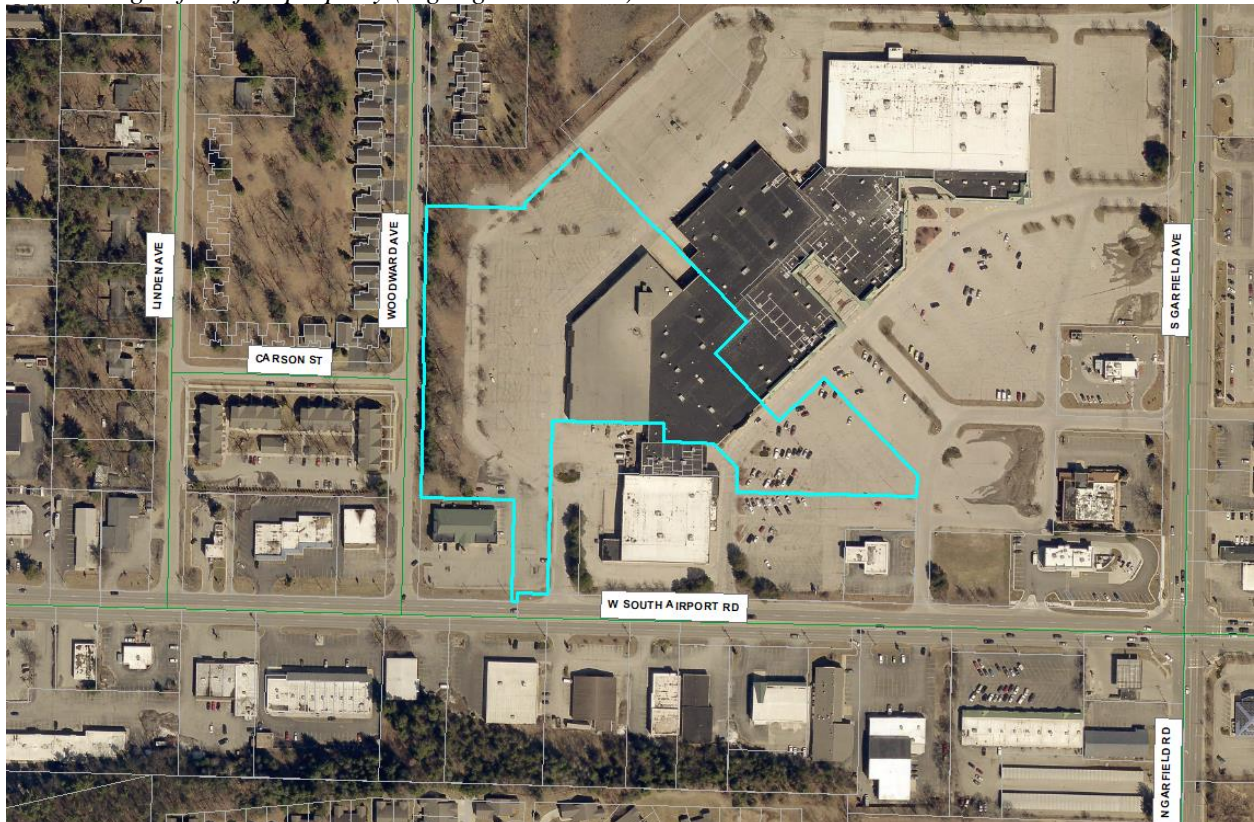
PURPOSE OF APPLICATION:

Applications for development within the C-P Planned Shopping Center shall be reviewed by the Planning Commission for compliance with Article 4, § 424 – Site Plans and Article 5 – Development Standards.

BACKGROUND:

The site is located at 1212 West South Airport Road, is approximately 8.48 acres, and is home to the former Sears building at Cherryland Center. The K1 Speed Indoor Kart Racing facility was approved by the Planning Commission on December 14, 2022, and occupies 60,145 square feet or 62% of the building floor area. The proposed High Tops bar, restaurant and nightclub is planned to occupy the remaining 36,114 square feet or 38% of the building floor area. Restaurants, bars, and night clubs are uses permitted by right in the C-P Planned Shopping Center district.

Aerial image of subject property (highlighted in blue):



SITE DEVELOPMENT REQUIREMENTS:***(1) General***

Applications for development within the C-P Planned Shopping Center shall be reviewed by the Planning Commission for compliance with Article 4, § 424 – Site Plans and Article 5 – Development Standards. The following criteria as listed in Section 424.F(1)(a)-(j) of the Zoning Ordinance are offered for consideration by the Planning Commission:

(a) Required Information. *All required information shall be provided.*

- The application was received by the Township on August 13, 2024. Since the application is an amendment of the previous The K1 Speed Indoor Kart Racing facility site plan, only minor additional information was needed. Any outstanding items may potentially be made a condition of site plan approval.

(b) Outside Agencies. *All applicable standards of outside agencies shall be met and all required permits and approvals from outside agencies shall be secured, or be made a condition of approval.*

- The applicant is required to comply with all agencies with jurisdiction. Agency approvals may be a condition of site plan approval.

(c) Essential Facilities and Services. *Adequate essential facilities and services, including highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools, shall be available.*

- As this application is for a proposed redevelopment of an existing commercial site, many essential facilities and services are in place.
- The site is accessed from a major road and is serviced by existing public sewer and water.
- The site has been used as commercial without overburdening area municipal services.
- The site is served by an existing 8” municipal water line and an 8” sanitary sewer line.

(d) Natural Features. *Sensitive natural features, or existing natural features that provide a buffer between adjoining properties, or assist in preserving the general appearance of the neighborhood, or help control soil erosion or stormwater, shall be preserved to the greatest extent possible.*

- The proposed use does not alter the existing development pattern on the site. There are no known sensitive natural features on the site.

(e) Site Design. *All buildings and structures shall be designed, situated, constructed, operated and maintained so as to be harmonious, compatible, and appropriate in appearance, with the existing or intended character of the general vicinity. Site design shall minimize adverse effects upon owners and occupants of adjacent properties and the neighborhood.*

- The proposed use does not alter the existing development pattern on the site. The site is well-established and has been in place for over 40 years.
- The proposed use is completely contained indoors, however, due to late hours of operation there could be some impact on the adjacent existing single-family and multi-family residences along Woodward Avenue. Noise may emanate from the building due to concerts. Also, noise and light in the parking lot may be an issue when the facility is in operation. Mitigation efforts may be necessary in the form of sound proofing in the building

construction and installing additional landscaping or the construction of a wall along the perimeter of the site.

(f) **Orientation.** *Primary buildings or structures shall be oriented so that their main entrance faces the street upon which the lot fronts. If the development is on a corner lot, the main entrance may be oriented to either street or to the corner.*

- The site plan shows a wall division in the existing building between the existing K1 Speed Indoor Kart Racing facility and the proposed High Tops bar, restaurant, and night club. K-1 has its main entrance facing the front of the building with a rear entrance. High Tops is proposed to have its main entrance at the rear of the building.
- Both the front and back building entrances have internal sidewalks in front of them which allows for connections to future sidewalks along South Airport Road. Although this site has a small frontage on South Airport Road, it does not include any direct access.

(g) **Vehicle and Pedestrian Systems.** *The development, where possible, shall provide vehicular and pedestrian circulation systems which reflect and extend the pattern of streets, pedestrian and bicycle ways in the area. A proper relationship between existing and proposed roadways and parking areas shall be demonstrated, and the safety and convenience of pedestrian and vehicular traffic shall be assured. Travelways which connect and serve adjacent development shall be designed appropriately to carry the projected traffic.*

- The proposed use will rely on existing entrances to the Cherryland Center, with the most direct access from South Airport Road and additional access from Garfield Avenue.
- Sidewalks have been installed along the site's frontages on both South Airport Road and Woodward Avenue.

(h) **Shared Drives.** *Where the opportunity exists, developments shall use shared drives. Unnecessary curb cuts shall not be permitted.*

- As described above, the development site will use the existing entrance drives on Garfield Avenue and South Airport Road which serve the entire Cherryland Center.

(i) **Impervious Surfaces.** *The amount of impervious surface has been limited on the site to the extent practical.*

- The site is in an existing development. The proposed use does not reduce the impervious surface; however, no additional impervious surface is proposed. Two additional landscaping islands shall be installed in the existing parking lot closest to the building.

(j) **Master Plan.** *The proposal is not in conflict with the land use policies, goals and objectives of the Township Master Plan.*

- The proposed use fits with the Future Land Use Map, as the parcel and surrounding vicinity are envisioned as Commercial, which accommodates a wide range of potential businesses, including recreational facilities.
- The site is part of the Barlow Garfield Neighborhood Plan which guides development in this neighborhood of the Township. This plan included several development principles for this neighborhood encompassing the following:
 - Allow for mixed-use development on primary corridors.

- Account for public spaces that accommodate a variety of activities.
- Encourage connectivity through sidewalks, trails, cross-access, and other means.
- Allow sites to be designed at a scale that encourages a neighborhood character.
- Allow for new housing with diverse selection of unit types and sizes.
- Facilitate improvements for public infrastructure upon new development.
- The Barlow Garfield Neighborhood Plan envisions a connected, livable, community center within Garfield Township in this neighborhood. The proposed use activates the site and encourages additional active uses to be part of the site redevelopment.

The following review of the proposal with regards to the relevant sections within Article 5 – Development Standards is also provided:

Access Management

As described above, the development site will use the existing entrance drives on Garfield Avenue and South Airport Road which serve the entire Cherryland Center. This is consistent with the intent of access management standards including encouraging shared drives.

Parking, Snow Storage, and Bicycle Parking

To determine parking for the entire building, there are two components: the K-1 portion that is a recreation use without fixed seats and the High Tops portion that is a bar, restaurant, and night club. For the High Tops portions, the occupancy range was utilized as the most consistent requirement for all areas of the use.

<i>Use</i>	<i>Minimum Calculation</i>	<i>Maximum Calculation</i>	<i>Minimum Required</i>	<i>Maximum Permitted</i>
Recreation use without fixed seats (K-1)	1 for each six (6) persons within the maximum occupancy load. 431 persons is the maximum occupancy load.	1 for each three (3) persons within the maximum occupancy load. 431 persons is the maximum occupancy load.	72 spaces	144 spaces
Bar, restaurant, and night club (High Tops)	1 for each six (6) persons within the maximum occupancy load. 1,903 persons is the maximum occupancy load.	1 for each three (3) persons within the maximum occupancy load. 1,903 persons is the maximum occupancy load.	317 spaces	635 spaces
Range of Spaces Required/Permitted			389 spaces	779 spaces
Total Number of Spaces Provided			456 spaces	

Bicycle parking shall be provided at the rate of 2 bicycle spaces per 25 motor vehicle spaces. The parking lot has 456 motor vehicle spaces which requires 36 bicycle spaces. The site plan indicates 19 double racks provided giving space for 38 bicycles.

In accordance with Section 551.E.6, snow storage is required at the ratio of 10 square feet per 100 square feet of parking area. The site plan describes the parking area as 194,000 square feet which requires 19,400 square feet for snow storage; 19,535 square feet is provided including using some existing parking spaces on the west side.

Parking Lot Sealant and Striping

As part of the approval of the K1 Speed Indoor Kart Racing facility, new landscaping and several new landscaped parking lot islands were installed. However, some portions were deferred to occur with future redevelopment. For this phase of redevelopment, the rear parking lot, drives, and maneuvering pavement areas shall be sealed and striped.

Dumpster Enclosures

There is an existing trash compactor on the site which will remain. If any dumpsters are proposed in the future, an enclosure would be needed to meet the standards of Section 516.

Lighting

A previously approved lighting plan has been included with this site plan. There are no proposed changes.

Landscaping

As part of the approval of the K1 Speed Indoor Kart Racing facility, new landscaping and several new landscaped parking lot islands were installed. However, some portions were deferred to occur with future redevelopment. For this phase of redevelopment, three (3) new landscaped parking lot islands shall be installed for the rear (northwest side) of the building as noted on the site plan.

Stormwater Management and Pavement Evaluation

As part of the approval of the K1 Speed Indoor Kart Racing facility, a stormwater and pavement assessment by the Township Engineer was performed. Requirements of that inspection have been completed.

(2) External Access

The proposed development will gain its direct access from the existing Cherryland Center entrance drives.

(3) Internal Pedestrian Circulation

Section 522 requires pathways and interior sidewalks. The front and back building entrances have internal sidewalks in front of them which allows for connections to future sidewalks along South Airport Road.

(4) Non-Motorized Pathways

Sidewalks have been installed along the site's frontages on South Airport Road and Woodward Avenue in accordance with the Non-Motorized Plan of the Master Plan and Section 522 of the Zoning Ordinance.

(5) Building Placement

The building placement is existing development with no proposed changes.

(6) Vegetative Transition Strip

A fifty-foot-wide vegetative transition strip is required if the site abuts a residential or agricultural zone. An existing transition strip is in place.

(7) Service Drives

Access to the site, including the parking lots, is from existing service drives to a major thoroughfare.

(8) Prohibited Outdoor Storage

The applicant does not propose any outdoor storage on this site.

RECOMMENDATION:

Following the applicant presentation and Planning Commission discussion, if the Commission is prepared to decide on the application, then the following motion in support of approval is offered:

MOTION THAT application SPR-2022-21-A, submitted by Philip Beehler for a bar, restaurant, and night club on parcel 05-014-049-10 located at 1212 West South Airport Road, BE APPROVED, subject to the following conditions (1 thorough 4 as indicated in PD 2024-73):

1. Sound mitigation measures shall be provided including:
 - a. Proof of installation of sound proofing in the building construction subject to Building Department review.
 - b. Installation of additional landscaping and/or construction of a wall within the existing vegetative transition strip along Woodward Avenue.
2. The rear parking lot, drives, and maneuvering pavement areas shall be sealed and striped.
3. Three (3) new landscaped parking lot islands shall be installed for the rear (northwest side) of the building as noted on the site plan.
4. All agency reviews shall be received and deemed compliant prior to issuing a Land Use Permit or Building Permit.

Additional information deemed necessary by the Planning Commission should be added to the motion.

