

CHARTER TOWNSHIP OF GARFIELD  
SPECIAL PLANNING COMMISSION MEETING

Wednesday, July 13, 2016 @ 6:00 pm  
Buffalo Ridge PUD - Old Movie Theater  
3585 Market Place Circle  
Traverse City, MI 49684

A G E N D A

Call Meeting to Order

Roll Call of Commission Members

1. Review and Approval of the Agenda - Conflict of Interest
2. Business to Come Before the Commission
  - a. Buffalo Ridge PUD - Lucky's Market - Site Visit
3. Public Comment

Items for Next Agenda - July 13, 2016 @ 7:00 pm

- a. Buffalo Ridge PUD - Lucky's Market - Continued Discussion
  - b. Crown PUD - Continued Discussion
4. Adjournment

Joe Robertson, Secretary  
Garfield Township Planning Commission  
3848 Veterans Drive  
Traverse City, MI 49684

Garfield Township will provide necessary reasonable auxiliary aids and services, such as signers for hearing impaired and audio tapes of printed materials being considered at the meeting to individuals with disabilities upon the provision of reasonable advance notice to Garfield Township. Individuals with disabilities requiring auxiliary aids or services should contact Garfield Township by writing or calling Lanie McManus, Clerk, Ph: (231) 941-1620, or TDD #922



Charter Township of Garfield  
Planning Department Report 2016-48

Prepared:	July 7, 2016	Pages:	Page 1 of 2
Meeting:	July 13, 2016 - Planning Commission	Attachments:	<input type="checkbox"/>
Subject:	Ongoing redevelopment of Buffalo Ridge Center (formerly Horizon Outlet)		
File No.	PUD 2014-02		

**BACKGROUND:**

Garfield Township approved the Buffalo Ridge Center Planned Unit Development on US-31 in 2014. The project was a redevelopment of the former and dilapidated Horizon Outlet Mall. The purpose of this meeting is to evaluate the applicant's requests (on site rather than on paper) and how they affect the overall PUD.

The location of the bike path through the natural area was proposed by the applicant and approved as a community benefit however the applicant and PUD are currently in violation of their SUP for not installing the path in accordance with their original agreement. In an effort to move the project along and rectify the violation, the applicant is proposing to relocate the pathway along US-31, essentially providing a "quick fix". The planning commission should address the violation (highlighted below) before moving forward. The Report and Decision Order reads as follows:

- c. The asphalt bike path along US-31 shall be constructed to a width of 10-feet and shall be constructed within one (1) year of the date of project approval. Any stream crossing shall be constructed by way of a bridge or bottomless span. Construction of the pathway and all wetland and stream crossings is subject to DEQ approval. A performance bond or letter of credit in an amount 10% over the estimated pathway construction cost shall be provided to the Township prior to the issuance of a Certificate of Occupancy for the theater.

The Planning Commission should address the following

1. First and foremost, the Planning Commission is required to address the violation of the PUD as stated in Section 425 Planned Developments, J(1)(b).

*"No amendment shall be processed if there is a violation of a previously approved and currently valid planned development affecting the property unless the requested amendment includes, as a primary or incidental purpose, the correction of such violation."*

- a. Should the applicant be required to rectify the violation and install the path, as indicated on the original plan, prior to moving forward with any additional projects?
- b. Does the Planning Commission support the relocation of the 10 foot path as a

safe and equal alternative to that previously approved?

2. The applicant would like to adaptively reuse the current structure of the old theater to accommodate a new Lucky's market without an amendment to the PUD. The application is not clear as written whether this portion of the project would require a major amendment or simply an administrative approval, however following the applicant's reluctance to adhere to the required site improvements, Staff felt it was appropriate to send the project to the Planning Commission for review.
  - a. Is the Planning Commission supportive of allowing the adaptive reuse of the building without an amendment to the PUD?
3. The applicant requests the Planning Commission to waive a direct raised curb pedestrian connection to the movie theater from the proposed Lucky's market project.
  - a. Is the Planning Commission satisfied with waiving the raised curb pedestrian connection until the next phase of the project?
  - b. Should the raised sidewalk be required regardless of the procedure for moving forward?
4. The applicant requests the Planning Commission to waive the raised curb pedestrian circulation around the structure.
  - a. The applicant has stated that they are now installing the raised curb circulation around the structure. This appears resolved but should be clarified.

**ACTION REQUESTED:**

Discussion and decisions of the above mentioned issues will provide the applicant and staff with direction on how we are to proceed.



2014R-12802  
STATE OF MICHIGAN  
GRAND TRAVERSE COUNTY  
RECORDED  
08/06/2014 3:46 PM PAGE 1 OF 20  
PEGGY HAINES REGISTER OF DEEDS

CHARTER TOWNSHIP OF GARFIELD  
GRAND TRAVERSE COUNTY, MICHIGAN

REPORT and DECISION ORDER

*for*

Special Use Permit #2014-02

TC Center Partners, LLC – Buffalo Ridge Center PUD

Owner: TC Center Partners LLC  
Haithem K Sarafa  
21 E Long Lake Road #200  
Bloomfield Hills, MI 48304

WHEREAS, application having been made by the above named for a Special Use Permit to allow a Planned Unit Development for the premises as described below:

Parcel No. 28-05-016-032-00 & 28-05-016-032-05; more commonly known 3639 Market Place Circle, and legally described as follows:

PT OF SW 1/4 OF SEC 16 T27N R11W COM S 1/4 COR TH N 770.58' TH S 88 DEG 35' W 619.35' TH N 550' TH S 88 DEG 35' W 698.66' TH S 378.72' TH W 400' TH S 250' TH E 400.18' TH S 525.88' TH S 85 DEG 26' W 41.59' TH S 29 DEG 53' W 144.15' TH N 89 DEG 10' E 113' TH S O DEG 7' W 38.18' TH E 1318.47' TO POB EXC COM S1/4 COR TH S 88 DEG 38' W 516.61' TH N 284.85' TO POB TH CONT N 150.12' TH S 89 DEG 05' W 270.54' TH S 0 DEG 55' E 161.33 TH N 89 DEG 05' E 255.15' TH N 53 DEG E 19.04' TO POB OF EXCLUSION

COM S 1/4 COR OF SW 1/4 SEC 16 T27N R11W TH ALG S SEC LN S 88 DEG 38' W 516.61' TH N 0 DEG 55' W 284.85' TO POB TH S 53 DEG W 19.04' TH S 89 DEG 5' W 255.15' TH N 0 DEG 55' W 161.33' TH N 89 DEG 5' E 270.54' TH S 0 DEG 55' E 150.12' TO POB. CONTAINING 1.00 AC +/- GKC THEATER

SUBJECT TO AND TOGETHER WITH 22 existing easements, as recorded at the time of this approval; and

WHEREAS, the Township Board has adopted Findings of Fact for Special Use Permit and Planned Unit Development #2014-02, dated July 22, 2014, attached hereto and incorporated herein by reference; and

WHEREAS, it has been demonstrated that the standards and conditions for approval as set forth in the Garfield Township Zoning Ordinance have been met through the proposed site development plan and the Findings of Fact adopted by the Township Board; and

WHEREAS, the Findings of Fact adopted by the Township Board consider and address objections made to the project during the review process; and

WHEREAS, due notices have been given and public hearings have been held on said Application at the Planning Commission and Township Board level, and following a recommendation of the Planning Commission to approve the project, the Township Board has determined that the requested Special Use Permit for the redevelopment of the commercial property is appropriate; and

WHEREAS, the Township Board has determined that it is in the best interest of the Township and its residents to require the applicant to protect several acres of sensitive wetlands in perpetuity and to construct a pedestrian pathway along US-31; and

WHEREAS, the Township Board has determined that the project meets the specific and special standards as set forth in the Zoning Ordinance and as required by Sections 125.3501 – 125.3504 of Public Act 110 of 2006, as amended; and

WHEREAS, the Township Board has determined that certain conditions upon the use of the premises are necessary to protect the health, safety, and welfare of Township residents, to uphold the spirit and intent of the Zoning Ordinance, and to ensure that the development is harmonious and appropriate:

NOW, THEREFORE, the Township Board does hereby enter this Report and Decision Order for the development and use of the above referenced property as a planned unit development, subject to the following requirements:

1. Development Plan. Subject to the requirements set forth in this Report and Decision Order, the Applicant’s Development Plan, comprised of the drawings set out in the Schedule below, shall constitute the development and use allowed by this Special Use Permit.

**DEVELOPMENT PLAN**

Drawing Name	Original Issue Date	Latest Revision Date	Sheet	Scale
Cover	1-16-14	n/a	1 of 11	NTS
Notes Sheet	1-16-14	n/a	2 of 11	NTS
Existing Conditions Plan	1-16-14	5-27-14	3 of 11	NTS
Demolition Plan	1-16-14	5-27-14	4 of 11	1"=40'
Overall Site Plan	1-16-14	5-27-14	5 of 11	1"=60'
Site and Dimension Plan	1-16-14	1-29-14	6 of 11	1"=40'

Grading and Storm Plan	1-16-14	1-29-14	7 of 11	1"=30'
Utility Plan	1-16-14	1-29-14	8 of 11	1"=30'
Landscape Plan	1-16-14	1-29-14	9 of 11	1"=30'
Landscape Plan (US-31 entrance)	1-16-14	5-27-14	10 of 11	1"=30'
Details Sheet	1-16-14	n/a	11 of 11	NTS

2. Documentation. The representations made by the Applicant in its Application dated January 15, 2014 and clarified May 28, 2014, by the documents appearing in the Schedule below, and by the Development Plan as referenced above, have been relied upon by the Township in making its determination in this matter. It is a condition of this Report and Decision Order that the Applicant shall abide by all representations in these documents and may not deviate from these documents without the prior written consent of Garfield Township unless otherwise provided for in the Zoning Ordinance. The Schedule of Documents follows:

#### SCHEDULE OF DOCUMENTS

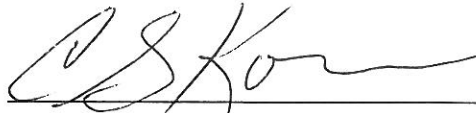
Document Name	Date	
Application for Special Use Permit /PUD	1-15-14	
Application Binder – Amended & Clarified – Submittal to the Board	6-12-14	
PUD Narrative		
Regulations Summary		
Section 8.1.2 Impact Assessment		
Section 8.10.2 Objectives		
Section 8.10.3 Dimensional & Use Restrictions		
Section 8.10.4 Qualifying Conditions		
Site Exhibit (colored site plan)		
Architectural Elevation (Carmike Cinema)		
Architectural Elevation (Commercial building)		
Photometric Plan		
Alta Survey & Existing Easements (22)		
MDOT - Office of Aeronautics – Letters(3)– Regarding Height	1-30-14	
Carmike Cinemas Letter Regarding Parking & Market Demand	4-3-14	
Mansfield Clarification Letter on Phasing etc	4-24-14	
Planning Commission Adopted Finding of Fact	6-11-14	
MDOT Email(s) Regarding Traffic	7-22-14	
Township Board Adopted Finding of Fact	7-22-14	
<b>Planning Department Staff Reports</b>	<b>Prepared</b>	<b>Meeting Date / Body</b>
Planning Department Staff Report PD 2014-08	2-6-14	2-12-14 / PC
Planning Department Staff Report PD 2014-19	3-6-14	3-12-14 / PC
Planning Department Staff Report PD 2014-25	4-3-14	4-9-14 / PC
-No Report -		5-14-14 / PC
Planning Department Staff Report PD 2014-41	6-5-14	6-11-14 / PC
Planning Department Staff Report PD 2014-42	6-16-14	6-24-14 / TB
Planning Department Staff Report PD 2014-46	7-15-14	7-22-14 / TB
Planning Department Staff Report PD 2014-48	7-29-14	7-31-14 / TB

3. Further Conditions. This Report and Decision Order is subject to the following conditions:
- a. Prior to the issuance of building or land use permits, all necessary reviews and permits shall be obtained from agencies with jurisdiction, and all conditions of approval shall be met.
  - b. Approval is subject to Planning Department review and approval of final site plans indicating compliance with all provisions of the zoning ordinance, with all conditions of approval, with the representations made in the application materials, and with the adopted Findings of Fact.
  - c. The asphalt bike path along US-31 shall be constructed to a width of 10-feet and shall be constructed within one (1) year of the date of project approval. Any stream crossing shall be constructed by way of a bridge or bottomless span. Construction of the pathway and all wetland and stream crossings is subject to DEQ approval. A performance bond or letter of credit in an amount 10% over the estimated pathway construction cost shall be provided to the Township prior to the issuance of a Certificate of Occupancy for the theater.
  - d. The pervious path to connect to the Creekside subdivision shall be constructed of crushed limestone and shall be regularly maintained by Buffalo Ridge Center.
  - e. Internal sidewalks shall be constructed of raised, curbed concrete so as to limit vehicle intrusion with the walkway. Site plans shall be updated accordingly.
  - f. Buffalo Ridge Center shall regularly maintain (stripe/paint) the bike lanes and crosswalks so that such are clearly visible and understood to function for that purpose.
  - g. Prior to the issuance of any land use or building permits, the Applicant shall have protected the sensitive wetland areas with a conservation easement acceptable to the Township.
  - h. Trees that are to be retained shall be appropriately marked and protected prior to and throughout site construction.
  - i. All signs shall require Planning Commission approval. Approval of the present application does not include any sort of sign approval, regardless of signs being shown on structure elevations or site plans.
  - j. All existing connections to adjacent properties shall remain open.
  - k. The hours of operation for snow removal, other parking lot maintenance, trash removal, and truck deliveries including the parking of idling trucks on the West and South sides of boundaries of the PUD shall be limited to the hours of 6:00 a.m. to 11:00 p.m. except in emergency situations. Equipment operation shall be in such a manner as to minimize back-up beepers, the operation of large engines and heavy equipment which will disrupt the night time peace and serenity of adjoining neighbors.
  - l. Buffalo Ridge Center will prepare and file a “best management practices program” for maintaining parking lots and storm drainage systems associated with the project so as to minimize the potential for contamination of stormwater and shall implement such program on a regular and continuing basis. Such plan, and compliance with it, shall be subject to review and approval by the Township engineer.
  - m. The applicant shall record promptly the Report and Decision Order (RDO), and any amendment to such order, with the Grand Traverse County Register of Deeds in the chain of title for each parcel or portion thereof to which the RDO pertains. A copy of the recorded document shall be filed with the Township within ninety (90) days of final approval by the Township, or approval shall be considered to have expired. No land use permits shall be issued until all required recorded documents have been provided to the Township.
  - n. The PUD is subject to representations and other matters consistent with the application, as amended and clarified, and supporting materials.

4. Violations and Notice Requirements. Any violation of these conditions shall serve as grounds for revocation of the Special Use Permit issued by the Township. In the event of any such violation, the Township shall give written notice to the Applicant by ordinary mail addressed to the Applicant at the last address furnished to the Township by the Applicant. The Notice shall state that unless the violation is corrected or resolved to the satisfaction of the Township within 30 days from the date of the Notice, then the Township may revoke the Special Use Permit after hearing. In the event a hearing becomes necessary, the Township shall establish the notice requirements, and such other conditions with respect to the hearing, as the Township may deem appropriate. After the hearing, if the Township revokes the Special Use Permit, then enforcement of the revocation may be made by application for appropriate relief in Grand Traverse County Circuit Court and the Township may recover all of the costs, including attorney fees, associated with or resulting from such violation or noncompliance.
5. Fees and Expenses. All fees and expenses charged to the Applicant, pursuant to Township ordinance, shall be paid before the Special Use Permit becomes effective.
6. Non-vesting. The approval of this Report and Decision Order, and the issuance of the Special Use Permit by the Charter Township of Garfield, shall not operate to vest in the Applicant any right to rely upon any permission given herein until written acceptance and compliance has been had with all stated conditions herein.
7. Alteration, Amendment or Cancellation of Special Use Permit. By compliance with the same procedures requiring for the issuance of the Permit, including a public hearing, the Township may alter, amend or cancel the Special Use Permit to the extent permitted by law.



The undersigned hereby certifies that he is the Supervisor of the Charter Township of Garfield, Grand Traverse County, Michigan, and that the foregoing Report and Decision Order reflects the approval granted by the Township Board of the Charter Township on July 22, 2014, and the approval of this Order on August 5, 2014.



Chuck Korn, Supervisor  
Charter Township of Garfield

STATE OF MICHIGAN )  
 )ss  
COUNTY OF GRAND TRAVERSE )

The foregoing instrument was acknowledged before me this 5<sup>th</sup> day of August, 2014, by Chuck Korn, Supervisor of the Charter Township of Garfield.



Kay Schumacher  
Notary Public  
Grand Traverse County, State of Michigan  
Acting in Grand Traverse County

My Commission expires: 9/3/2014

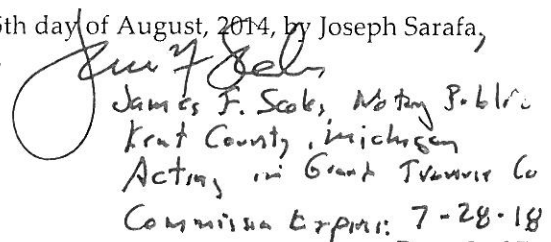
Owner, TC Center Partners LLC (Joseph Sarafa, Owner's Representative), does hereby acknowledge receipt of the Report and Decision Order, and has read and understands all of the terms and conditions of the Report and Decision Order. The Owner agrees to comply with all of the terms and conditions thereof, and further agrees that all of the terms and conditions of said Report and Decision Order shall be binding upon all other owners or occupants of the subject property.



Joseph Sarafa, Owner's Representative  
TC Center Partners LLC

STATE OF MICHIGAN )  
 )ss  
COUNTY OF GRAND TRAVERSE )

The foregoing instrument was acknowledged before me this 5th day of August, 2014, by Joseph Sarafa, Owner's Representative, TC Center Partners, LLC



James F. Seals, Notary Public  
Kent County, Michigan  
Acting in Grand Traverse Co  
Commission Expires: 7-28-18

Drafted by, and when Recorded, return to:

Roberto Larrea, Planner

\* Charter Township of Garfield

3848 Veterans Drive

Traverse City, MI 49684

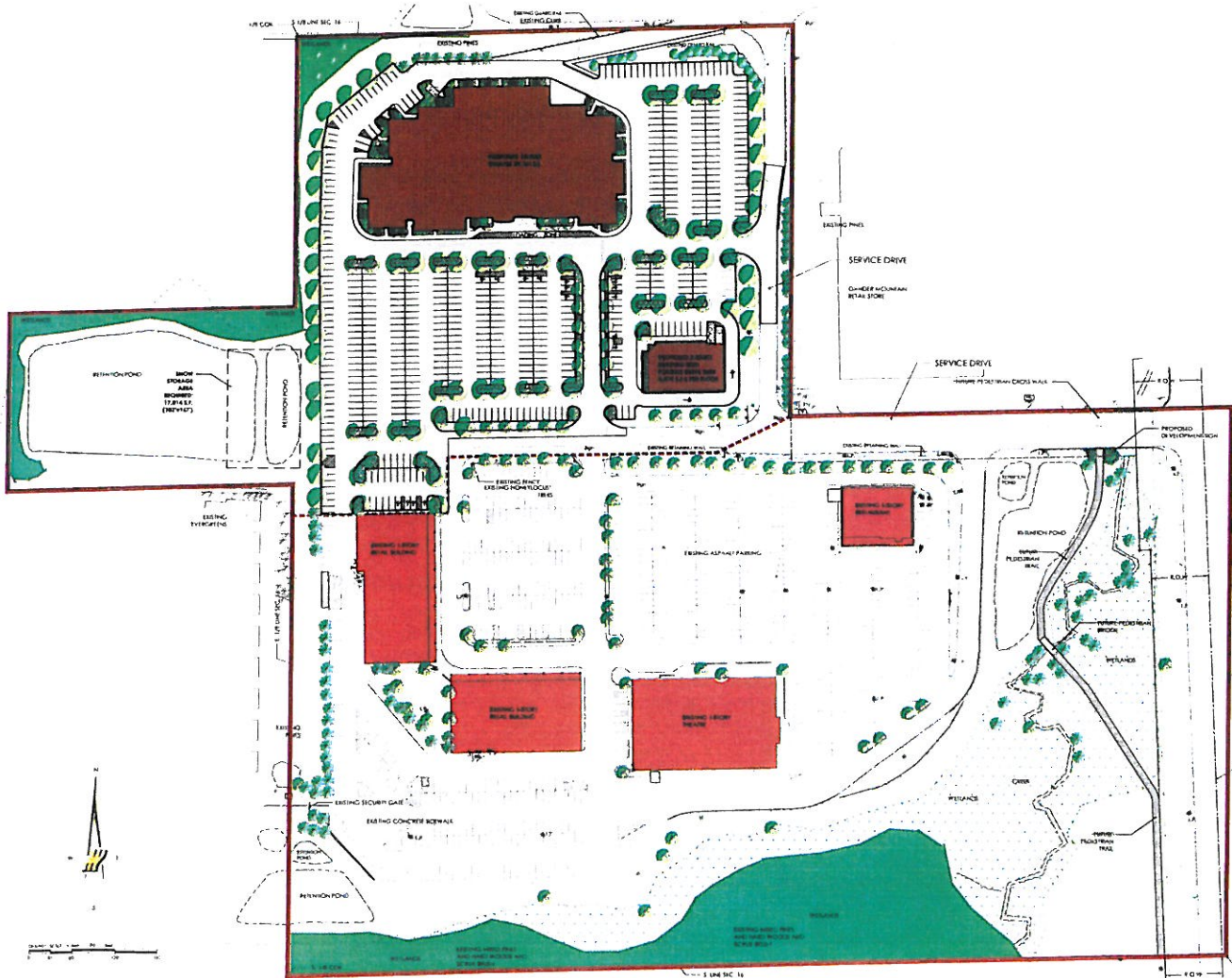
231-941-1620

# BUFFALO RIDGE CENTER

application for Planned Unit Development

## Site Plan

Revitalization of the Traverse City Outlet Center will bring the existing blighted shopping center to the level of modern shopping and entertainment convenience that is being set by the neighboring national retail and restaurant chains. Replacing the now, mostly vacant shopping center with new and exciting retail, entertainment and restaurant businesses will not only boost the viability of the existing shopping center, but also its surrounding commercial uses.