Attachments:

1. Site Plan Review Application – dated August 1, 2024
2. Site Plan Set from Gosling Czubak – dated August 6, 2024



Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE
TRAVERSE CITY, MICHIGAN 49684
PH: (231) 941-1620 • FAX: (231) 941-1588

SITE PLAN REVIEW (SPR) APPLICATION

ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning and/or Zoning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

ACTION REQUESTED

- Site Diagram Review
- Administrative Site Plan Review
- Site Development Plan Review

PROJECT / DEVELOPMENT NAME

High Tops

APPLICANT INFORMATION

Name: Phil P Beehler
Address: 7525 Cedar run rd. TC MI 49684
Phone Number: 231 357-0234
Email: Premiercustomhometc@yahoo.com

AGENT INFORMATION

Name: Gosling Czubak Engineering Sciences, Inc Robert Verschaere
Address: 1280 Business Park Dr, Traverse City, MI 49686
Phone Number: 231 933-5102
Email: rmverschaeere@goslingczubak.com

OWNER INFORMATION

Name: Ulysses C Walls
Address: 1212 W South Airport Road
Phone Number: (231) 313-3800
Email: ucwalls@yahoo.com

CONTACT PERSON

Please select one person to be contact person for all correspondence and questions:

Applicant:	
Agent:	
Owner:	<i>Ulysses C. Walls</i>

PROPERTY INFORMATION

Property Address:	<i>1212 W South Airport rd.</i>
Property Identification Number:	<i>OS-014-049-10</i>
Legal Description:	<i>See Plans</i>
Zoning District:	<i>C-P, Manning Shopping</i>
Master Plan Future Land Use Designation:	<i>C-P</i>
Area of Property (acres or square feet):	<i>8.48 Acres</i>
Existing Use(s):	<i>Retail Shopping</i>
Proposed Use(s):	<i>Sports bar, nightclub</i>

PROJECT TIMELINE

Estimated Start Date:	
Estimated Completion Date:	

REQUIRED SUBMITTAL ITEMS

A complete application for a Site Plan Review consists of the following:

Application Form:

- One original signed application
- One digital copy of the application (PDF only)

Application Fee:

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please make check out to Charter Township of Garfield.

- Fee

Escrow Fee:

Additional fees may be required if a review by independent professional help is deemed necessary by the Township. If required, such additional fees must be placed in escrow by the applicant in accordance with the escrow policies of the Township and prior to any further processing of this application. Any unused escrow funds shall be returned to the applicant. Please complete an Escrow and Review (ER) Application form.

Site Diagram Review:

- Two complete stapled 11"x17" paper sets
- One digital set (PDF only)

Administrative Site Plan:

- Two complete stapled 11"x17" paper sets
- Two complete bound 24"x36" paper sets
- One digital set (PDF only)

Site Development Plan:

- Ten complete stapled 11"x17" paper sets
- Two complete bound 24"x36" paper sets
- One digital set (PDF only)

Digital items to be delivered via email or USB flash drive

SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

WAIVERS

Submittal Waiver:

At the discretion of the Zoning Administrator in the case of a Site Diagram, or the Director of Planning in the case of an Administrative Site Plan or a Site Development Plan, the requirement to submit a Site Diagram, an Administrative Site Plan or a Site Development Plan may be waived in any of the following cases when it is determined that the submission would serve no useful purpose:

1. The erection or enlargement of an accessory structure;
2. The enlargement of a principal building by less than 20 percent of its existing gross floor area, provided such enlargement will not result in a requirement for additional off-street parking;
3. A change in principal use where such change would not result in an increase in impervious surface area, additional off-street parking, site access, other external site characteristics or a violation of this ordinance.

Data Waiver:

1. The Zoning Administrator may waive a particular element of information or data otherwise required for a Site Diagram upon a finding that the information is not necessary to determine compliance with this ordinance.
2. The Director of Planning may waive a particular element of information or data otherwise required for a Site Development Plan upon a finding that the information or data is not necessary to determine compliance with this ordinance or that such information or data would not bear on the decision of the approval authority.

SITE PLAN

Check that your site plan includes all required elements for a Site Diagram (SD), Administrative Site Plan (ASP), or Site Development Plan (SDP). Please use the Required Site Plan Elements Checklist below.

APPROVAL CRITERIA

An administrative site plan or site development plan shall conform to all provisions of the Zoning Ordinance and to the following site development standards which shall be reflected on the plan.

1. **Required Information.** All required information shall be provided.
2. **Outside Agencies.** All applicable standards of outside agencies shall be met and all required permits and approvals from outside agencies shall be secured, or be made a condition of approval.
3. **Essential Facilities and Services.** Adequate essential facilities and services, including highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools, shall be available.
4. **Natural Features.** Sensitive natural features, or existing natural features that provide a buffer between adjoining properties, or assist in preserving the general appearance of the neighborhood, or help control soil erosion or stormwater, shall be preserved to the greatest extent possible.
5. **Site Design.** All buildings and structures shall be designed, situated, constructed, operated and maintained so as to be harmonious, compatible, and appropriate in appearance, with the existing or intended character of the general vicinity. Site design shall minimize adverse effects upon owners and occupants of adjacent properties and the neighborhood.
6. **Orientation.** Primary buildings or structures shall be oriented so that their main entrance faces the street upon which the lot fronts. If the development is on a corner lot, the main entrance may be oriented to either street or to the corner.
7. **Vehicle and Pedestrian Systems.** The development, where possible, shall provide vehicular and pedestrian circulation systems which reflect and extend the pattern of streets, pedestrian and bicycle ways in the area. A proper relationship between existing and proposed roadways and parking areas shall be demonstrated, and the safety and convenience of pedestrian and vehicular traffic shall be assured. Travelways which connect and serve adjacent development shall be designed appropriately to carry the projected traffic.
8. **Shared Drives.** Where the opportunity exists, developments shall use shared drives. Unnecessary curb cuts shall not be permitted.
9. **Impervious Surfaces.** The amount of impervious surface has been limited on the site to the extent practical.
10. **Master Plan.** The proposal is not in conflict with the land use policies, goals and objectives of the Township Master Plan.

ADDITIONAL INFORMATION

If applicable, provide the following further information:

	Project will utilize existing sanitary sewer service to existing building	Yes	No	Not Applicable
A. <u>Sanitary Sewer Service</u>				
1. Does project require extension of public sewer line?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Will a community wastewater system be installed?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, provide construction plans and specifications				
3. Will on-site disposal be used?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, is it depicted on plan?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

B. Water Service

- | | | | |
|---|--------------------------|-------------------------------------|--------------------------|
| 1. Does project require extension of public water main? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| If yes, has a Utility Agreement been prepared? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Will a community water supply be installed? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| If yes, has a Utility Agreement been prepared? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| If yes, provide construction plans and specifications | | | |

C. Public utility easements required?

If yes, show on plan.

- | | | |
|--------------------------|--------------------------|-------------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--------------------------|--------------------------|-------------------------------------|

D. Stormwater Review/Soil Erosion

- | | | | |
|--|--------------------------|-------------------------------------|--------------------------|
| 1. Soil Erosion Plans approved by Soil Erosion Office? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| If so, attach approval letter. | | | |
| If no, are alternate measures shown? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Stormwater Plans approved by Township Engineer? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| If so, attach approval letter. | | | |
| If no, are alternate measures shown? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Note: Alternate measures must be designed and sealed by a registered Engineer.

E. Roads and Circulation

- | | | | |
|---|--------------------------|--------------------------|-------------------------------------|
| 1. Are interior public streets proposed? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| If yes, has Road Commission approved (attach letter)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Will public streets connect to adjoining properties or future streets? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 3. Are private roads or interior drives proposed? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 4. Will private drives connect to adjoining properties service roads? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 5. Has the Road Commission or MDOT approved curb cuts? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| If yes, attach approved permit. | | | |

OTHER INFORMATION

If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

REVIEW PROCESS

- Upon submittal of this application, Staff will review the materials submitted and will, within ten (10) working days, forward a determination of completeness to the applicant. If the submission is incomplete or noncompliant with the Zoning Ordinance, it will be returned to the applicant for revision. Once the submission is revised, Staff will again review it for completeness and again forward a determination to the applicant within ten (10) working days. This procedure shall be repeated until a complete submission is received.
- Once the application is deemed to be complete and submitted according to the application deadlines, it will be forwarded to the Planning Commission for review.
- The Planning Commission may approve, approve with conditions, or deny the application.

PERMISSION TO ENTER SUBJECT PROPERTY

Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Owner Signature:

<i>Ulysses Y. Walls</i>

Applicant Signature:

<i>Op al</i>

Agent Signature:

--

Date:

--

OWNER'S AUTHORIZATION

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We *Ulysses Walls* authorize to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner Signature:

<i>Ulysses Y. Walls</i>

Date:

<i>6/1/2024</i>

AFFIDAVIT

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application and all of the information submitted in this application, including any supplemental information, is in all respects true and correct. The undersigned further acknowledges that willful misrepresentation of information will terminate this permit application and any permit associated with this document.

Owner Signature:

<i>Ulysses Y. Walls</i>

Date:

<i>6/1/2024</i>

Applicant Signature:

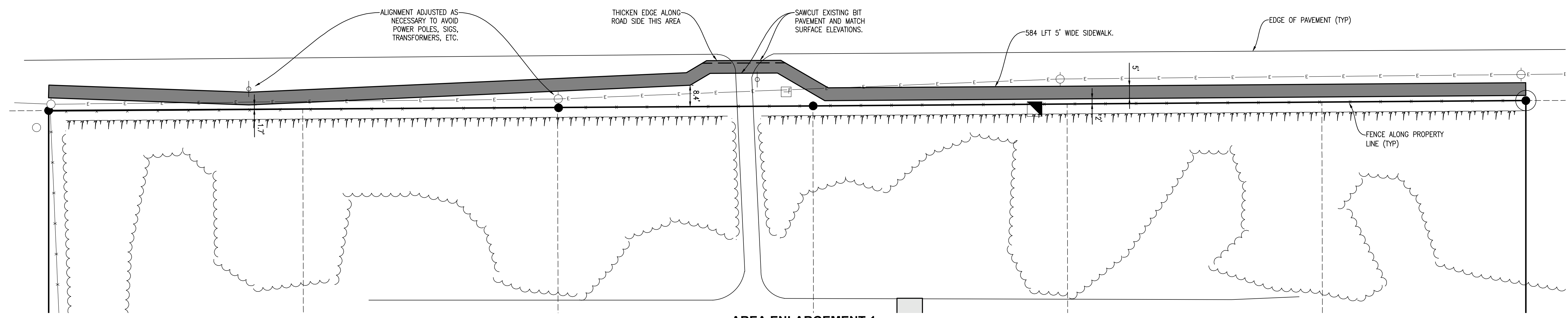
<i>Op al</i>

Date:

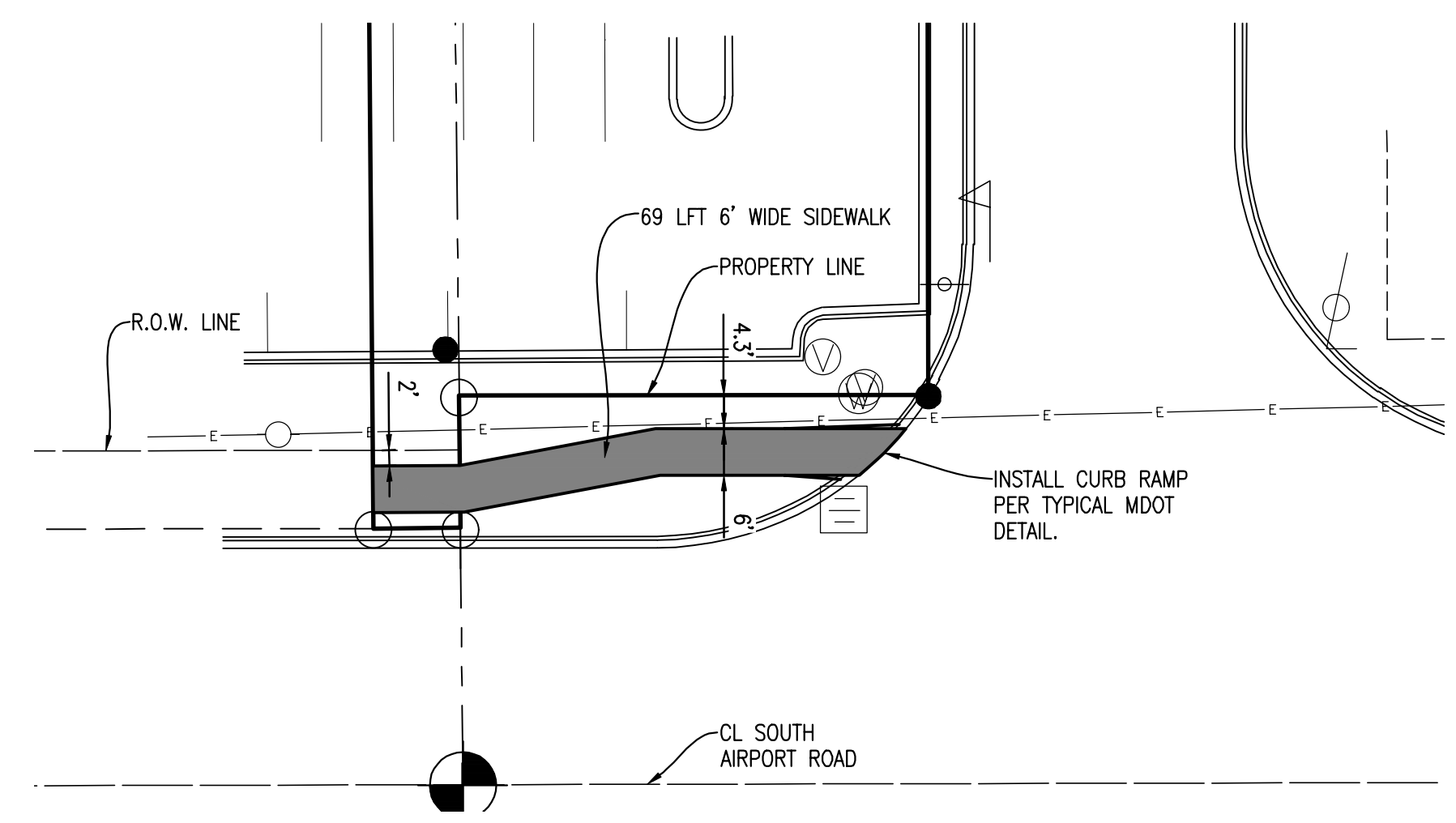
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Required Site Plan Elements Checklist (See § 956 of the Zoning Ordinance) Site Diagram (SD) / Administrative Site Plan (ASP) / Site Development Plan (SDP)		SD	ASP/ SDP
A. Basic Information			
1.	Applicant's name, address, telephone number and signature	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2.	Property owner's name, address, telephone number and signature	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.	Proof of property ownership	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4.	Whether there are any options or liens on the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5.	A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent	<input type="checkbox"/>	<input type="checkbox"/>
6.	The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7.	A vicinity map showing the area and road network surrounding the property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8.	Name, address and phone number of the preparer of the site plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9.	Project title or name of the proposed development	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10.	Statement of proposed use of land, project completion schedule, any proposed development phasing	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11.	Land uses and zoning classification on the subject parcel and adjoining parcels	<input type="checkbox"/>	<input checked="" type="checkbox"/>
12.	Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as their name, address and telephone number	<input type="checkbox"/>	<input checked="" type="checkbox"/>
B. Site Plan Information			
1.	North arrow, scale, and date of original submittal and last revision	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2.	Boundary dimensions of natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.	Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%), beach, drainage, and similar features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4.	Proposed alterations to topography and other natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5.	Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18%	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6.	Soil erosion and sediment control measures as required by the Grand Traverse County Soil Erosion Department.	N/A	<input checked="" type="checkbox"/>
7.	The location, height and square footage of existing and proposed main and accessory buildings, and other existing structures	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8.	Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state or federal government authorities	N/A	<input checked="" type="checkbox"/>
9.	Proposed finish floor and grade line elevations of any structures <i>*Required only for habitable construction within the floodplain on site diagrams and administrative site plans</i>	<input type="checkbox"/> *	<input checked="" type="checkbox"/>
10.	Existing and proposed driveways, including parking areas	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11.	Neighboring driveways and other vehicular circulation features adjacent to the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>
12.	A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared parking areas	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13.	Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14.	Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features within and adjacent to the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15.	Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16.	Location of neighboring structures that are close to the parcel line or pertinent to the proposal	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17.	Location of water supply lines and/or wells	<input type="checkbox"/>	<input checked="" type="checkbox"/>
18.	Location of sanitary sewer lines and/or sanitary sewer disposal systems	<input type="checkbox"/>	<input checked="" type="checkbox"/>
19.	Location, specifications, and access to a water supply in the event of a fire emergency	<input type="checkbox"/>	<input checked="" type="checkbox"/>
20.	Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention ponds, swales, wastewater lines, clean out locations, connection points and treatment systems	NO CHANGES PROPOSED	<input type="checkbox"/>
21.	A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam	NO CHANGES PROPOSED	<input type="checkbox"/>
22.	A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections	<input type="checkbox"/>	<input type="checkbox"/>
23.	A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used	NO CHANGES PROPOSED	<input type="checkbox"/>
24.	Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences, walls, trash receptacle screening, and other screening features with cross sections shown	<input type="checkbox"/>	<input checked="" type="checkbox"/>
25.	A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as, its typical size by general location or range of sizes as appropriate	<input type="checkbox"/>	<input checked="" type="checkbox"/>
26.	Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities, and on the natural environment on and adjacent to the site)	NO IMPACTS TO EXISTING	<input checked="" type="checkbox"/>
27.	Changes or modifications required for any applicable regulatory agencies' approvals	<input type="checkbox"/>	<input checked="" type="checkbox"/>