The intent of the redevelopment is to remove the existing structures on the north half of the site and replace them with exciting new modern retail and commercial uses. The redevelopment will be on the footprint of the existing shopping center, maintaining the major site accesses and circulation. The project will be a multi-phase redevelopment as new tenants become interested in the property. Existing buildings on the south half of the site will continue to be leased to tenants compatible with the C-2 use district.

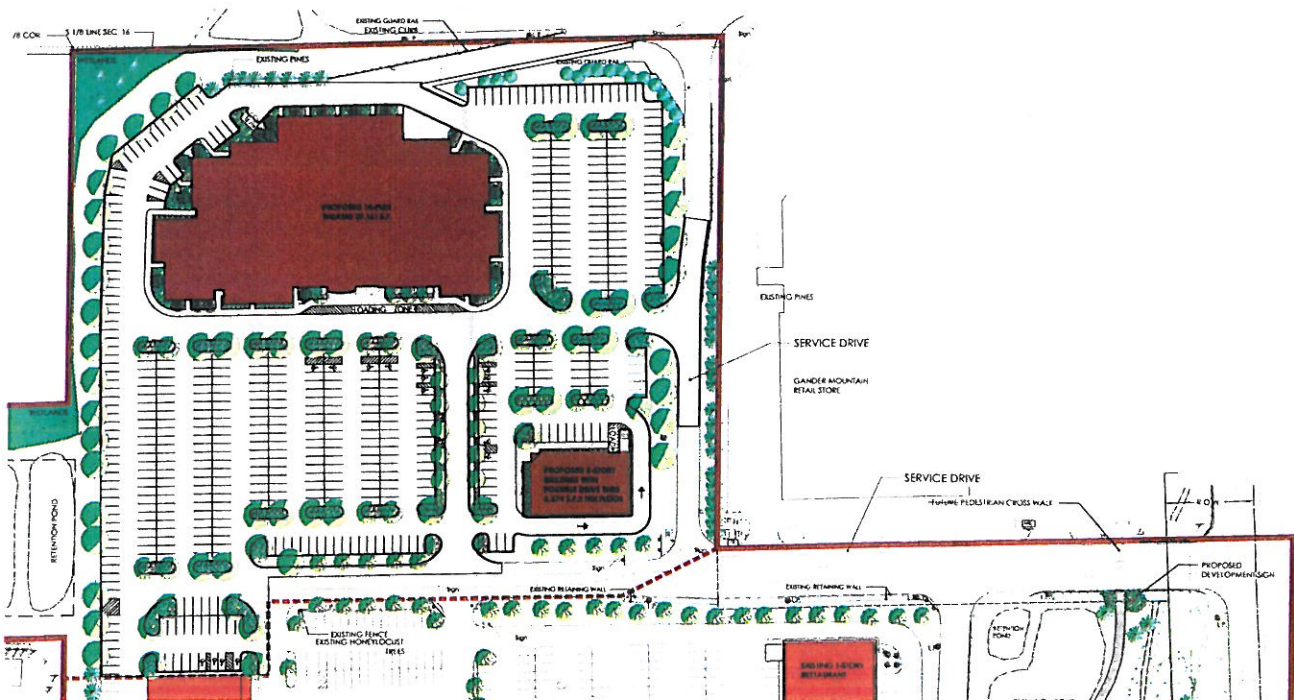
# BUFFALO RIDGE CENTER

application for Planned Unit Development

The first phase of **Physical** rehabilitation improvements is **are** located on the north half of the project site and includes construction of a 14-screen cinema including one IMAX style theater and a two story retail building. The new state-of-the-art theater will serve as an anchor for the development of **to attract** future compatible uses on the south half of the site. The Outback Steakhouse restaurant has a long term lease on the site and will remain as it currently is indefinitely. Future improvements will be built around it in a compatible manner.

The theater was placed in the northwest corner of the site in order to maximize the parking around the site and to accommodate the flush of circulation that occurs between show times. This building placement also helps to alleviate the issue of the blind spot that currently exists when entering the site from the Kohl's parking lot service drive.

A two story building is placed in the prominent corner of the service drive and Market Place Circle. This location somewhat mirrors the Outback Steakhouse building and creates a sort of towering gateway into the shopping center. The building may be used for commercial, office, or retail uses including a drive thru. Possibly a high turnover restaurant or bank.



All natural open spaces and wetland areas will remain as they currently are. A connection to the sidewalk at Bed Bath & Beyond will provide access to the Kids Creek Park trail and the Buffalo Trail. Additional sidewalk provides a pedestrian connection between the proposed Cinema, the proposed two story building and future phases to the south **half of the site**.

# BUFFALO RIDGE CENTER

application for Planned Unit Development

## Regulations Summary continued

<b>Parking:</b>	<b>required</b>	<b>provided</b>
<i>North of Marketplace Circle</i>		
Carmike Cinema (1 per 3 seats/1 per 2 employees)	1,015 spaces	499 spaces
6,700sf Restaurant (1 per 75sf floor area)	90 spaces	20 spaces
6,700sf Office (1 per 200sf floor area)	34 spaces	10 spaces
	1,139 spaces	529 spaces
<i>South of Marketplace Circle</i>		
6,700sf Restaurant (1 per 75sf floor area)	90 spaces	70 spaces
21,000sf Retail(1 per 250sf floor area)	84 spaces	40 spaces
20,300sf Retail(1 per 250sf floor area)	82 spaces	40 spaces
25,800sf Auditorium (1 per 3 seats/1 per 2 employees)	672 spaces	575 spaces
	928 spaces	725 spaces
*parking is shared between uses	2,067 spaces total	1,254 spaces total

<b>Parking Lot Landscaping:</b> <i>(north of Marketplace Circle)</i>	<b>required</b>	<b>provided</b>
10sf of interior landscape for each parking space	5,290sf	11,141sf
1 tree per each 100sf of interior landscape area	53 trees	63 trees

*(South of Marketplace Circle to remain the same)*

<b>Uses:</b>	<b>size</b>	<b>height</b>
<i>North of Marketplace Circle</i>		
Proposed Carmike Cinema	60,000sf	45ft
Proposed Commercial/Retail Building	6,700sf	30ft
	66,700sf	
<i>South of Marketplace Circle</i>		
Existing Out Back Restaurant	6,700sf	21ft
Existing Retail	21,000sf	33ft
Existing Retail	20,300sf	33ft
Existing Theater <u>converted to retail</u>	25,800sf	20ft
	73,800sf	

140,500sf of structures total post-redevelopment  
 179,300sf of structures total pre-redevelopment

<b>Lot Coverage:</b>	<b>Phase I <u>North</u></b>	<b>Future Development <u>South</u></b>	<b>Total</b>
	(Carmike Cinema)	(existing structures)	
acres gross	12.20 acres	22.21 acres	34.41 acres
ROW easement	-0.74 acres	-2.70 acres	-3.44 acres
acres net	11.46 acres	19.51 acres	30.97 acres
impervious lot coverage	-4.39 acres	-9.36 acres	-13.75 acres
dedicated open space	7.07 acres (62%)	10.15 acres (52%)	17.22 acres (58%)
	(0.30 acres wetland)	(5.17 acres wetland)	(5.47 acres wetland)

**Section 8.1.2 Permit Procedures:**

(2) Data Required: (d) A written Impact Assessment to include the following information:

- 1) **A written illustrative description of the environmental characteristics of the site prior to development, i.e., topography, soils, vegetative cover, drainage, streams, creeks or ponds.**

*The proposed project site is the now functionally obsolete, mostly vacant, Traverse City Outlet Center property. It originally opened in 1992 as the Horizon Outlet Mall. The buildings at the Outlet Mall are run down and the current strip mall shopping configuration is outdated and no longer desirable to today's popular retailers.*

*The entire project site is 34-acres. 5.5-acres of wetland associated with a branch of Kids Creek is located along the south and east edge of the site. The existing developed area totals 14-acres of hard surface. The main shopping plaza is 25-feet in elevation above the elevation of US-31. There are steep slopes located on the perimeter of the developed area.*

*The primary site access and circulation will remain as currently configured and all improvements to the site will remain within the existing footprint of development.*

- 2) **Types of uses and other man-made facilities.**

*Proposed uses at Buffalo Ridge Center include:*

- *A 14 theater, 3,015 seat cinema,*
- *A two story building with potential for drive thru service (bank/restaurant) on the ground floor and potential for office use on the upper floor,*
- *The existing Outback Steakhouse Restaurant,*
- *Related roads and parking facilities within the same footprint as the current shopping mall,*
- *A pedestrian trail connection to the Kid's Creek Trail,*
- *Remaining existing retail space may continue to be leased on a short term basis in anticipation of future improvements within the development (a major amendment to the proposed PUD),*
- *The old Carmike theater will remain vacant in anticipation of future improvements within the development (a major amendment to the proposed PUD). will be leased to a use allowed in the C-2 district. (the intent was to not use the facility as a theater, but to repurpose it for uses allowed in the C-2 district)*

*Existing natural areas and wetlands will be preserved as open space.*

- 3) **The number of people to be housed, employed, visitors or patrons and vehicular and pedestrian traffic.**

*Existing and proposed active uses:*

*Proposed Carmike Cinema:*

- *14 theaters*
- *3,015 seats*
- *3 shows per theater at 75% capacity*
- *equals 6,780 patrons per day*

- plus 20 employees

Approximately total employees and patrons per day..... 6,800 people

Proposed Two Story Building  
as a bank:

- 20 occupants
- 300 trips per day

Approximately total employees and patrons per day..... 320 people

-or-

Proposed Two Story Building  
as a high turnover restaurant/office upstairs:

- 30 occupants
- 700 trips per day

Approximately total employees and patrons per day..... 730 people

Existing Outback Steakhouse:

- 200 occupants
- 2 seating turnovers for both lunch and dinner at 80% capacity
- equals 640 patrons per day
- plus 12 employees

Approximately total employees and patrons per day..... 652 people

The remaining structures on site ~~are/will be vacant (or maintain short term leases) in anticipation of future development.~~ will continue to be leased as retail and other uses allowed in the C-2 district.

**4) Phasing of the project including ultimate development proposals.**

~~The first phase of rehabilitation improvements~~ The new construction proposed is located on the north half of the project site and includes construction of a 14 screen cinema including one IMAX style theater. The new, state-of-the-art theater will serve as an anchor for the development of future compatible uses on the south half of the site which will require a major amendment to the PUD. All natural open spaces and wetland areas will remain as they currently are. The OutBack Steakhouse will remain as it currently is.

Future improvements to the south half of the site will be developed to the specifications of the potential future tenant. ~~These~~ Any other improvements will be submitted to the Township as a major amendment to the Buffalo Ridge Center PUD.

~~Please see the attached phasing plan.~~

**5) Natural features which will be retained, removed and/or modified including vegetation, drainage, hillsides, streams, wetlands, woodlands, wildlife and water. The description of the areas to be changed shall include their effect on the site and adjacent properties. An aerial photo may be used to delineate the areas of change.**

The proposed development is a rehabilitation of an existing defunct shopping center. Improvements will not deviate from the existing 14-acre developed site footprint. Over half

# BUFALLO RIDGE CENTER

application for Planned Unit Development

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of the site is open space, including 5.5 acres of wetland and a branch of Kid's Creek. These areas will be preserved and donated to a conservation agency as part of future development. A new trail will provide access to Kid's Creek Park and the Buffalo Ridge Trail which will allow for pedestrian access to the new YMCA, West Middle School, and numerous neighborhoods to the west and north.