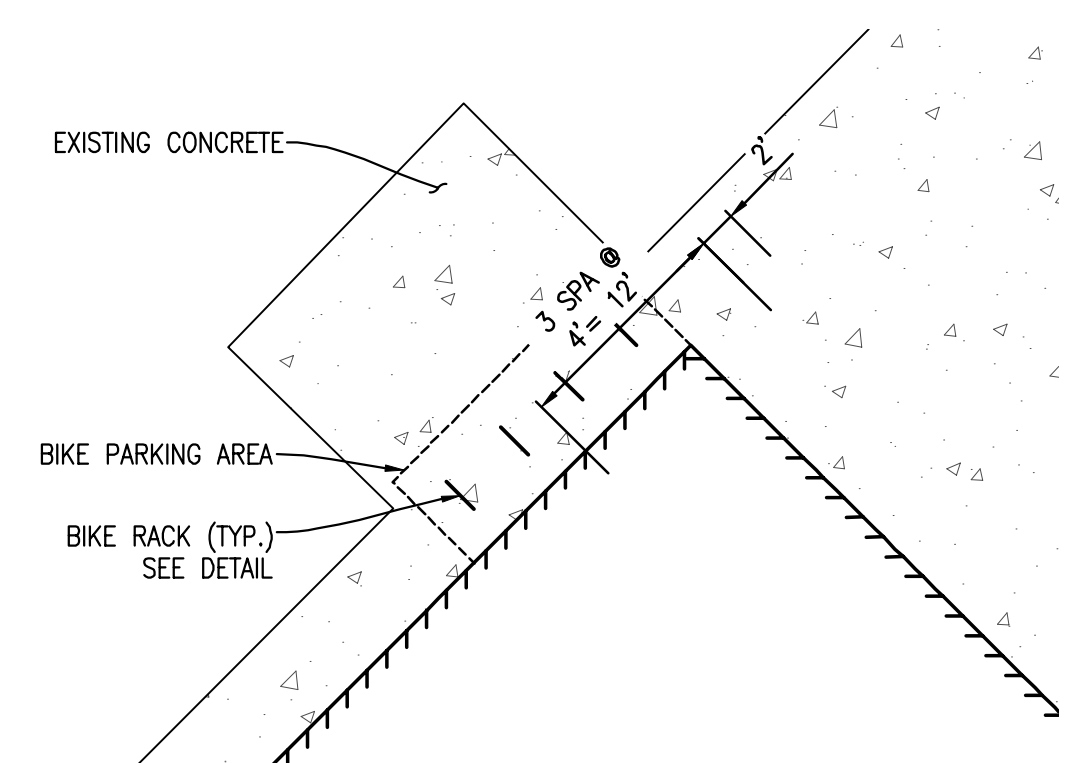
No.	Date	Revision	By
1	12-2-2022	TYP. SITE PLAN APPROVAL REVISIONS	RMV
2	10-17-2023	LAND USE PERMIT REVISIONS	RMV



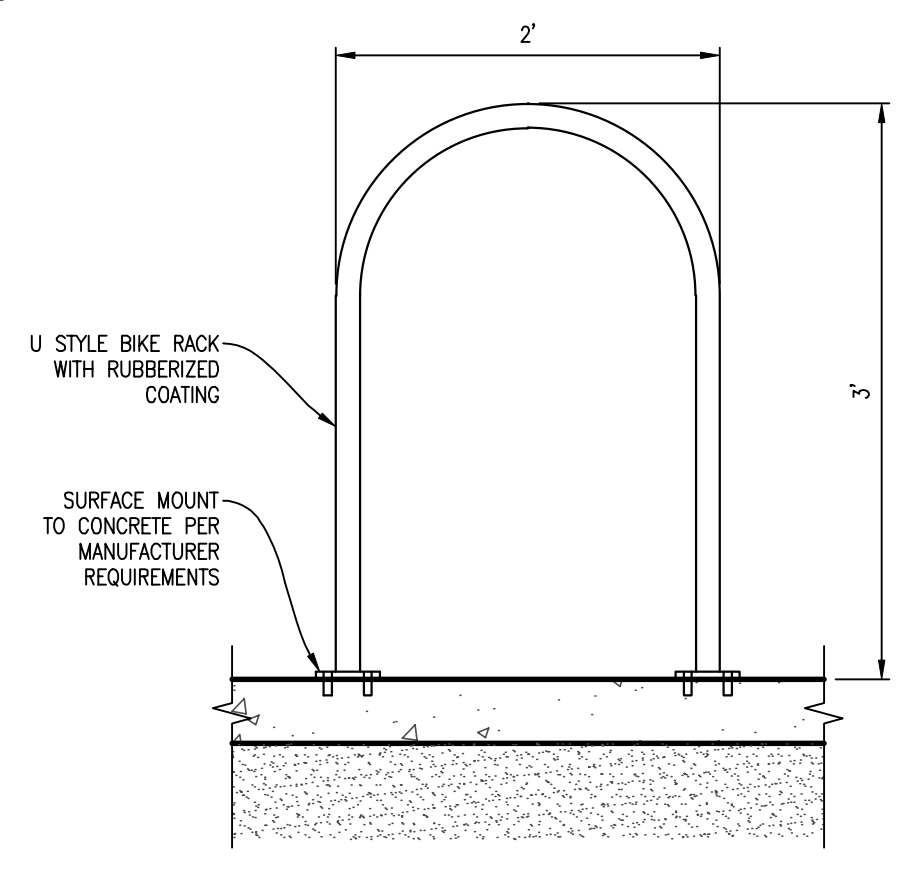
**AREA ENLARGEMENT 1
 WOODWARD DRIVE SIDEWALK PLAN**
 SCALE : 1" = 20'



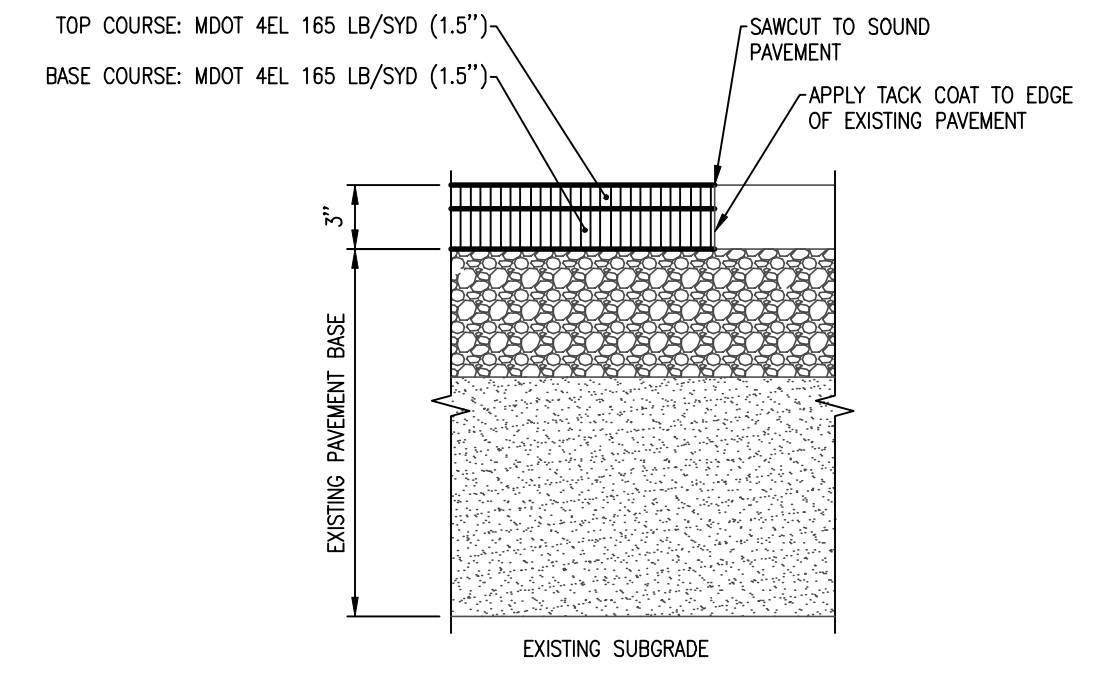
**AREA ENLARGEMENT 2
 SOUTH AIRPORT SIDEWALK PLAN**
 SCALE : 1" = 20'



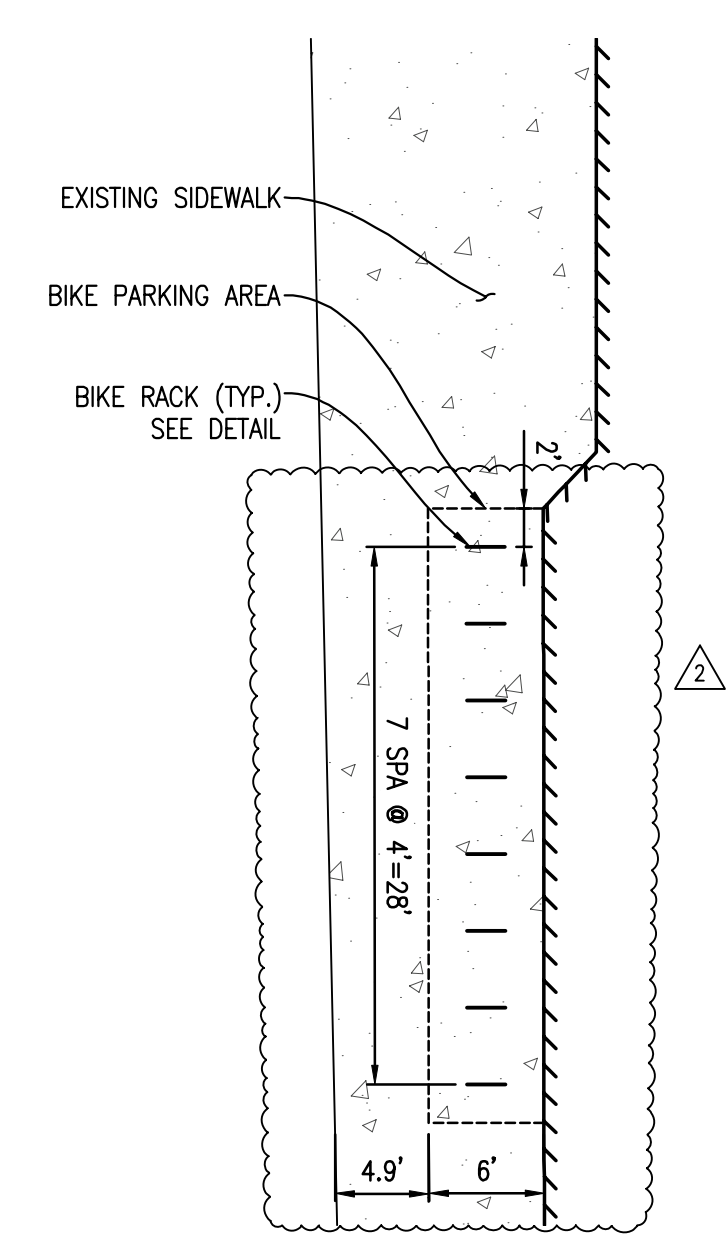
**AREA ENLARGEMENT 4
 BIKE RACK-2**
 SCALE : 1" = 10'