**6) The method to be used to serve the development with water and sanitary sewer facilities.**

The development is and will continue to be served by municipal water and sewer which is located throughout the site.

**7) The method to be used to control drainage on the site and from the site. This shall include runoff control during periods of construction.**

The proposed project is a rehabilitation of an existing shopping center. The proposed work does not deviate from the existing site plan footprint or increase in the amount of hard surface currently existing on the site. Existing stormwater structures will be evaluated by local regulatory agencies. A best management practices program for maintaining parking lots and storm drainage systems associated will define methods to minimize the potential for contamination of stormwater and protect the creek and wetlands. Management practices will be similar to those employed at the Lowes development. An example would be the use of calcium chloride instead of sodium chloride for snow and ice control. Stormwater run off shall meet the locally accepted standards and practices as defined by the Township and County ordinances. Preliminary letters of approval from the regulating authorities will be obtained as required by the Township site plan review process.

**8) If the public sewers are not available to the site, the Applicant shall submit a current approval from the Health Department or other responsible public agency indicating approval of plans for sewage treatment.**

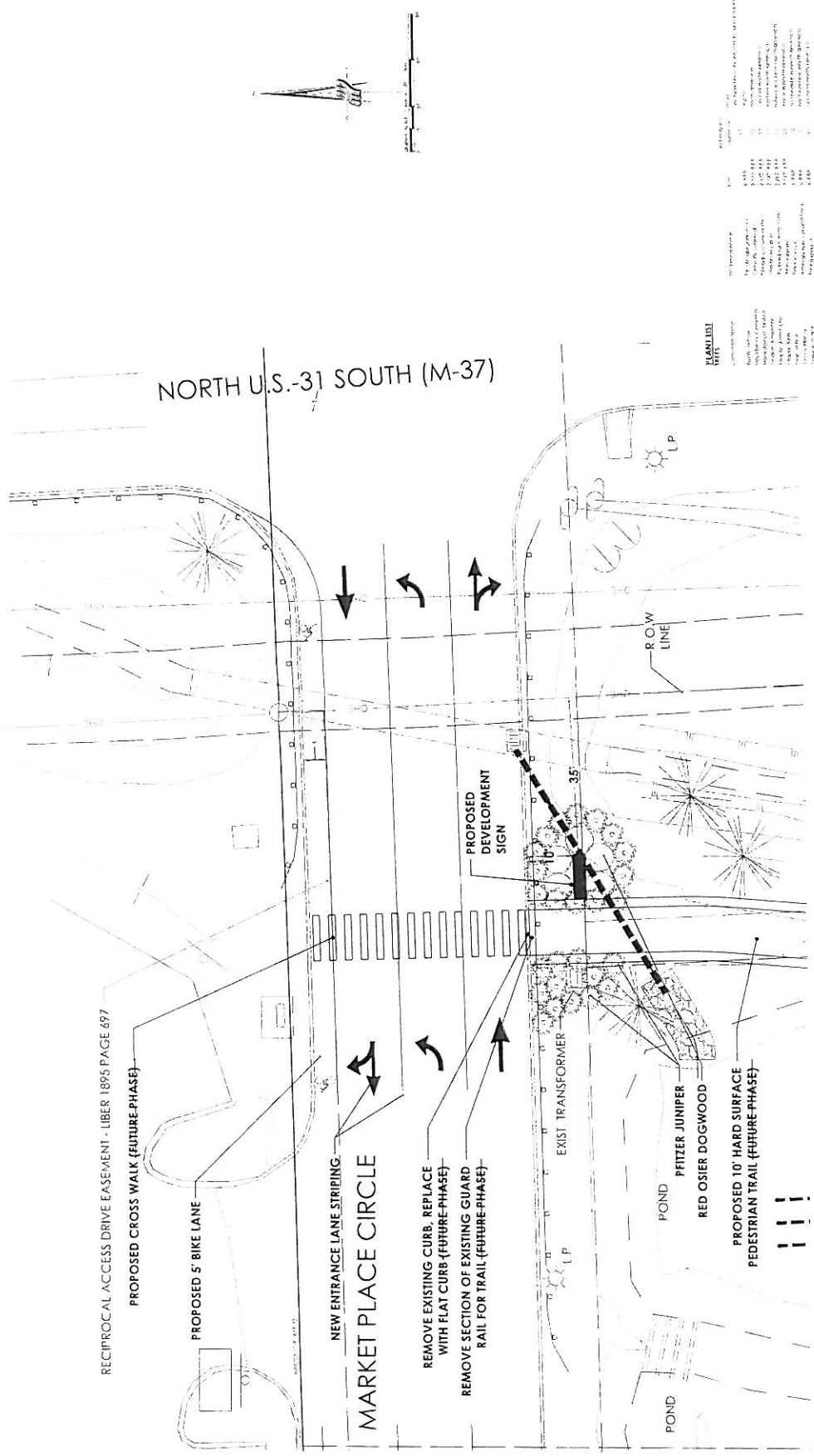
N/A. The proposed Buffalo Ridge Center development is currently and will continue to be serviced by public sewers.

**9) The method to be used to control any increase in effluent discharge to the air or any increase in noise level emanating from the site. Consideration of any nuisance that would be created within the site or external to the site whether by reason of dust, noise, fumes, vibration, smoke or lights.**

N/A. The land uses proposed at Buffalo Ridge Center are retail and commercial uses which do not generate effluent discharge, noise or other nuisance such as dust, noise, fumes, vibration, smoke or lights. A best management practices program for maintaining parking lots and storm drainage systems associated will define methods to minimize the potential for contamination of stormwater and protect the creek and wetlands. Management practices will be similar to those employed at the Lowes development. An example would be the use of calcium chloride instead of sodium chloride for snow and ice control. The land uses proposed are similar to, and compatible with the existing surrounding land use patterns, and are in accordance with the intent of the Township's Comprehensive Master Plan.







**PLAN LIST**

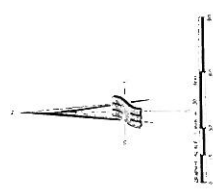
NO.	DESCRIPTION	DATE
1	PLAN LIST	10/13/15
2	PROPOSED DEVELOPMENT SIGN	10/13/15
3	PROPOSED 10' HARD SURFACE PEDESTRIAN TRAIL (FUTURE PHASE)	10/13/15
4	PROPOSED CROSS WALK (FUTURE PHASE)	10/13/15
5	NEW ENTRANCE LANE STRIPING	10/13/15
6	PROPOSED 5' BIKE LANE	10/13/15
7	EXISTING CURB TO BE REMOVED	10/13/15
8	EXISTING TRANSFORMER	10/13/15
9	EXISTING POND	10/13/15
10	EXISTING PRITZER JUNIPER	10/13/15
11	EXISTING RED OSIER DOGWOOD	10/13/15

**NOTES**

1. ALL PROPOSED FEATURES ARE SHOWN IN DASHED LINES.
2. ALL EXISTING FEATURES ARE SHOWN IN SOLID LINES.
3. ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED.
4. ALL ANGLES ARE IN DEGREES UNLESS OTHERWISE NOTED.
5. ALL DISTANCES ARE MEASURED ALONG THE CENTERLINE OF THE ROAD.
6. ALL DISTANCES ARE MEASURED ALONG THE CENTERLINE OF THE TRAIL.
7. ALL DISTANCES ARE MEASURED ALONG THE CENTERLINE OF THE BIKE LANE.
8. ALL DISTANCES ARE MEASURED ALONG THE CENTERLINE OF THE CROSS WALK.
9. ALL DISTANCES ARE MEASURED ALONG THE CENTERLINE OF THE STRIPING.
10. ALL DISTANCES ARE MEASURED ALONG THE CENTERLINE OF THE BIKE LANE.

**REFERENCES**

- 1. MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) - ROADWAY DESIGN MANUAL
- 2. MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) - TRAIL DESIGN MANUAL
- 3. MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) - BIKEWAY DESIGN MANUAL
- 4. MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) - CROSS WALK DESIGN MANUAL
- 5. MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) - STRIPING DESIGN MANUAL
- 6. MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) - BIKEWAY DESIGN MANUAL



# Lucky's Market



Submitted to  
**The Charter Township of Garfield**  
3848 Veterans Drive  
Traverse City, MI 49684  
231-941-1620

**Mansfield**  
  
Land Use Consultants

830 Cottageview Drive  
Traverse City, MI 49684  
p 231.946.9310  
f 231.946.8926  
i www.maeaps.com

  
**Cuhaci & Peterson**  
Architects Engineers Planners

## **Table of Contents**

Project Team

Letter of Agency

Application for Site Plan Review

Statement of Proposed Use & Impact

Other Issues to Consider

project improvement boundary

pedestrian connectivity

sidewalk curbing

signage

Options/Liens

Regulations Summary of Underlying Zoning

Project Location Air Photo exhibit

Vicinity Street Map exhibit

Zoning Map exhibit

Civil Plan Set

Architectural Elevations / Floor Plans

Signage Plan

Photometric Plan

## **Project Team**

### **Applicant / Architectural Consultant:**

on behalf of Lucky's Market  
Cuhaci & Peterson Architects  
Ryan DeVore, Sr. Project Coordinator  
1925 Prospect Avenue  
Orlando, Florida 32814  
Phone: (407) 661-9100  
Email: ryand@c-p.com

### **Planning and Engineering Consultant (agent):**

Mansfield Land Use Consultants  
Douglas Mansfield, President  
830 Cottageview Drive, Suite 201  
Traverse City, MI 49685  
Phone: (231) 946-9310  
Email: dougm@maaeps.com

### **Buffalo Ridge Center (property owner):**

Buffalo Ridge Center South, LLC  
Joseph Sarafa, Principal Manager  
3639 Market Place Circle  
Traverse City, MI 49684  
Phone: (231) 631-2600  
Email: jsarafa@aol.com

### **Leaseholder:**

Lucky's Market

February 12, 2016

**Re: Lucky's Market  
Letter of Agency**

To Whom it May Concern,

The purpose of this letter is to acknowledge that Mansfield Land Use Consultants has been retained by Cuhaci & Peterson Architects Engineers Planners to seek certain approvals pursuant to the end user, Lucky's Markets, being able to redevelop and utilize the former Horizon Theatre facility per the lease proposal as located at 3585 Marketplace Circle, Traverse City, MI 49684. As Buffalo Ridge Center South, LLC is the owner of said facility, we acknowledge and hereby authorize Mansfield Land Use Consultants to submit such permits on our behalf as it may relate to owner/applicant as required.

Mansfield Land Use Consultants contact information is as follows:

Doug Mansfield, President  
830 Cottageview Drive, Suite 201  
Traverse City, MI 49684  
[doug@maaeps.com](mailto:doug@maaeps.com)  
(231) 218-5560

This authorization is valid for a period of one (1) year from the date of signature.