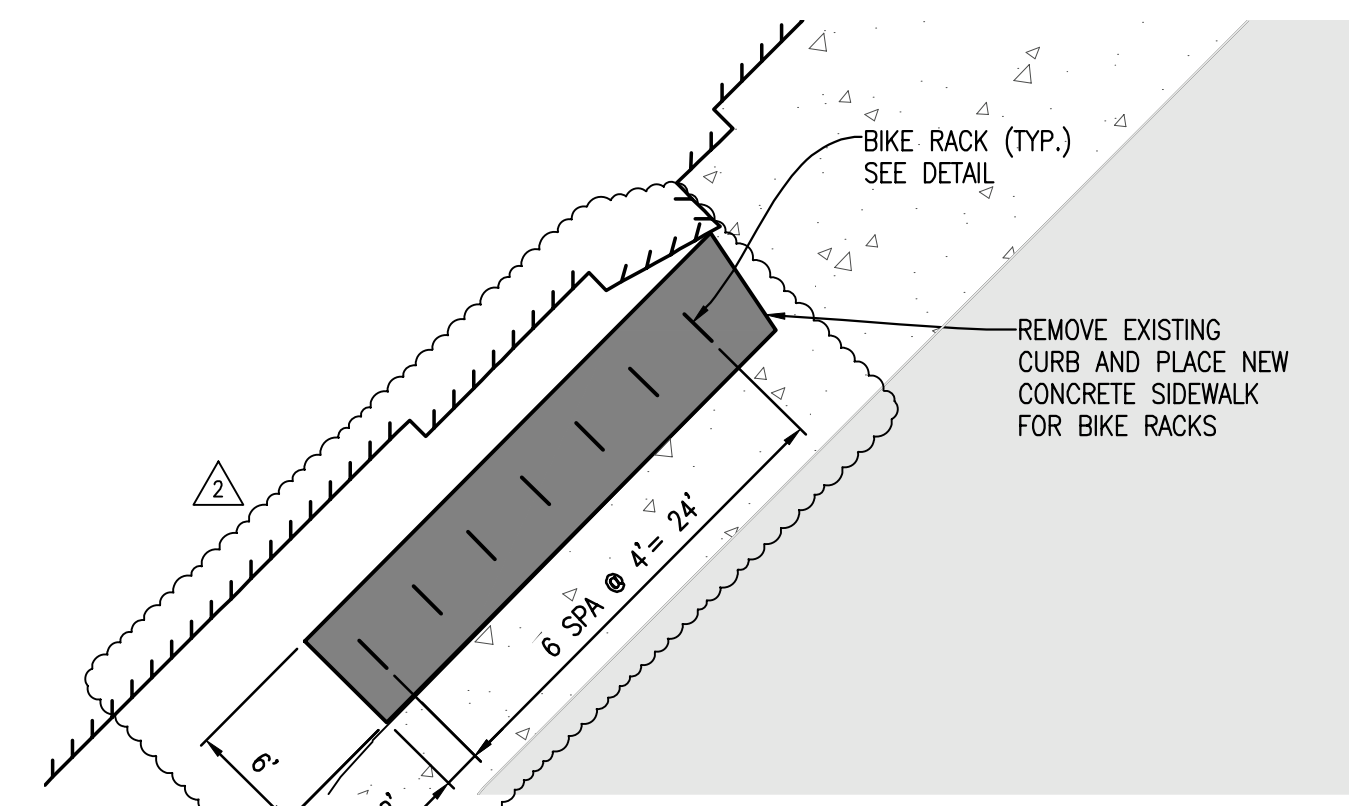
TYPICAL BIKE RACK DETAIL
 NOT TO SCALE



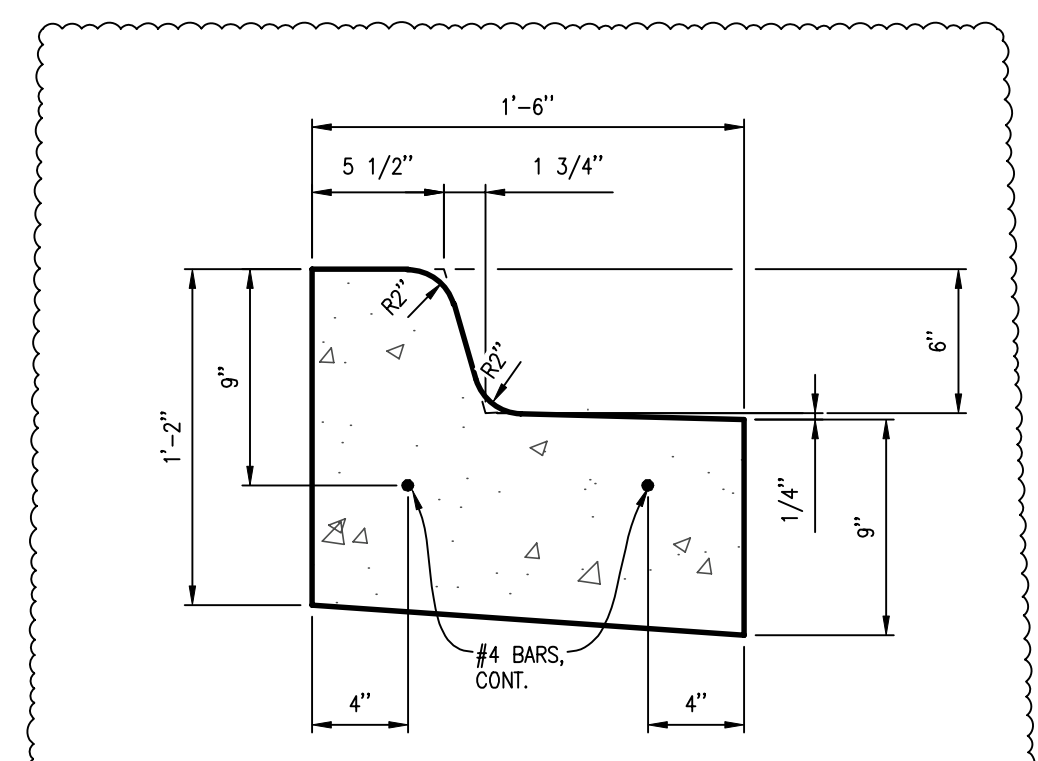
TYPICAL PAVEMENT DETAIL
 NOT TO SCALE



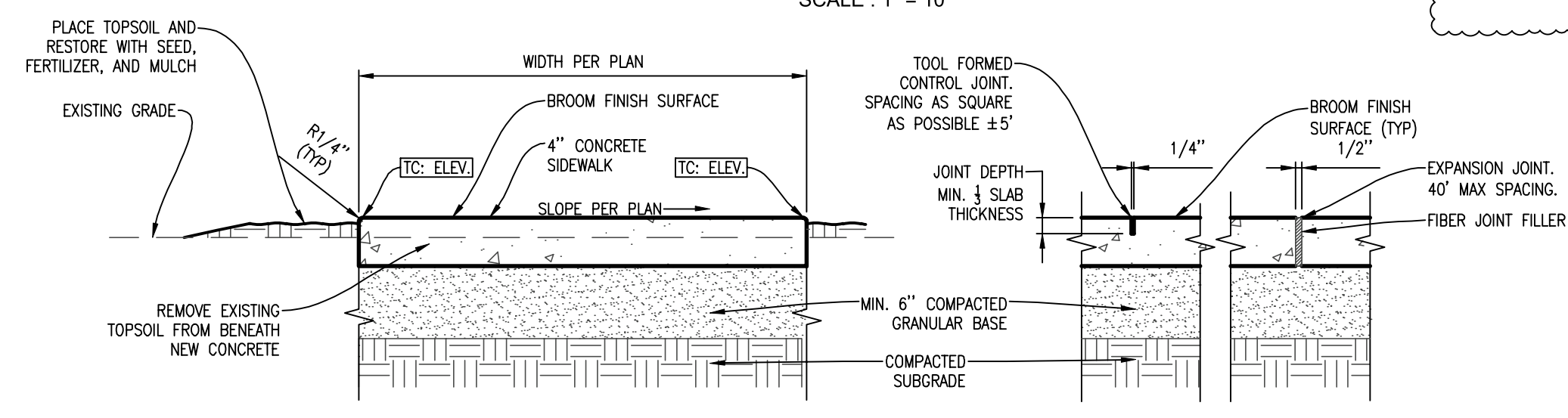
**AREA ENLARGEMENT 3
 BIKE RACK-1**
 SCALE : 1" = 10'



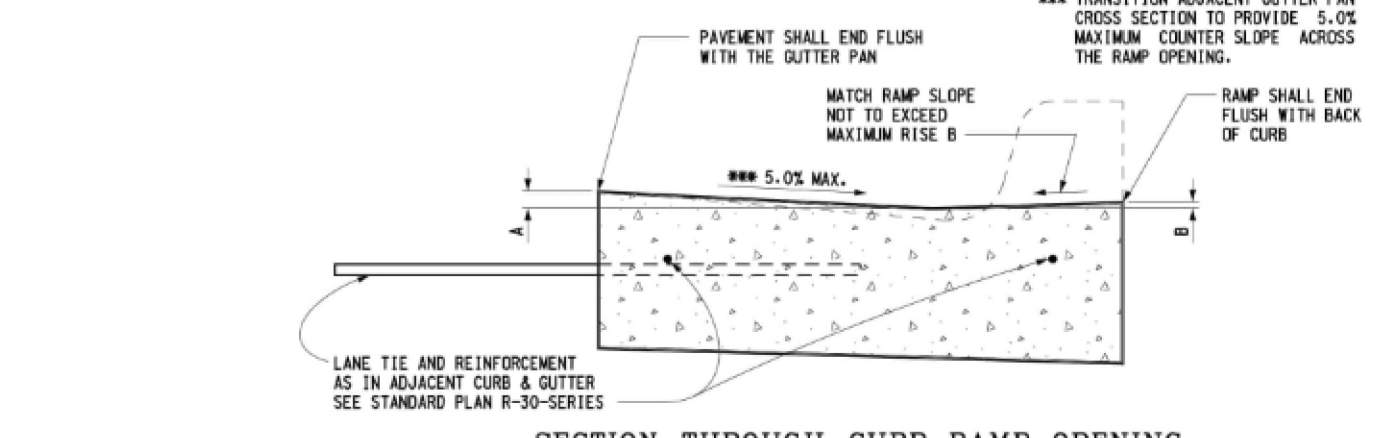
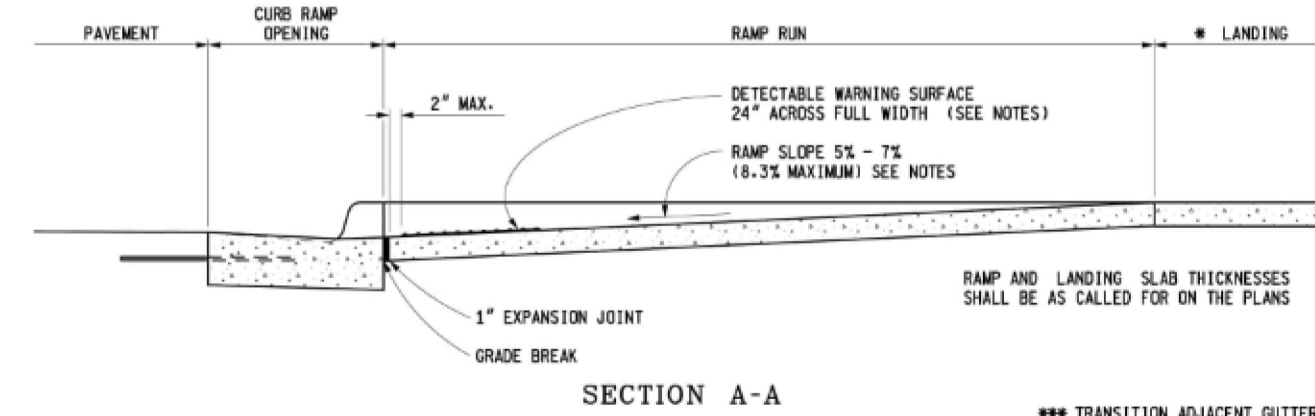
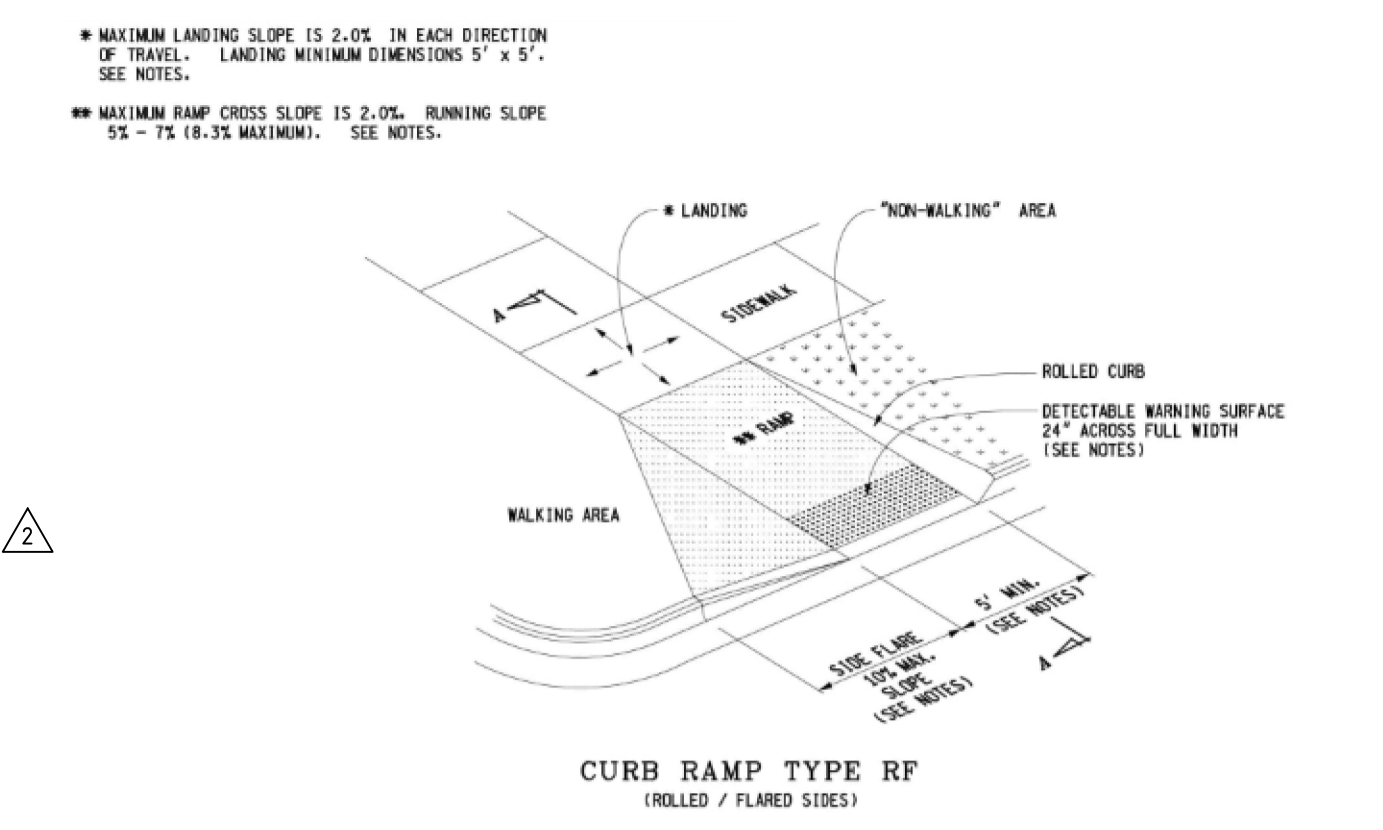
**AREA ENLARGEMENT 5
 BIKE RACK-3**
 SCALE : 1" = 10'



**M.D.O.T. "F2 MODIFIED"
 CONCRETE CURB & GUTTER DETAIL**
 NOT TO SCALE



TYPICAL CONCRETE SIDEWALK DETAIL
 NOT TO SCALE



TYPICAL MDOT CURB RAMP DETAIL
 NO SCALE

OCCUPANCY:
 SPORTS BAR DINING- 170 SEATS= 170 OCCUPANTS
 KITCHEN 4 STORAGE 2,101 SF./200= 11 OCCUPANTS
 181 TOTAL OCCUPANTS

TWO EXITS REQUIRED 4 PROVIDED OUT OF SPORTS BAR.
 EXIT WIDTH= 36" MIN.

NIGHT CLUB MAIN LEVEL- 11,048 SF./ 1= 1379 OCCUPANTS
 STAGE 1,454 SF./15= 97 OCCUPANTS
 BAND ROOM 684 SF./15= 46 OCCUPANTS
 1,722 TOTAL OCCUPANTS

FOUR EXITS REQUIRED 4 PROVIDED OUT OF NIGHT CLUB.
 EXIT "A" (4) DOORS- 120 OCCUPANTS
 EXIT "B" (3) DOORS- 540 OCCUPANTS
 EXIT "C" (2) DOORS- 231 OCCUPANTS
 EXIT "D" (2) DOORS- 231 OCCUPANTS

TOTAL OCCUPANTS- 1,903 OCCUPANTS

EXIT "E" HAS (91) OCCUPANTS FROM SPORTS BAR
 (462) OCCUPANTS FROM NIGHT CLUB AND UP TO (11)
 OCCUPANTS FROM K-1 SPEED SPACE. (630) TOTAL
 OCCUPANTS- (4) DOORS.