Sincerely,



Joseph D. Sarafa, Owners Representative  
Buffalo Ridge Center South, LLC  
3585 Marketplace Circle  
Traverse City, MI 49684  
(231) 631-2600

2-12-16  
date



# Charter Township of Garfield

## Grand Traverse County

3848 VETERANS DRIVE  
TRAVERSE CITY, MICHIGAN 49684  
PH: (231) 941-1620 • FAX: (231) 941-1588

### GUIDE FOR THE SUBMISSION OF AN APPLICATION FOR SITE PLAN REVIEW

#### APPLICATION SUBMISSION

A complete application for site plan review consists of the following:

- a. A properly completed and signed application form;
- b. Supporting information adequate to explain your proposal;
- d. The required fee as set out in the Charter Township of Garfield Fee Schedule; and
- e. Any additional information deemed by the Township to be necessary for proper review of the request.

The above information is required to ensure that your application is given full consideration. An incomplete or improperly prepared application will not be accepted and will result in processing delays.

#### ASSISTANCE

Before submitting an application, it is recommended that you contact the Planning and/or Zoning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions.

#### PROCESSING THE APPLICATION

At appropriate times, the applicant or agent, as the case may be, will receive the following:

- a. Written acknowledgement of receipt of the submitted application and fees;
- b. Written request for any additional information that may be required for the application to be considered complete;
- c. Notice of completed application;
- d. A copy of the staff report that will be presented to the Planning Commission for their review;
- e. (If applicable) Written notice of the meeting before the Garfield Township Planning Commission. The applicant and agent will have the opportunity to make a verbal presentation at the meeting. If the meeting before the Planning Commission will include a public hearing, members of the public will also have the opportunity to speak at the meeting; and
- f. Written decision.

*Please allow up to 10 days for review of an initial application, and up to 5 business days for review of any revised application material that may be required by Township Staff. After the application is considered complete, it will be scheduled on the agenda of the next available Planning Commission meeting.*

#### SUBMITTAL DEADLINES

Submittal deadlines are listed on the Planning Department homepage. Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. **An earlier submittal is encouraged to avoid possible delays.**

#### WAIVERS

##### Submittal Waivers

At the discretion of the Zoning Administrator in the case of a Site Diagram, or the Director of Planning in the case of an Administrative Site Plan or a Site Development Plan, the requirement to submit a Site Diagram, an Administrative Site Plan or a Site Development Plan may be waived in any of the following cases when it is determined that the submission would serve no useful purpose:

- a. The erection or enlargement of an accessory structure;
- b. The enlargement of a principal building by less than 20 percent of its existing gross floor area, provided such enlargement will not result in a requirement for additional off-street parking;

- c. A change in principal use where such change would not result in an increase in impervious surface area, additional off-street parking, site access, other external site characteristics or a violation of this ordinance.

**Data Waivers**

- a. The Zoning Administrator may waive a particular element of information or data otherwise required for a Site Diagram upon a finding that the information is not necessary to determine compliance with this ordinance.
- b. The Director of Planning may waive a particular element of information or data otherwise required for an Administrative Site Plan or Site Development Plan upon a finding that the information or data is not necessary to determine compliance with this ordinance or that such information or data would not bear on the decision of the approval authority.

**FEES AND SUBMISSION**

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule. Current application fees (subject to change – please confirm with current fee schedule) are established as follows:

Site Diagram:	\$50.00 (waived if submitted with a Land Use Permit Fee)
Administrative Site Plan:	\$150.00
Site Development Plan:	\$250.00 (waived if submitted with a Special Use Permit Fee)

Additional fees may be required if a review by independent professional help is deemed necessary by the Township. If required, such additional fees must be placed in escrow by the applicant in accordance with the escrow policies of the Township and prior to any further processing of this application. Any unused escrow funds shall be returned to the applicant.

For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

Please submit the completed application and fees to the Zoning Department for a Site Diagram or the Planning Department for an Administrative Site Plan or Site Development Plan.





# Charter Township of Garfield

## Grand Traverse County

3848 VETERANS DRIVE  
TRAVERSE CITY, MICHIGAN 49684  
PH: (231) 941-1620 • FAX: (231) 941-1588

### APPLICATION FOR SITE PLAN REVIEW

This application must be typed or printed in ink and completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays.

#### A. APPLICANT INFORMATION

Name of Applicant: Cuhaci & Peterson Architects

Address: 1925 Prospect Ave, Orlando, FL 32814

Phone: 407-661-9100 E-mail: ryand@c-p.com

Name of Agent: Mansfield Land Use Consultants

Address: 830 Cottageview Dr, Ste 201, Traverse City, MI 49685

Phone: 231-946-9310 E-mail: petrak@maaeps.com

Name of Owner: Buffalo Ridge Center South, LLC

Address: 3585 Marketplace Cir, Traverse City, MI 49684

Phone: 231-631-2600 E-mail: jsarafa@aol.com

Please specify to whom all communications should be sent: Applicant  Agent  Owner

#### B. LOCATION/LEGAL DESCRIPTION OF SUBJECT LANDS

Tax Parcel ID Number: 28-05-016-032-05

Parcel Address: 3585 Marketplace Cir, Traverse City, MI 49684

Legal Description: See Attached

Are there any easements or restrictive covenants affecting the subject lands? Yes  No

If yes, describe the easement or covenant and its effect: \_\_\_\_\_

See Attached, There are 22 existing easements within the Buffalo Ridge Center project site

Present zoning: C-G - General Business

#### C. PROPERTY INFORMATION

Present use of the subject lands: Vacant Building, former Horizon Cinema

Proposed use of the subject lands: Lucky's Market, a natural grocery store

Present use of adjacent properties: Cinema, Restaurant, Commercial, Single Family

If known, the length of time the existing uses have continued on the subject lands: \_\_\_\_\_

Are there any existing buildings or structures on the subject lands? Yes  No

Are any existing buildings on the subject lands designated as being historically significant? Yes  No

If yes, identify and provide details of the historically significant building(s).

If known, the date existing buildings or structures were constructed on the subject lands: 1990 +/-

#### D. PREVIOUS USE OF THE PROPERTY

Has there been an industrial or commercial use on the subject lands or adjacent lands?

Yes  No  Unknown  If yes, specify the use(s): Former Horizon Cinema

Has a gas station been located on the subject lands or adjacent lands at any time?

Yes  No  Unknown

Has there been petroleum or other fuel stored on the subject lands or adjacent lands at any time?

Yes  No  Unknown

Is there reason to believe the subject lands may have been contaminated by former uses on or adjacent to the site?

Yes  No  Unknown

If you answered yes to any of the above questions, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the inventory attached? Yes  No

**F. DATA SUBMITTAL REQUIREMENTS**

<i>Required Site Plan Element</i>	<b>Site Diagram</b>	<b>Admin. Site Plan / SDP</b>	<b><u>Township Use Only:</u></b> Information Provided?		
			Y	N	W
<b>A. <u>Basic Information</u></b>					
1. Applicant's name, address, telephone number and signature	●	●			
2. Property owner's name, address, telephone number and signature	●	●			
3. Proof of property ownership	●	●			
4. Whether there are any options or liens on the property	●	●			
5. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent	●	●			
6. The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage	●	●			
7. A vicinity map showing the area and road network surrounding the property		●			
8. Name, address and phone number of the preparer of the site plan	●	●			
9. Project title or name of the proposed development	●	●			
10. Statement of proposed use of land, project completion schedule, any proposed development phasing	●	●			
11. Land uses and zoning classification on the subject parcel and adjoining parcels	●	●			
12. Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as their name, address and telephone number		●			
<b>B. <u>Site Plan Information</u></b>					
1. North arrow, scale, and date of original submittal and last revision.	●	●			
2. Boundary dimensions of natural features		●			
3. Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%), beach, drainage, and similar features.		●			
4. Proposed alterations to topography and other natural features		●			
5. Existing topographic elevations at two foot intervals except shown at five foot intervals where slopes exceed 18%		●			
6. Soil erosion and sediment control measures as required by the Grand Traverse County Drain Commissioner.	●	●			

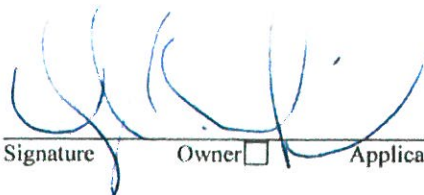
<i>Required Site Plan Element (cont.)</i>	Site Diagram	Admin. Site Plan / SDP	<u>Township Use Only:</u> Information Provided?		
7. The location, height and square footage of existing and proposed main and accessory buildings, and other existing structures		●			
8. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state or federal government authorities.		●			
9. Proposed finish floor and grade line elevations of any structures. <i>*Required only for habitable construction within the floodplain on site diagrams and administrative site plans.</i>	<i>See note*</i>	●			
10. Existing and proposed driveways, including parking areas	●	●			
11. Neighboring driveways and other vehicular circulation features adjacent to the site		●			
12. Location, size and number of parking spaces in the on-site parking areas	●	●			
13. Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks		●			
14. Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features within and adjacent to the site		●			
15. Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes		●			
16. Location of neighboring structures that are close to the parcel line or pertinent to the proposal		●			
17. Location of water supply lines and/or wells	●	●			
18. Location of sanitary sewer lines and/or sanitary sewer disposal systems	●	●			
19. Location, specifications, and access to a water supply in the event of a fire emergency		●			
20. Location and design of storm sewers, retention or detention ponds, waste water lines, clean out locations, connection points and treatment systems		●			
21. Location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam		●			
22. Location, size and specifications of all signs and advertising features, including cross sections		●			
23. Exterior lighting locations with area of illumination illustrated as well as the type of fixtures and shielding to be used		●			
24. Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences, walls, trash receptacle screening, and other screening features with cross sections shown		●			
25. The proposed sizes of landscape materials not previously existing. All vegetation to be retained on site must also be indicated, as well as its typical size by general location or range of sizes as appropriate		●			
26. Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities, and on the natural environment on and adjacent to the site)		●			
27. Changes or modifications required for any applicable regulatory agencies' approvals		●			

**G. OTHER INFORMATION**

If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

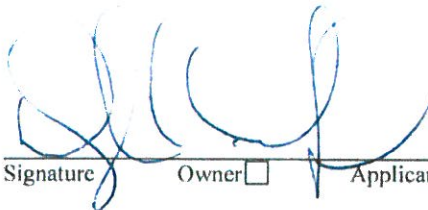
**H. PERMISSION TO ENTER SUBJECT LANDS**

Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

 \_\_\_\_\_  
Signature    Owner     Applicant     Agent     Date 2/26/2016

**I. DECLARATION**

I, Mansfield Land Use Consultants \_\_\_\_\_ solemnly declare that all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath.

 \_\_\_\_\_  
Signature    Owner     Applicant     Agent     Date 2/26/2016

**J. OWNER'S AUTHORIZATION**

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We Buffalo Ridge Center South, LLC \_\_\_\_\_ am/are the registered owner(s) of the lands that is the subject of this application for a zoning ordinance amendment.

I/We authorize Mansfield Land Use Consultants \_\_\_\_\_ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

 \_\_\_\_\_  
Owner's Signature    Date 2-29-16

\_\_\_\_\_  
Owner's Signature    Date

# Lucky's Market

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## Statement of Proposed Use & Impact

The proposed Lucky's Market project is located within the Buffalo Ridge Center PUD. The project would make use of the, now vacant, former Horizon Cinema building with a complete rehabilitation of the existing structure.

Buffalo Ridge Center is in the midst of a revitalization of the 25-year old Traverse City Outlet Center. The existing blighted shopping center was approved for redevelopment by Garfield Township as a Planned Unit Development in 2014, with the intent of revitalizing the development to the level of modern shopping and entertainment convenience demanded by today's consumer. The first improvement to the shopping center was the Carmike IMAX Cherry Blossom 14 Theater which opened in December 2015. The theater serves as an anchor for Buffalo Ridge Center, and has been a great success.