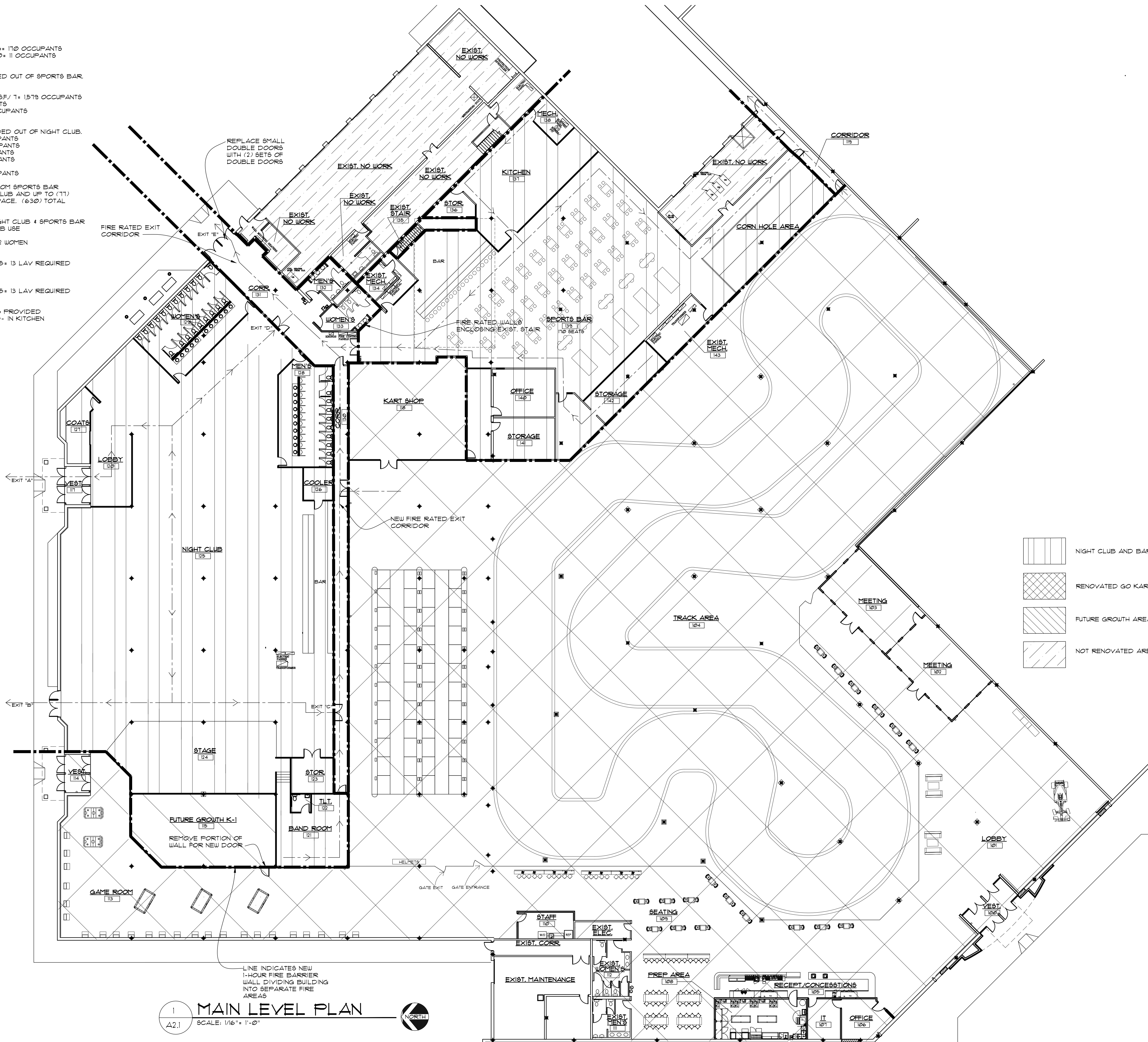
PLUMBING FIXTURES FOR NEW NIGHT CLUB 4 SPORTS BAR
 A-2 USE GROUP- BAR/NIGHT CLUB USE

1,903 OCCUPANTS- 952 MEN 4 952 WOMEN

WOMEN-
 952/40= 24 W.C. REQUIRED, 952/15= 13 LAV REQUIRED
 24 W.C. 4 13 LAV PROVIDED

MEN-
 952/40= 24 W.C. REQUIRED, 952/15= 13 LAV REQUIRED
 24 W.C. 4 13 LAV PROVIDED

(1) HI LO DRINKING FOUNTAIN IS PROVIDED
 (1) SERVICE SINK IS PROVIDED- IN KITCHEN



1 MAIN LEVEL PLAN
 SCALE: 1/16" = 1'-0"
 NORTH

- NIGHT CLUB AND BAR- "A-2" USE GROUP
- RENOVATED GO KART AREA- "A-4" USE GROUP
- FUTURE GROWTH AREA- "A-4" USE GROUP
- NOT RENOVATED AREA- EXISTING USE GROUP "M"

ARCHITECT:
Jessica VanHouzen Stroud
 607 W. Orchard Dr.
 Traverse City, MI
 231-631-4376
 jvanhou@gmail.com

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PROJECT NAME/ADDRESS:
 RENOVATIONS TO AN
 EXISTING BUILDING FOR
 A NEW SPORT'S BAR AND
 NIGHT CLUB
 1212 W SOUTH AIRPORT RD
 TRAVERSE CITY, MI

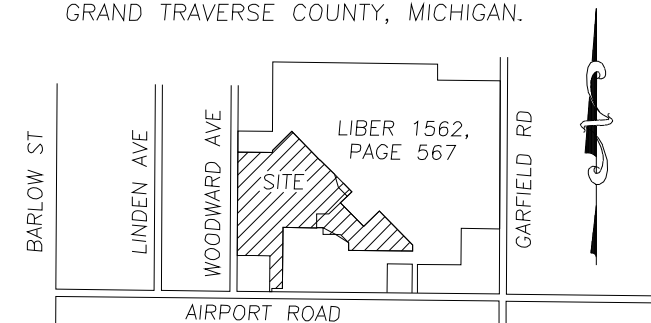
ISSUE DATES:

date:	issued for:
8-9-24	REVIEW

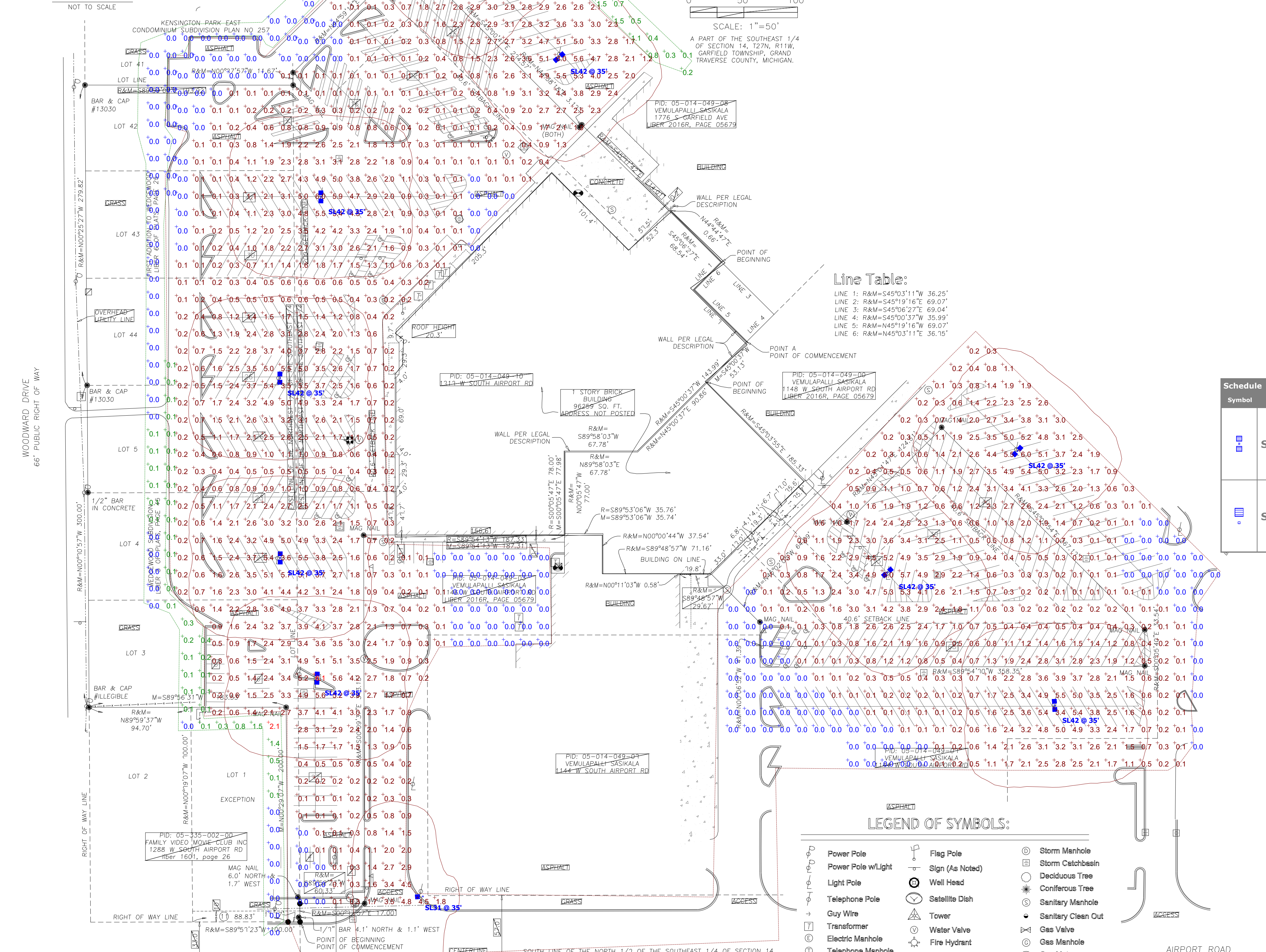
SHEET TITLE:
LIFE SAFETY PLAN

SHEET NO:
A1.1

GRAND TRAVERSE COUNTY, MICHIGAN.



VICINITY MAP
NOT TO SCALE



ABBREVIATIONS:

RECORDED MEASURED CALCULATED NORTH EAST SOUTH
 T27N = TOWN 27 NORTH
 R11W = RANGE 11 WEST
 SO. FT. = SQUARE FEET
 NE = NORTHEAST
 SE = SOUTHEAST
 SW = SOUTHWEST
 AVE. = AVENUE
 BLVD. = BOULEVARD
 CT. = COURT
 RD. = ROAD
 ST. = STREET
 PID = PARCEL AND

Plan View

Line Table:

LINE 1: R&M=S45°03'11"W 36.25'
 LINE 2: R&M=S45°19'16"E 69.07'
 LINE 3: R&M=S45°06'27"E 69.04'
 LINE 4: R&M=S45°00'37"W 35.99'
 LINE 5: R&M=N45°19'16"W 69.07'
 LINE 6: R&M=N45°03'11"E 36.15'

LEGEND OF SYMBOLS:

- Power Pole
- Power Pole w/Light
- Light Pole
- Telephone Pole
- Guy Wire
- Transformer
- Electric Manhole
- Telephone Manhole
- Telephone Pedestal
- Electric Meter
- Cable Box
- Air Conditioner Unit
- Easement Identifier
- Distance not to scale
- Flag Pole
- Sign (As Noted)
- Well Head
- Satellite Dish
- Tower
- Water Valve
- Fire Hydrant
- Water Manhole
- Water Meter Pit
- Water Meter
- Indicates Handicapped Parking
- Parking Count
- Storm Manhole
- Storm Catchbasin
- Deciduous Tree
- Coniferous Tree
- Sanitary Manhole
- Sanitary Clean Out
- Gas Valve
- Gas Manhole
- Gas Meter
- Gas Marker
- Section Corner
- Set 5/8" Bar & Cap
- Found Corner Monument
- Monitoring Well

SPEC SHEET

Site Lighter (SL1)

AREA LIGHT LED FIXTURE



KEY FEATURES

- Up to 174 LPW
- 8,500 to 62,000 lumens
- Up to 55°C



Guaranteed Performance
 Performance of the light fixture is guaranteed for 10 years, including lumen output (L70), color

Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
[Symbol]	SL42	9	Linmore LED Inc.	LL-SLI-MD-200WD-35K-T4-UNV-G2-**-**	Dual Head LED LUMINAIRE Type IV	1	29932	0.96	400	[Polar Plot]
[Symbol]	SL31	1	Linmore LED Inc.	LL-SLI-MD-200WD-35K-T3-UNV-G2-**-**	LED LUMINAIRE Type III	1	30243	0.96	200	[Polar Plot]


Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
General Parking	+	1.4 fc	6.1 fc	0.0 fc	N/A	N/A
Peripheal Area	+	0.3 fc	2.1 fc	0.0 fc	N/A	N/A



K1 Go Kart
 Proposed Site Lighting
 Traverse City, MI

Designer
 MLS PDG RE
 Date
 11/08/2023
 Scale
 Not to Scale
 Drawing No.
 103EXT11082023
 Summary

 Charter Township of Garfield Planning Department Report No. 2024-74			
Prepared:	September 4, 2024	Pages:	5
Meeting:	September 11, 2024 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	Angel Care Child Care at Church of the Living God Special Use Permit – Introduction		
File No.	SUP-2024-03	Parcel No.	05-026-014-10
Applicant:	Angel Care Child Care		
Agent:	Kimberly Lindsey		
Owner:	Church of the Living God		

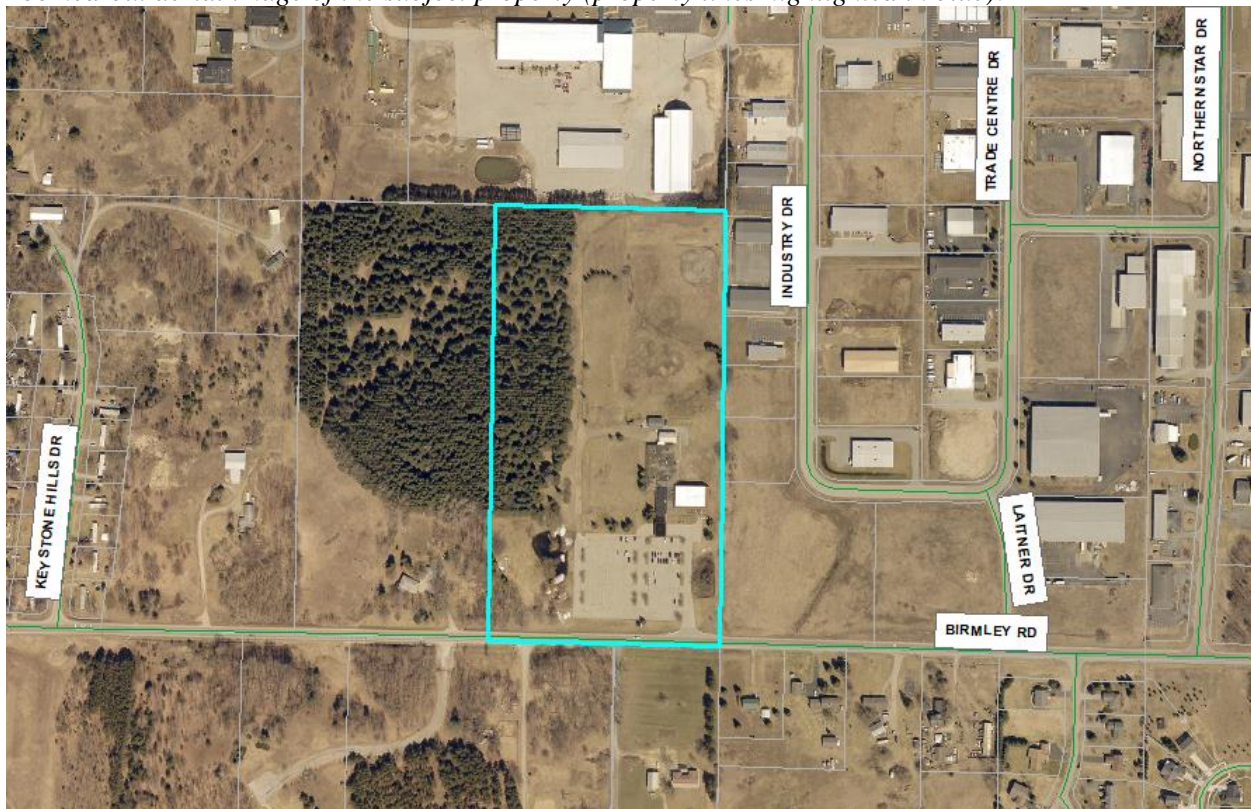
BRIEF OVERVIEW:

- Location: 1514 Birmley Road, north side of Birmley Road
- Parcel area: 21.84 acres
- Existing land use: Church
- Existing zoning: A – Agricultural District

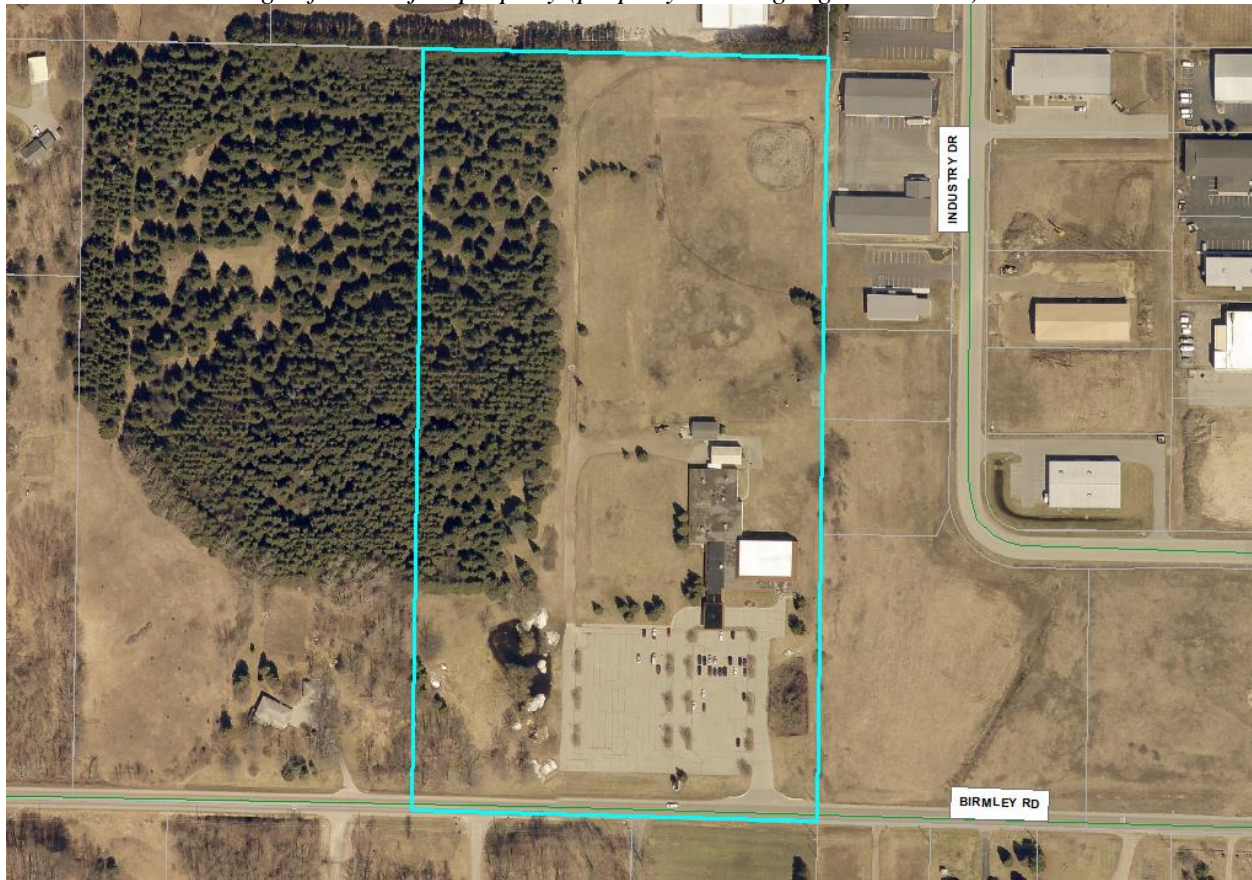
PURPOSE OF APPLICATION:

This application by Angel Care Child Care requests the use of an existing church building at 1514 Birmley Road for a child care center as an additional use. Child care centers are permitted via Special Use Permit in the A-Agricultural zoning district. No new construction is planned.

Zoomed-out aerial image of the subject property (property lines highlighted in blue):



Zoomed-in aerial image of the subject property (property lines highlighted in blue):



BACKGROUND:

In 2022, Traverse City Christian School applied for a Special Use Permit for a child care center located in the existing Church of the Living God building. It was intended that they “would be open during business hours Monday-Friday year-round with several scheduled breaks consistent with the school year calendar. We hope to have up to 100 children and 15+ staff members.” Traverse City Christian School indicated that they discovered that the church building would need extensive fire system updates to bring it up to code for the child care use, which ended up being cost prohibitive for them. They ultimately allowed the application to expire on May 11, 2023, which was affirmed by the Planning Commission on May 10, 2023.

In their cover letter, Angel Care Child Care proposes to have “up to 60 children in the center and 15+ staff members.” In discussions with Staff, the applicant has indicated that the building upgrades described that are mentioned in the Traverse City Christian School application were due to proposing up to 100 children, whereas their proposal of up to 60 children did not require these same building upgrades. Aside from the Special Use Permit review by the Planning Commission, this application is also subject to review by other agencies such as Metro Fire and building plan review, which will determine if any building upgrades are needed.

SITE DESIGN AND ZONING COMPLIANCE OVERVIEW:

In approving any special use permit pursuant to Section 423, the Planning Commission may impose such reasonable standards, conditions, or requirements, in addition to or that supersede any standard specified in this ordinance, as it may deem necessary to protect the public interest and welfare. Such additional standards may include, but need not be limited to:

- a) Financing;
- b) Availability of adequate public facilities or services;
- c) Dedication of land;
- d) Reservation of land;
- e) Creation of special assessment districts;
- f) Creation of restrictive covenants or easements;
- g) Special setbacks;
- h) Yard requirements;
- i) Increased screening or landscaping requirements;
- j) Area requirements;
- k) Development phasing; or
- l) Standards pertaining to traffic, circulation, noise, lighting, hours of operation, protection of environmentally sensitive areas, and similar characteristics.

Staff offers the following comments regarding site design and compliance with the Zoning Ordinance:

Proposed Use

The proposed child care center will be an additional use inside an existing church building. According to the application, the child care center “would be open during the business hours Monday-Friday 7:30-5:30. We hope to have up to 60 children in the center and 15+ staff members.”

The cover letter states that: “We are proposing exterior doors have to be added to the classrooms to create a safe fire exit as required by the fire inspector for children within the classroom. A few cosmetic and or equipment upgrades and minor renovations.” Because there is no proposed building construction, building addition, building footprint expansion, nor similar type of construction, Staff have waived the requirements for a full site development plan.

The proposed playground area is seen on the Building Use Plan with the floor plan. The application shall include details of the playground area such as area of the playground space, dimensions and materials of the proposed fencing, and the location of any gates to meet the standards of Section 720.A(2) of the Zoning Ordinance.

Parking and Floor Area

The parking requirement for child care centers is one (1) parking space for each three hundred (300) square feet of floor space. According to the floor plan, the floor area proposed for the child care center will include the following rooms, among shared spaces with the church:

- Room 6: 20 feet x 30 feet → 600 square feet
- Room 7: 20 feet x 30 feet → 600 square feet
- Fellowship Hall: 43 feet x 48 feet → 2,064 square feet
- Kitchen: 22 feet x 26 feet → 572 square feet
- Lobby: 30 feet x 80 feet → 2,400 square feet
- Total of the above rooms → **6,236 square feet**

This proposed area of the building for child care use is 6,236 square feet, requiring 21 parking spaces. The cover letter states there “is a large parking lot with 238 spaces to allow parking for staff and visitors.” If the peak times are different for the child care center and church, it is anticipated the existing parking lot can handle the parking needs for both uses. The cover letter also states that: “Arrival and departure would be staggered and flow of traffic should not be disrupted.”

Signage

Signs require sign permit review and are not approved under the site plan review process. The application shall indicate if any changes are proposed to the existing signage on the site and if so, indicate that “Signs are subject to sign permit review.”

Other Reviews

The site plan is subject to review from other agencies, including Metro Fire, as well as building plan review.

Child Care Center Requirements

Section 720 of the Zoning Ordinance outlines specific regulations and conditions for child care centers:

Facility shall maintain all valid state and local licenses.

- The cover letter states the “project will begin once approved and end as soon as we secure a license from the State of Michigan. The project could take anywhere between 6-12 months. Depending on upgrades, inspections and licensing process.”

All outdoor areas used for the care and supervision of patrons shall have appropriate fencing for the safety of the children in the group day-care home; consisting of a minimum 6-foot high privacy fence along the area adjoining another residence, and a minimum 4-foot high fence in the remaining area devoted to the day-care area.

- The cover letter states that the “proposed childcare center would be required by licensing to add a gated playground that includes at least [1,200] square feet.” The proposed playground area is seen on the Building Use Plan with the floor plan. The application shall include details of the playground area such as area of the playground space, dimensions and materials of the proposed fencing, and the location of any gates.
- The cover letter also states that the “property is set far enough back from the road and has enough space that there would be no nuisance to neighboring properties.” The proposed playground area is next to the building; there is an extensive tree buffer to the residence to the west.

Hours of operation shall not exceed sixteen (16) hours during a 24-hour period. The Planning Commission shall not prohibit evening operations completely but may establish limitations on hours of operation and/or activities between the hours of 10PM and 6AM.

- The application states that the proposed child care center “would be open during the business hours Monday-Friday 7:30-5:30.”

ACTION REQUESTED:

The purpose of the introductory meeting is to accept the application and to identify any concerns that should be addressed prior to holding a public hearing on the application. Following an opportunity for applicant presentation and Commissioner discussion, if the Planning Commission is prepared to schedule a public hearing on the application, then the following motion is offered for consideration:

MOTION THAT application SUP-2024-03, submitted by Angel Care Child Care for a Special Use Permit for a child care center at Parcel 05-026-014-10, BE ACCEPTED, and BE SCHEDULED for a public hearing for the regular Planning Commission meeting on October 9, 2024, subject to the following additional information being provided by the applicant:

1. The application shall include details of the playground area such as area of the playground space, dimensions and materials of the proposed fencing, and the location of any gates.
2. The application shall indicate if any changes are proposed to the existing signage on the site and if so, indicate that “Signs are subject to sign permit review.”
3. The site plan is subject to review from other agencies, including Metro Fire.

Any additional information the Planning Commission deems necessary should be added to this motion.

Attachments:

1. Special Use Permit Application dated August 20, 2024
2. Cover Letter dated August 22, 2024
3. Land Details dated November 1, 2022
4. Building Use Plan



Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE
TRAVERSE CITY, MICHIGAN 49684
PH: (231) 941-1620 • FAX: (231) 941-1588

SPECIAL USE PERMIT (SUP) APPLICATION

ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning and/or Zoning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

ACTION REQUESTED

- New Special Use Permit
- Major Amendment
- Minor Amendment
- Administrative Amendment

PROJECT / DEVELOPMENT NAME

Angel Care Child Care

APPLICANT INFORMATION

Name: Angel Care Childcare
Address: 834 Hastings Street
Phone Number: 231-933-3232
Email: Director@angelcarechildcare.org

AGENT INFORMATION

Name: Kimberly Lindsey
Address: 834 Hastings Street
Phone Number: 231-933-3232
Email: Director@angelcarechildcare.org

OWNER INFORMATION

Name: Church of the Living God
Address: 1514 Birmley Rd Traverse City Mi 49686
Phone Number: 1-231-947-7645
Email: Info@clgonline.org

CONTACT PERSON

Please select one person to be contact person for all correspondence and questions:

<i>Applicant:</i>	Angel Care Child Care
<i>Agent:</i>	Kimberly Lindsey
<i>Owner:</i>	Church of the Living God

PROPERTY INFORMATION

<i>Property Address:</i>	1514 Birnley Road Traverse City Mi 49686
<i>Property Identification Number:</i>	05-026-014-10
<i>Legal Description:</i>	E 715' SE 1/4 NW1/4 SEC26 T27N R11 WEXCRDRDW
<i>Zoning District:</i>	AGRI
<i>Master Plan Future Land Use Designation:</i>	
<i>Area of Property (acres or square feet):</i>	21.302 Acres
<i>Existing Use(s):</i>	Church
<i>Proposed Use(s):</i>	Church and Child Care Center

PROJECT TIMELINE

<i>Estimated Start Date:</i>	October 2024
<i>Estimated Completion Date:</i>	June 2025

REQUIRED SUBMITTAL ITEMS

A complete application for a Special Use Permit consists of the following:

Application Form:

- One original signed application
- One digital copy of the application (PDF only)

Application Fee:

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please make check out to Charter Township of Garfield.

- Fee

Escrow Fee:

Additional fees may be required if a review by independent professional help is deemed necessary by the Township. If required, such additional fees must be placed in escrow by the applicant in accordance with the escrow policies of the Township and prior to any further processing of this application. Any unused escrow funds shall be returned to the applicant. Please complete an Escrow and Review (ER) Application form.