Lucky's Market, a highly regarded natural foods market, will be a great addition to Buffalo Ridge Center while complementing the existing surrounding businesses. Lucky's Market is a natural foods grocery store, designed by two chefs determined to create an entirely different kind of store - one that focuses on conscious sourcing, local vendors, customer convenience and affordable prices. The on-site deli provides customers with house-roasted meats, freshly prepared foods and fresh-crafted sandwiches to order.



Lucky's Market is compatible with the surrounding businesses because the different types of businesses (entertainment, restaurant and retail) have different customer shopping patterns. Patrons of Lucky's are less likely to be shopping during the dinner rush or a prime time movie screening, allowing for balanced site usage throughout the day/week.

# *Lucky's Market*

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## **Existing infrastructure demands to consider include**

- Traffic - There are three points of access to the site. The main access is a signalized intersection at Market Place Circle and US-31 with ample room for vehicle stacking within the PUD site during times peak traffic volume. A secondary access connects to the Kohl's shopping complex to the north, and there is an emergency access through the Creekside residential development to the west.
- Utilities - The rehabilitation of the existing building to accommodate a new Lucky's Market will utilize existing on-site utilities. The project requires only minor improvements at the service connections along the building to accommodate the new land use as required by local regulatory agencies.
- Natural Areas - Development of the Lucky's Market within an existing building, utilizing existing parking and drive lanes will not change the existing on-site infrastructure, and will not effect any of the existing 58% of the Buffalo Ridge Center PUD that is dedicated to open space. Improvements and maintenance of the existing on-site Stormwater system as well as an extension of the paved Mall Trail continue to be implemented this summer as part of the original Buffalo Ridge Center PUD approval.

# Lucky's Market

## Other issues to consider include

- **Project Improvement Boundary -**

The project improvement boundary defines the area of the PUD in which the currently proposed improvements will be designed to meet the standards of the PUD agreement and the Township zoning ordinance. Most specifically, these standards include parking lot landscape requirements, lighting, pedestrian circulation and signage.

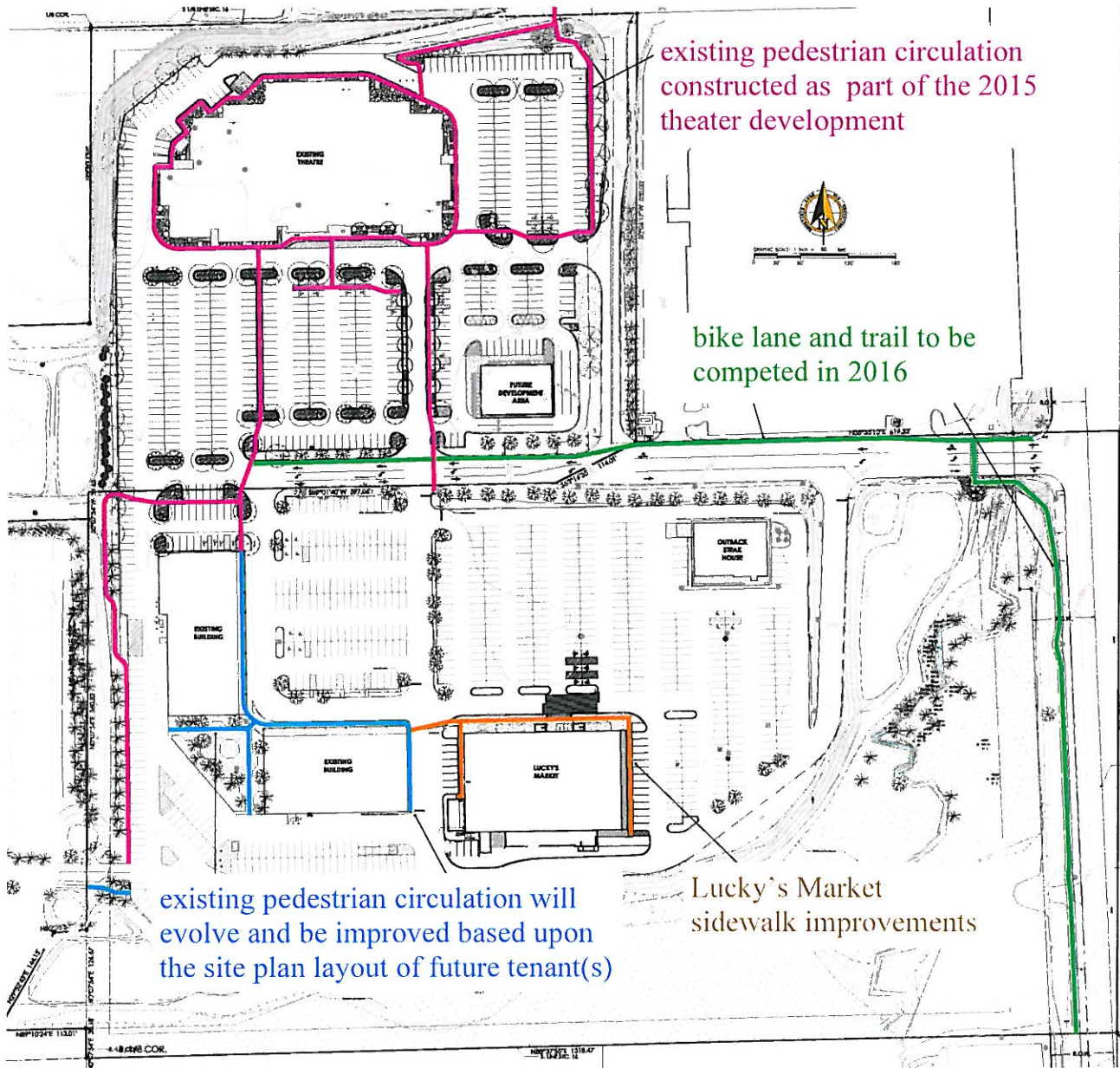
The project improvement boundary for the Lucky's Market project is based on the other remaining assumed lease spaces within the Buffalo Ridge Center PUD. The graphic below shows the existing Outback Steakhouse lease boundary, the proposed Lucky's Market improvement boundary, and the potential for two remaining lease areas. The remaining area within the PUD is currently being actively marketed and will most likely result in demolition of existing structures to make way for new commercial/retail buildings.



# Lucky's Market

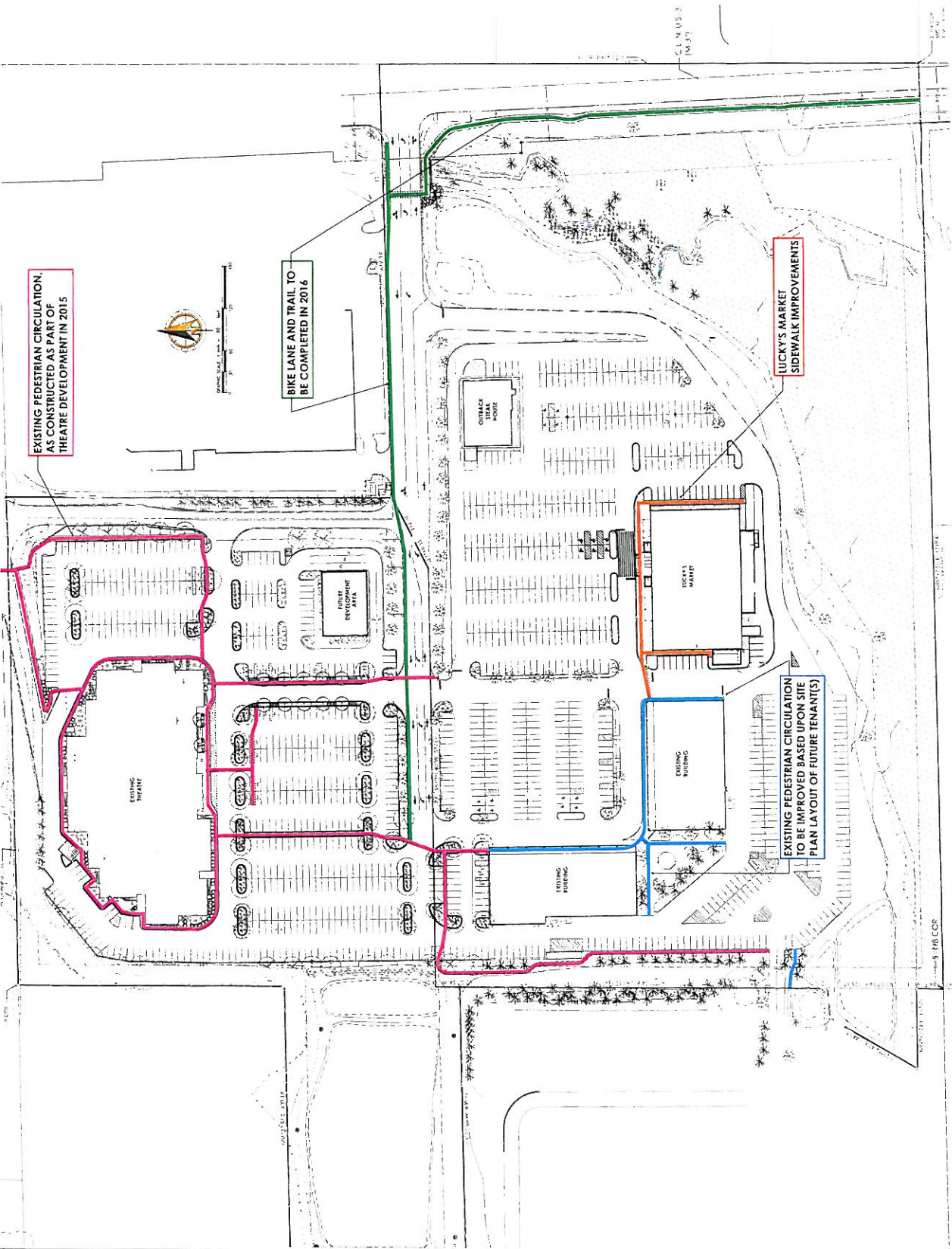
- **Pedestrian Connectivity -**

Sidewalks around Lucky's market will be replaced and improved. The sidewalk along the front of the building will be widened to accommodate outdoor customer seating. Pedestrian connectivity to and from Lucky's Market will utilize existing sidewalks along the storefronts to the west. More attractive and direct north/south pedestrian connectivity within the site will evolve as part of future tenant buildout of the site. See the following pages for potential future pedestrian routing.