Site Development Plan:

- Ten complete stapled 11"x17" paper sets (Administrative Amendments require one copy)
- Two complete bound 24"x36" paper sets
- One digital set (PDF only)

Written Information:

- Ten paper copies of the Approval Criteria (Administrative Amendments require one copy)
- One digital copy of the Approval Criteria (PDF only)
- Ten paper copies of the Impact Assessment (Administrative Amendments require one copy)
- One digital copy of the Impact Assessment (PDF only)

Digital items to be delivered via email or USB flash drive

SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

WAIVERS

Submittal Waiver:

At the discretion of the Director of Planning, a Site Development Plan may be waived in any of the following cases when it is determined that the submission would serve no useful purpose:

1. The erection or enlargement of an accessory structure;
2. The enlargement of a principal building by less than 20 percent of its existing gross floor area, provided such enlargement will not result in a requirement for additional off-street parking;
3. A change in principal use where such change would not result in an increase in impervious surface area, additional off-street parking, site access, other external site characteristics or a violation of this ordinance.

Data Waiver:

The Director of Planning may waive a particular element of information or data otherwise required for a Site Development Plan upon a finding that the information or data is not necessary to determine compliance with this ordinance or that such information or data would not bear on the decision of the approval authority.

SITE PLAN

Check that your site plan includes all required elements for a Site Development Plan (SDP). Please use the Required Site Plan Elements Checklist below.

APPROVAL CRITERIA

Indicate, on a separate sheet of paper, how the proposed special use will comply with, meet, or facilitate each of the following Approval Criteria from § 423.E of the Zoning Ordinance. The Planning Commission must determine that each of these criteria are satisfied in order to grant approval of a Special Use Permit. A special use is permitted only if the applicant demonstrates that: special use is permitted only if the applicant demonstrates that:

- The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district;

- The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;
- The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;
- Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;
- The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;
- Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;
- The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
- The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;
- Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;
- Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and
- The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

IMPACT ASSESSMENT

A written impact statement to include the following information:

- A written illustrative description of the environmental characteristics of the site prior to development, i.e., topography, soils, vegetative cover, drainage, streams, creeks or ponds.
- Types of uses and other man-made facilities.
- The number of people to be housed, employed, visitors or patrons and vehicular and pedestrian traffic.
- Phasing of the project including ultimate development proposals.
- Natural features which will be retained, removed and/or modified including vegetation, drainage, hillsides, streams wetlands, woodlands, wildlife and water. The description of the areas to be changed shall include their effect on the site and adjacent properties. An aerial photo may be used to delineate the areas of change.
- The method to be used to serve the development with water and sanitary sewer facilities.
- The method to be used to control drainage on the site and from the site. This shall include runoff control during periods of construction.
- If the public sewers are not available to the site, the Applicant shall submit a current approval from the Health Department or other responsible public agency indicating approval of plans for sewage treatment.

- The method to be used to control any increase in effluent discharge to the air or any increase in noise level emanating from the site. Consideration of any nuisance that would be created within the site or external to the site whether by reason of dust, noise, fumes vibration, smoke or lights.
- An indication of how the proposed use conforms with existing and potential development patterns and any adverse effects.
- The proposed density in units per acre for residential developments.
- Name(s) and address(es) of person(s) responsible for preparation of statement.
- Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from the County Soil Erosion and Sedimentation office.
- Type, direction, and intensity of outside lighting.
- General description of deed restrictions, if any.

ADDITIONAL INFORMATION

If applicable, provide the following further information:

	<u>Yes</u>	<u>No</u>	<u>Not Applicable</u>
A. <u>Sanitary Sewer Service</u>			
1. Does project require extension of public sewer line?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Will a community wastewater system be installed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If yes, provide construction plans and specifications			
3. Will on-site disposal be used?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, is it depicted on plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
B. <u>Water Service</u>			
1. Does project require extension of public water main?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Will a community water supply be installed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If yes, provide construction plans and specifications			
C. <u>Public utility easements required?</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, show on plan.			
D. <u>Stormwater Review/Soil Erosion</u>			
1. Soil Erosion Plans approved by Soil Erosion Office?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If so, attach approval letter.			
If no, are alternate measures shown?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Stormwater Plans approved by Township Engineer?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If so, attach approval letter.			
If no, are alternate measures shown?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Note: Alternate measures must be designed and sealed by a registered Engineer.			

E. Roads and Circulation

- | | | | |
|---|--------------------------|-------------------------------------|-------------------------------------|
| 1. Are interior public streets proposed? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| If yes, has Road Commission approved (attach letter)? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 2. Will public streets connect to adjoining properties or future streets? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. Are private roads or interior drives proposed? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 4. Will private drives connect to adjoining properties service roads? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 5. Has the Road Commission or MDOT approved curb cuts? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| If yes, attach approved permit. | | | |

OTHER INFORMATION

If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

REVIEW PROCESS

- Upon submittal of this application, Staff will review the materials submitted and will, within ten (10) working days, forward a determination of completeness to the applicant. If the submission is incomplete or noncompliant with the Zoning Ordinance, it will be returned to the applicant for revision. Once the submission is revised, Staff will again review it for completeness and again forward a determination to the applicant within ten (10) working days. This procedure shall be repeated until a complete submission is received.
- Once the application is deemed to be complete and submitted according to the application deadlines, it will be forwarded to the Planning Commission for review. The Planning Commission will determine if the application is complete and schedule a public hearing.
- Upon holding a public hearing, the Planning Commission may approve, approve with conditions, or deny the proposed special use.
- If approved or approved with conditions, the decision of the Planning Commission shall be incorporated into a written report and decision order.

PERMISSION TO ENTER SUBJECT PROPERTY

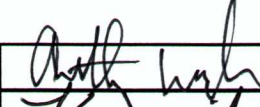
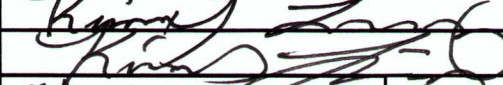

Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Owner Signature:

Applicant Signature:

Agent Signature:

Date:




8/20/24

OWNER'S AUTHORIZATION

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We Church of the Living God authorize to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner Signature:

<i>Auth. Weir</i>

Date:

<i>8/20/24</i>

AFFIDAVIT

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application and all of the information submitted in this application, including any supplemental information, is in all respects true and correct. The undersigned further acknowledges that willful misrepresentation of information will terminate this permit application and any permit associated with this document.

Owner Signature:

<i>Auth. Weir</i>

Date:

<i>8/20/24</i>

Applicant Signature:

<i>Kimmy Long</i>

Date:

<i>8-20-24</i>

August 22, 2024

To Whom It May Concern,

Angel Care Childcare, in partnership with Church of the Living God, would like to propose a change in the use of property 1514 Brimley Road. Currently the Church of the Living God. meets at this building, we would like to add an Early Childhood Childcare Center to include ages Birth-12 years old. The Childcare center would be open during the business hours Monday-Friday 7:30-5:30. We hope to have up to 60 children in the center and 15+ staff members.

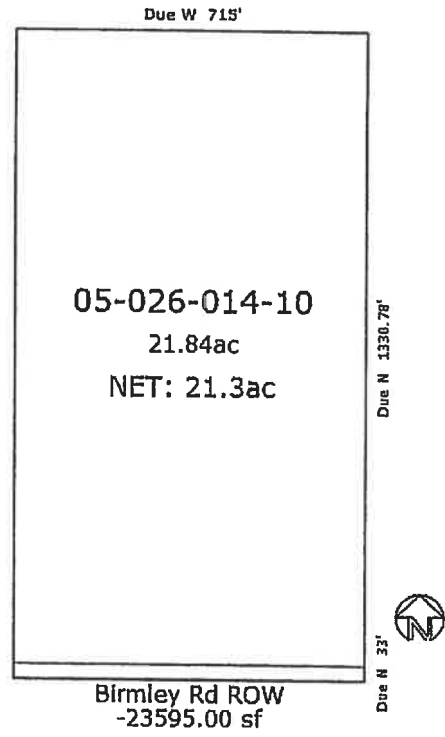
We are proposing exterior doors have to be added to the classrooms to create a safe fire exit as required by the fire inspector for children within the classroom. A few cosmetic and or equipment upgrades and minor renovations. The property is set far enough back from the road and has enough space that there would be no nuisance to neighboring properties. Arrival and departure would be staggered and flow of traffic should not be disrupted. There is a large parking lot with 238 spaces to allow parking for staff and visitors. Drive through for drop off/pick up is available for all families. The prosed childcare center would be required by licensing to add a gated playground that includes at least 1,2000 square feet. The building was originally intended and has been previously used to service students and employee staff in education environment.

The project will begin once approved and end as soon as we secure a license from the State of Michigan. The project could take anywhere between 6-12 months. Depending on upgrades, inspections and licensing process.

Thank you for your consideration,



Kimberly Lindsey
Executive Director
Angle Care Childcare
Traverse city MI 49686
834 Hastings street
231-933-3232



Sketch by Apex Sketch

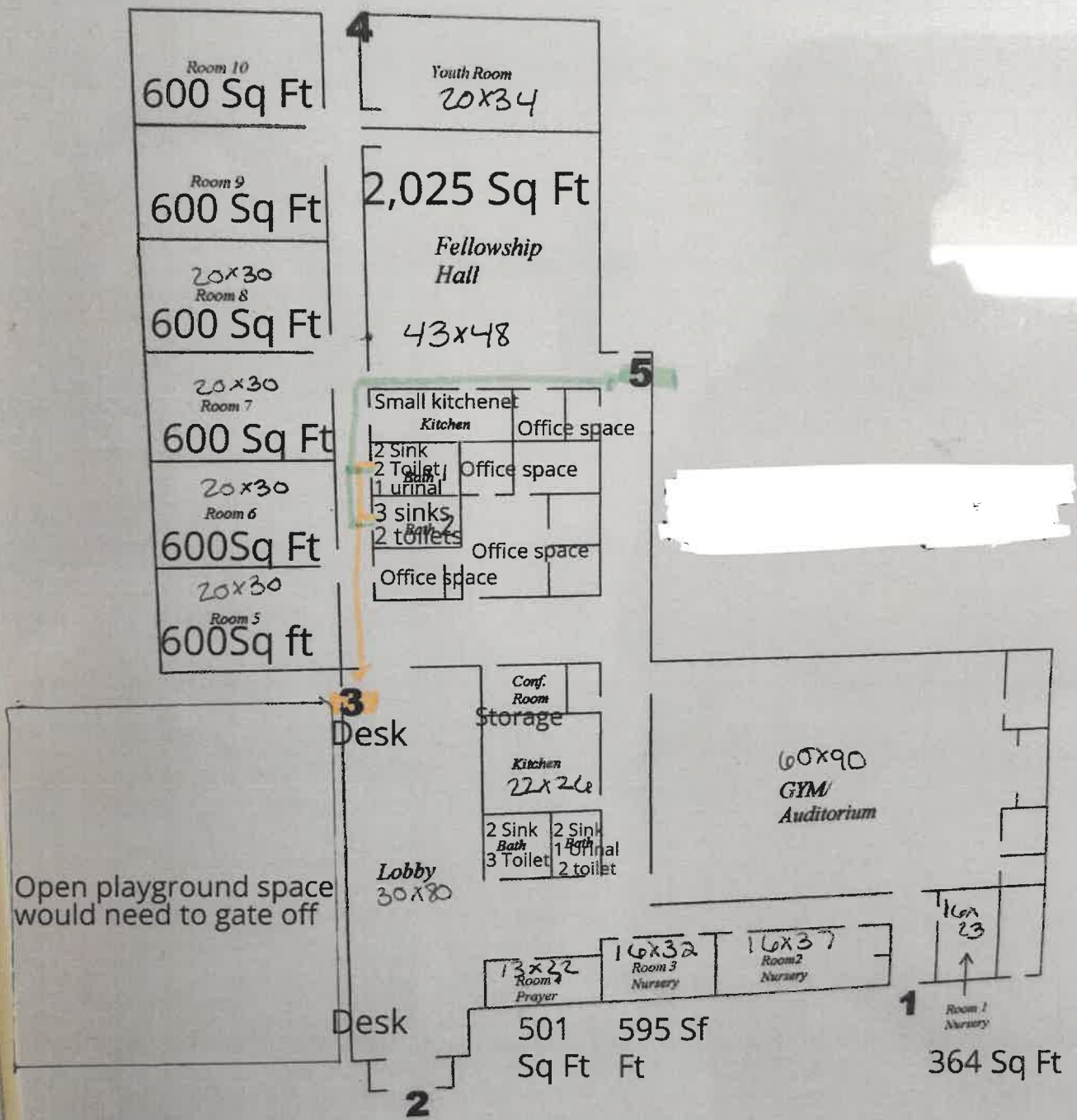
*** Information herein deemed reliable but not guaranteed***

Desc. of Bldg/Section: CHURCH Calculator Occupancy: Religious Buildings - Churches With Sunday S		<<<<< Calculator Cost Computations >>>>>																																					
Class: C Floor Area: 24,442 Gross Bldg Area: 25,942 Stories Above Grd: 1 Average Sty Hght : 15 Bsmnt Wall Hght		Class: C Quality: Average Stories: 1 Story Height: 15 Perimeter: 801 Overall Building Height: 23 Base Rate for Upper Floors = 152.58 (10) Heating system: Complete H.V.A.C. Cost/SqFt: 52.72 100% Adjusted Square Foot Cost for Upper Floors = 205.30 Total Floor Area: 24,442 Base Cost New of Upper Floors = 5,017,942 24,442 Sq.Ft. of Sprinklers @ 3.68, Cost New = 89,947 Reproduction/Replacement Cost = 5,107,889 Eff.Age:26 Phy.%Good/Abnr.Phy./Func./Econ./Overall %Good: 59 /100/100/100/59.0 Total Depreciated Cost = 3,013,655																																					
Depr. Table : 2% Effective Age : 26 Physical %Good: 59 Func. %Good : 100 Economic %Good: 100		*** Calculator Cost Data *** Quality: Average Heat#1: Complete H.V.A.C. 100 Heat#2: No Heating or Cooling 0% Ave. SqFt/Story: 24442 Ave. Perimeter: 801 Has Elevators:																																					
1997 Year Built Remodeled		*** Basement Info *** Area: Perimeter: Type: Heat: Hot Water, Radiant Floor																																					
23 Overall Bldg Height		* Mezzanine Info * Area #1: Type #1: Area #2: Type #2:																																					
Comments:		* Sprinkler Info * Area: 24442 Type: Low																																					
(1) Excavation/Site Prep:		(7) Interior:																																					
(2) Foundation:		(8) Plumbing:																																					
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(3) Frame:		(9) Sprinklers:																																					
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(5) Floor Cover:		<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width:15%;">Gas</td> <td style="width:15%;">Coal</td> <td style="width:15%;">Hand Fired</td> <td style="width:15%;"></td> </tr> <tr> <td>Oil</td> <td>Stoker</td> <td>Boiler</td> <td></td> </tr> </table>		Gas	Coal	Hand Fired		Oil	Stoker	Boiler																													
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(6) Ceiling:		(11) Electric and Lighting:																																					
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		(39) Miscellaneous:																																					
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Desc. of Bldg/Section: Calculator Occupancy: Warehouses - Storage				<<<<< Calculator Cost Computations >>>>>							
Class: D, Pole Floor Area: 1,500 Gross Bldg Area: 25,942 Stories Above Grd: 1 Average Sty Hght : 14 Bsmnt Wall Hght		Construction Cost <table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width:10%;">High</td> <td style="width:10%;">Above Ave.</td> <td style="width:10%;">Ave.</td> <td style="width:10%;">X</td> <td style="width:10%;">Low</td> </tr> </table> ** ** Calculator Cost Data ** ** Quality: Average Heat#1: Space Heaters, Gas with Fan 100 Heat#2: Space Heaters, Gas with Fan 0% Ave. SqFt/Story: 1500 Ave. Perimeter: 160 Has Elevators:			High	Above Ave.	Ave.	X	Low	Class: D, Pole Quality: Average Stories: 1 Story Height: 14 Perimeter: 160 Overall Building Height: 14 Base Rate for Upper Floors = 52.81 (10) Heating system: Space Heaters, Gas with Fan Cost/SqFt: 6.01 100% Adjusted Square Foot Cost for Upper Floors = 58.82 Total Floor Area: 1,500 Base Cost New of Upper Floors = 88,230 Reproduction/Replacement Cost = 88,230 Eff. Age: 16 Phy. %Good/Abnr. Phy./Func./Econ./Overall %Good: 67 /100/100/100/67.0 Total Depreciated Cost = 59,114 ECF (2960 HAMMOND ASHLAND HEIDBREDER) 1.031 => TCV of Bldg: 2 = 60,947 Replacement Cost/Floor Area= 58.82 Est. TCV/Floor Area= 40.63	
High	Above Ave.	Ave.	X	Low							
Depr. Table : 2.5% Effective Age : 16 Physical %Good: 67 Func. %Good : 100 Economic %Good: 100		*** Basement Info *** Area: Perimeter: Type: Heat: Hot Water, Radiant Floor									
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Comments:											
(1) Excavation/Site Prep:		(7) Interior:		(11) Electric and Lighting:							
(2) Foundation:		(8) Plumbing:		(13) Roof Structure: Slope=0							
X	Poured Conc	Brick/Stone	Block	Footings Many Above Ave. Average Typical Few None Total Fixtures 3-Piece Baths Urinals 2-Piece Baths Wash Bowls Shower Stalls Water Heaters Toilets Wash Fountains Water Softeners							
(3) Frame:		(9) Sprinklers:		(14) Roof Cover:							
(4) Floor Structure:		(10) Heating and Cooling:		(39) Miscellaneous:							
(5) Floor Cover:		Gas	Coal Stoker	Hand Fired	Boiler						
(6) Ceiling:				(40) Exterior Wall:							
				Thickness	Bsmnt Insul.						

*** Information herein deemed reliable but not guaranteed***



Rooms used for childcare

Room 6 - Infants holding 12 children

Room 7- Toddlers holding 12 children

Fellowship hall- holding 17 children- Or Rooms 8 holding 17 children


A playground of at least 1,200 square feet will be added outside next to the lobby entrance.

Non numbered rooms used

Kitchen will be used for food program

Offices, bathrooms, and lobby will be used for church and childcare

Parking lot, entrance/exit, playground and all grounds will be used for church and childcare

 Charter Township of Garfield Planning Department Report No. 2024-75			
Prepared:	September 4, 2024	Pages:	1
Meeting:	September 11, 2024	Attachments:	<input checked="" type="checkbox"/>
Subject:	Meadow Valley PUD – Directional Signs Review		
File No.	PUD-2020-01-E	Parcels No.	05-018-013-30
Applicant:	Emelia Richter/Wallick Communities		
Agent:	Eric Nicolson/Nicolson Associates		
Owner:	Wallick Communities		

PURPOSE OF APPLICATION:

Wallick Communities is installing directional signs that are part of the Meadow Valley Planned Unit Development (PUD) located on the south side of North Long Lake Road, west of Zimmerman Road. The applicant proposes four internal directional signs. Section 630.G(3)(a) of the Zoning Ordinance regulates internal directional signs permitted within a Planned Unit Development and are subject to Planning Commission approval. Internal directional signs with a maximum of 6 square feet per sign.

PROPOSED SIGN:

Based on the application, the applicant has provided a rendering for a 6-square-foot sign (3.0’ x 2.0’) for four locations (1 through 4) identified on a site plan.

ACTION REQUESTED:

If following discussion, the Planning Commission has determined that the application is complete and acceptable, then the following motion is suggested:

MOTION THAT sign application PUD-2020-01-E from Wallick Communities for four internal directional signs in the Meadow Valley PUD BE APPROVED.

Additional information deemed necessary by the Planning Commission should be added to the motion.

Attachments:

1. Meadow Valley Planned Development Sign Application dated August 20, 2024
2. Meadow Valley PUD - Internal Directional Signs Dimensions
3. Meadow Valley PUD - Internal Directional Signs Description
4. Meadow Valley PUD - Internal Directional Signs Locations Site Plan



Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE
TRAVERSE CITY, MICHIGAN 49684
PH: (231) 941-1620 • FAX: (231) 941-1588

PLANNED DEVELOPMENT (PD) PLANNED SHOPPING CENTER (PSC) SIGN APPLICATION

ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning and/or Zoning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

ACTION REQUESTED

Planned Unit Development Sign Review
Planned Shopping Center Sign Review

PROJECT / DEVELOPMENT NAME

APPLICANT INFORMATION

Name:
Address:
Phone Number:
Email:

AGENT INFORMATION

Name:
Address:
Phone Number:
Email:

OWNER INFORMATION

Name:
Address:
Phone Number:
Email:

CONTACT PERSON

Please select one person to be contact person for all correspondence and questions:

Applicant:

Agent:

Owner:

PROPERTY INFORMATION

Property Address:

Property Identification Number:

Legal Description:

Zoning District:

Master Plan Future Land Use Designation:

Area of Property (acres or square feet):

Existing Use(s):

Proposed Use(s):

SIGN REQUIREMENTS

- Refer to Section 630 of the Zoning Ordinance for sign requirements.

REQUIRED SUBMITTAL ITEMS

A complete application for a Planned Unit Development Sign Review or a Planned Shopping Center Sign Review consists of the following:

Application Form:

One original signed application

One digital copy of the application (PDF only)

Application Fee:

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please make check out to Charter Township of Garfield.

Fee

Site Diagram:

Ten complete stapled 11"x17" paper sets

One digital set (PDF only)

Digital items to be delivered via email or USB flash drive

SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

SITE DIAGRAM

Check that your site plan includes all required elements for a Site Diagram (SD). Please use the Required Site Plan Elements Checklist below

SIGN INVENTORY

List all existing signs located on the property, including type, sign face area, illumination, height, and location in a written table and on the Site Diagram.

OTHER INFORMATION

If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

REVIEW PROCESS

- All proposed signs within a Planned Shopping Center Commercial District or a Planned Unit Development shall be submitted to the Planning Commission for final review and approval.
- The Planning Commission may approve, approve with conditions, or deny the proposed sign.

PERMISSION TO ENTER SUBJECT PROPERTY

Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Owner Signature:

Applicant Signature:

Agent Signature:

Date:

OWNER'S AUTHORIZATION

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We _____ authorize to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner Signature:

Date:

AFFIDAVIT

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application and all of the information submitted in this application, including any supplemental information, is in all respects true and correct. The undersigned further acknowledges that willful misrepresentation of information will terminate this permit application and any permit associated with this document.

Owner Signature:

Date:

Applicant Signature:

Date:

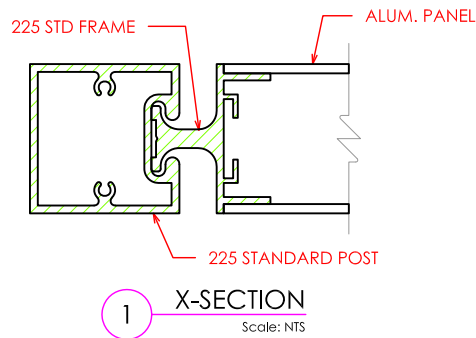
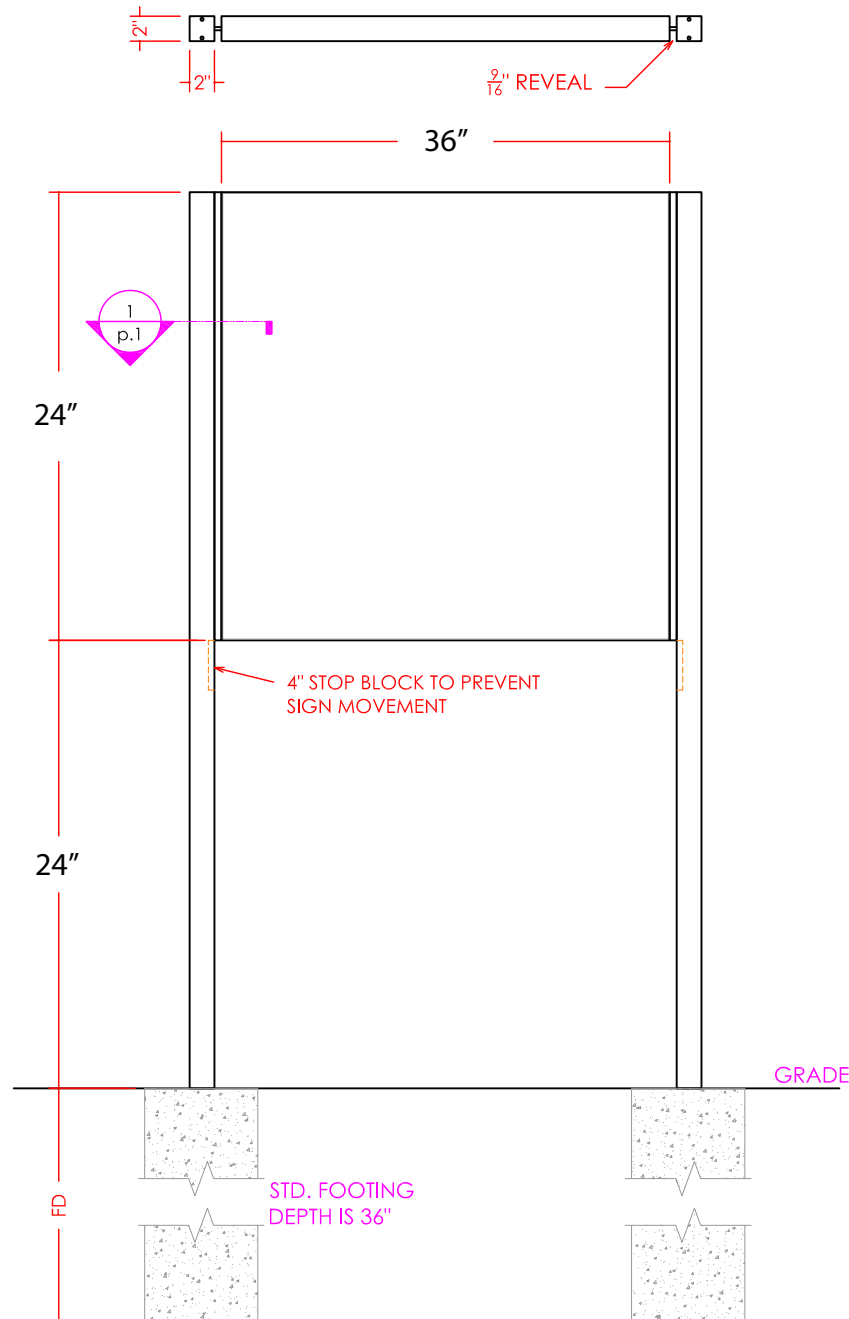
Required Site Plan Elements Checklist (See § 956 of the Zoning Ordinance) Site Diagram (SD) / Administrative Site Plan (ASP) / Site Development Plan (SDP)	SD	ASP/ SDP
A. Basic Information		
1. Applicant's name, address, telephone number and signature		
2. Property owner's name, address, telephone number and signature		
3. Proof of property ownership		
4. Whether there are any options or liens on the property		
5. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent		
6. The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage		
7. A vicinity map showing the area and road network surrounding the property		
8. Name, address and phone number of the preparer of the site plan		
9. Project title or name of the proposed development		
10. Statement of proposed use of land, project completion schedule, any proposed development phasing		
11. Land uses and zoning classification on the subject parcel and adjoining parcels		
12. Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as their name, address and telephone number		
B. Site Plan Information		
1. North arrow, scale, and date of original submittal and last revision		
2. Boundary dimensions of natural features		
3. Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%), beach, drainage, and similar features		
4. Proposed alterations to topography and other natural features		
5. Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18%		
6. Soil erosion and sediment control measures as required by the Grand Traverse County Soil Erosion Department.		
7. The location, height and square footage of existing and proposed main and accessory buildings, and other existing structures		
8. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state or federal government authorities		
9. Proposed finish floor and grade line elevations of any structures <i>*Required only for habitable construction within the floodplain on site diagrams and administrative site plans.</i>	*	
10. Existing and proposed driveways, including parking areas		
11. Neighboring driveways and other vehicular circulation features adjacent to the site		
12. A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared parking areas		
13. Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks		
14. Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features within and adjacent to the site		
15. Location and dimensions of curb cuts, acceleration, deceleration and passing lanes		
16. Location of neighboring structures that are close to the parcel line or pertinent to the proposal		
17. Location of water supply lines and/or wells		
18. Location of sanitary sewer lines and/or sanitary sewer disposal systems		
19. Location, specifications, and access to a water supply in the event of a fire emergency		
20. Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention ponds, swales, wastewater lines, clean out locations, connection points and treatment systems		
21. A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam		
22. A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections		
23. A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used		
24. Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences, walls, trash receptacle screening, and other screening features with cross sections shown		
25. A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as, its typical size by general location or range of sizes as appropriate		
26. Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities, and on the natural environment on and adjacent to the site)		
27. Changes or modifications required for any applicable regulatory agencies' approvals		

EXTRUSION / DESCRIPTION:
 SERIES 225 FLUSH FACE
 w/ REVEAL

DRAWN BY: LKW	SCALE: NTS
DATE: 01.31.12	FILE NAME: 225FF-INSTALL.dwg

NOTES / REVISIONS:

- 1) Slide sign assembly into posts & attach post caps with screws.
- 2) Push sign assembly tight against post caps. Insert stop block from opposite end of post & locate firmly against bottom of sign assembly. Using holes in stop block as a guide, pre-drill holes into post with a #21 (1/64") bit & screw stop block in place with #10 screws.
- 3) Paint ends of posts that will be below grade with a bituminous coating to minimize oxidation.
- 4) Install sign in desired location per local code/ engineering recommendations.





◀ Assisted Living - Bldg C

◀ Deliveries

◀ Cottages

Main Entrance - Bldg A ▶

Memory Care - Bldg B ▶

Independent Living - Bldg D ▶



◀ Main Entrance - Bldg A

◀ Memory Care - Bldg B

◀ Independent Living - Bldg D

◀ Guest Parking



Assisted Living - Bldg C



Deliveries



Cottages



◀ Cottages

▶ Deliveries