NO.	DESCRIPTION	DATE	BY	CHKD.
1	PRELIMINARY	10/15/17	MM	MM
2	REVISED	10/15/17	MM	MM
3	REVISED	10/15/17	MM	MM
4	REVISED	10/15/17	MM	MM
5	REVISED	10/15/17	MM	MM
6	REVISED	10/15/17	MM	MM
7	REVISED	10/15/17	MM	MM
8	REVISED	10/15/17	MM	MM
9	REVISED	10/15/17	MM	MM
10	REVISED	10/15/17	MM	MM





EXISTING PEDESTRIAN CIRCULATION AS CONSTRUCTED AS PART OF THEATRE DEVELOPMENT IN 2015

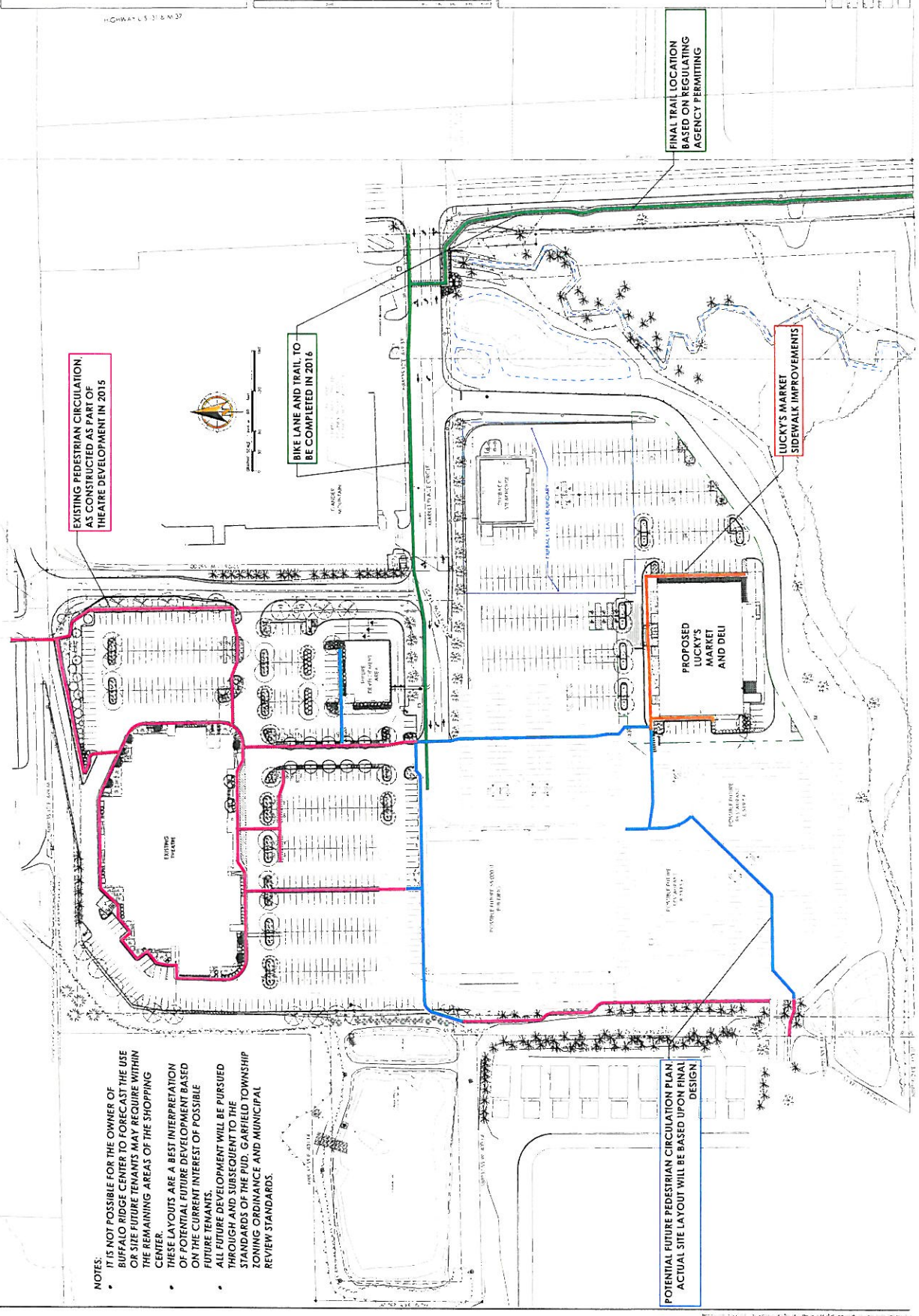
BIKE LANE AND TRAIL TO BE COMPLETED IN 2016

LUCKY'S MARKET SIDEWALK IMPROVEMENTS

FINAL TRAIL LOCATION BASED ON REGULATING AGENCY PERMITTING

POTENTIAL FUTURE PEDESTRIAN CIRCULATION PLAN ACTUAL SITE LAYOUT WILL BE BASED UPON FINAL DESIGN

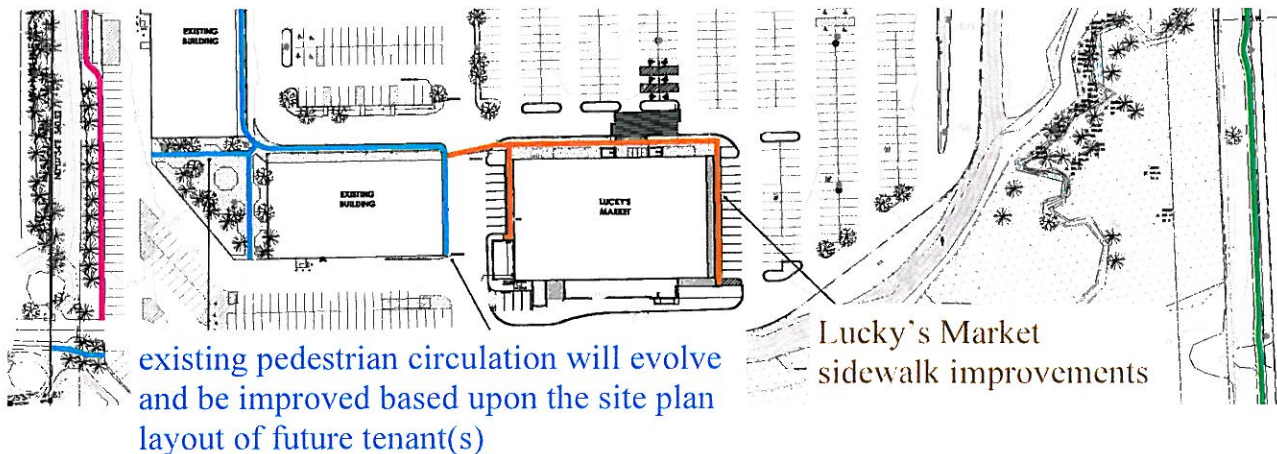
- NOTES:
- IT IS NOT POSSIBLE FOR THE OWNER OF BUFFALO RIDGE CENTER TO FORECAST THE USE OR SIZE FUTURE TENANTS MAY REQUIRE WITHIN THE REMAINING AREAS OF THE SHOPPING CENTER.
  - THESE LAYOUTS ARE A BEST INTERPRETATION OF POTENTIAL FUTURE DEVELOPMENT BASED ON THE CURRENT INTEREST OF POSSIBLE FUTURE TENANTS.
  - ALL FUTURE DEVELOPMENT WILL BE PURSUED THROUGH AND SUBSEQUENT TO THE STANDARDS OF THE PUD, GARFIELD TOWNSHIP ZONING ORDINANCE AND MUNICIPAL REVIEW STANDARDS.



# Lucky's Market

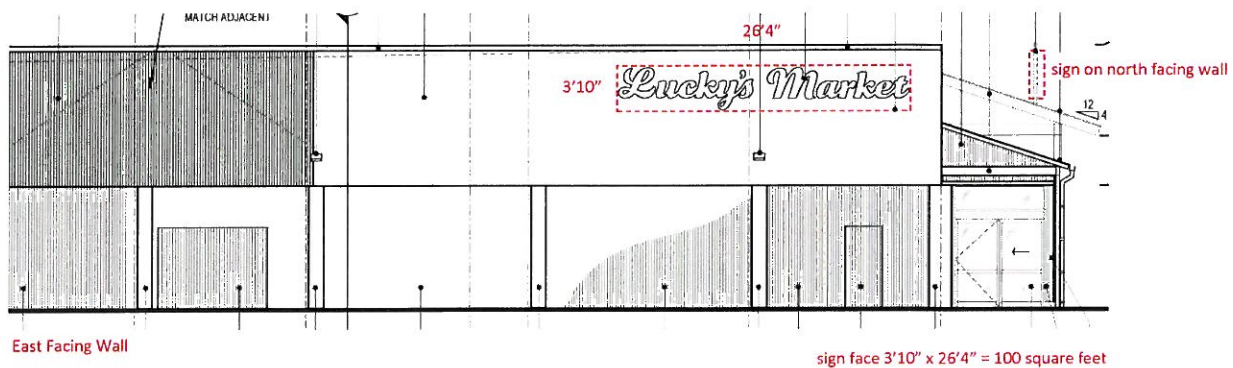
- **Sidewalk Curbing -**

Township ordinance requires that new sidewalk abutting parking areas have a raised curb. The Lucky's Market project is a retrofit of an existing structure with some existing grading challenges. New sidewalk is proposed along the north, west and east elevations of the building. All new sidewalks (*with the exception of accessible routes*) will have raised curbs.



- **Signage**

Signage is proposed on the north facing and east facing walls of the proposed Lucky's Market grocery store. Proposed signage complies with the ordinance maximum wall sign size standards of 100 square feet per wall.



# *Lucky's Market*

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## **Project Completion Schedule**

Eager to join the community, Lucky's would like to start and commence renovations as soon as possible, targeting a 4th quarter 2016 completion. There is no development phasing to this project.

## **Options/Liens**

There are no options or liens on the property

# Lucky's Market

---

## **Regulations Summary**

### **Project Address:**

The old Horizons Cinema building  
3585 Market Place Circle  
Traverse City, MI 49684

### **Project Parcel:**

Part of Tax ID 28-05-016-032-05

### **Project Size:**

2.12 acres, Improvement Boundary within the PUD

### **Existing Zoning:**

Buffalo Ridge Center PUD SUP #2014-02 -C-G, General Commercial underlying zoning

### **Existing Land Use:**

vacant cinema building

### **Proposed Land Use:**

Lucky's Market, grocery store

### **Underlying C-G General Business Zoning:**

The C-G (General Commercial) districts provide areas for a broad range of commercial activities and services designed to cater to the needs of a large consumer base. The districts include areas of existing commercial developments as well as areas within which such development appears likely and desirable. They are intended to encourage more intensive commercial development in and near the core areas of the township. The C-G districts are designed to support diversification of the economic base in a manner compatible in use, character, and size to the site and the surrounding areas.

### **Use Permitted by Right:**

Retail, Food Establishment

### **Township Comprehensive Master Plan, Future Land Use:**

Planned Commercial

Areas occupied by or suited for the development of regional retail sales and service establishments. Typically such planned centers are located on a single unified site, are designed and constructed as an integral unit for shopping, other business activity, and related land uses. To foster the concept of a housing-jobs balance, planned centers are encouraged to have a residential component, or be located in close proximity to residential uses.

# Lucky's Market

---

## Regulations Summary continued

	<b>C-G zoning</b>	<b>PUD</b>	<b>proposed Lucky's</b>
<b>Minimum Lot Size:</b>	15,000sf	30.91 acres	2.12 acres
<b>Minimum Lot Width:</b>	100ft	770+ft	n/a
<b>Height:</b>	35ft	50ft max.	24ft
<b>Front Yard Setback:</b>	40ft	50ft	n/a
<b>Side/Rear Yard Setback:</b>	varies	30ft	n/a

<b>Parking:</b>	<b>required per ordinance</b>
*parking is shared between uses	
Carmike Cherry Blossom 14 IMAX (3,105 seats) (1 per 6 seats min. / 1 per 3 seats max.)	518-1,035 spaces
Outback Steakhouse (6,700sf) (1 per 150sf floor area min. / 1 per 75sf floor area max.)	45-90 spaces
Buffalo Ridge Center Office - Pop-Up Retail (20,300sf) (1 per 250sf floor area min. / 1 per 150sf floor area max.)	80-136 spaces
Lucky's Market grocery store (26,100sf) (1 per 250sf floor area min. / 1 per 150sf floor area max.)	105-174 spaces

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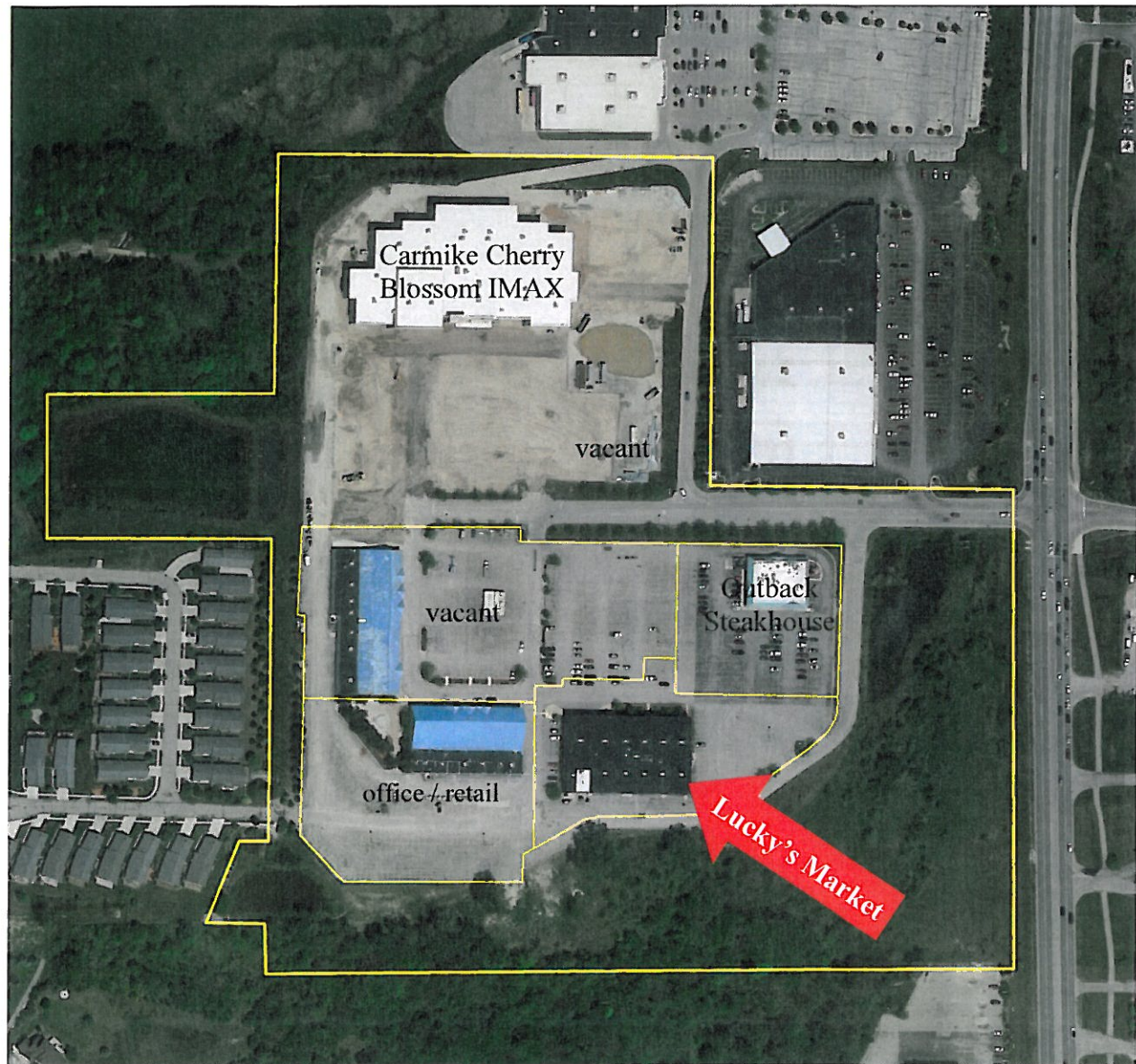
748-1,435 spaces required

\* there are 1,243 spaces total within the PUD

\*future parking requirements resulting from continued build-out of the PUD will be calculated based on the shared parking standards of Table 5-48 of the ordinance.

<b>Lot Coverage:</b>	*no change in lot coverage
Buffalo Ridge Center PUD acres gross	34.41 acres
ROW easement	-3.44 acres
Buffalo Ridge Center PUD acres net	30.97 acres
impervious lot coverage	-12.96 acres
dedicated open space	18.01 acres (58%) (5.47 acres wetland)

# Lucky's Market



Proposed Lucky's Market within the Buffalo Ridge Center PUD SUP #2014-02



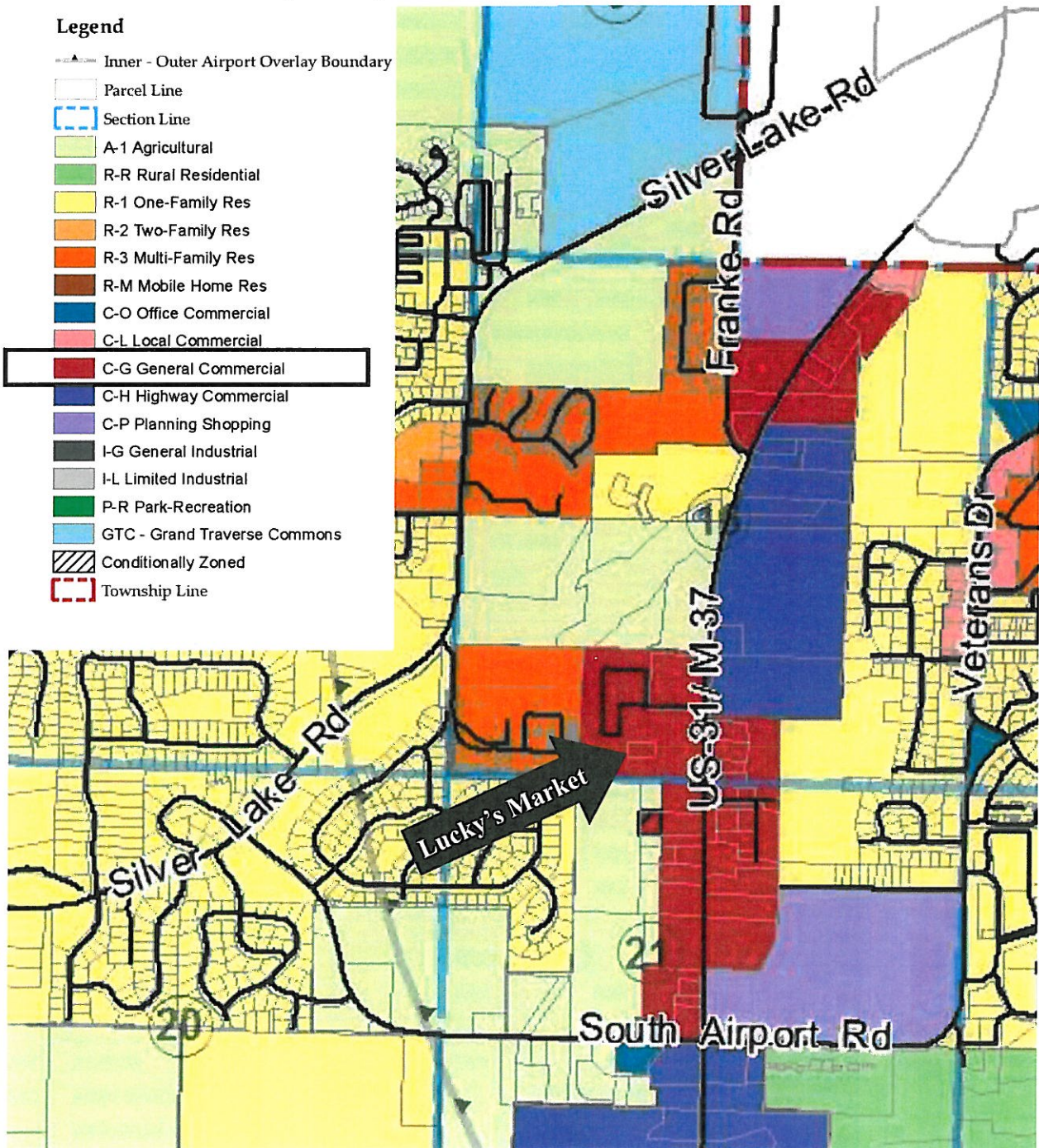
# Lucky's Market

Charter Township of Garfield  
Grand Traverse County, Michigan

## Zoning Map

### Legend

- Inner - Outer Airport Overlay Boundary
- Parcel Line
- Section Line
- A-1 Agricultural
- R-R Rural Residential
- R-1 One-Family Res
- R-2 Two-Family Res
- R-3 Multi-Family Res
- R-M Mobile Home Res
- C-O Office Commercial
- C-L Local Commercial
- C-G General Commercial
- C-H Highway Commercial
- C-P Planning Shopping
- I-G General Industrial
- I-L Limited Industrial
- P-R Park-Recreation
- GTC - Grand Traverse Commons
- Conditionally Zoned
- Township Line



# Lucky's Market



# Lucky's Market





**GENERAL CONSTRUCTION NOTES**

1. **BASE DICS**  
 1.1. All concrete slabs shall be placed on a minimum 4" thick compacted subgrade. All concrete shall be placed on a minimum 4" thick compacted subgrade. All concrete shall be placed on a minimum 4" thick compacted subgrade.
2. **FINISHING UTILITIES**  
 2.1. All utility lines shall be installed in accordance with the applicable codes and standards. All utility lines shall be installed in accordance with the applicable codes and standards.
3. **PROTECTING UTILITIES**  
 3.1. All existing utility lines shall be protected during construction. All existing utility lines shall be protected during construction.
4. **SMALT**  
 4.1. All smalt shall be installed in accordance with the applicable codes and standards. All smalt shall be installed in accordance with the applicable codes and standards.
5. **SOIL EROSION & SEDIMENTATION CONTROL**  
 5.1. All soil erosion and sedimentation control measures shall be installed in accordance with the applicable codes and standards. All soil erosion and sedimentation control measures shall be installed in accordance with the applicable codes and standards.
6. **PROPERTY CORNERS**  
 6.1. All property corners shall be marked in accordance with the applicable codes and standards. All property corners shall be marked in accordance with the applicable codes and standards.
7. **SURVEY DATA**  
 7.1. All survey data shall be used in accordance with the applicable codes and standards. All survey data shall be used in accordance with the applicable codes and standards.
8. **REMOVAL ITEMS**  
 8.1. All removal items shall be removed in accordance with the applicable codes and standards. All removal items shall be removed in accordance with the applicable codes and standards.
9. **CONSTRUCTION SCAFFOLD & TRAFFIC CONTROL**  
 9.1. All construction scaffolding and traffic control measures shall be installed in accordance with the applicable codes and standards. All construction scaffolding and traffic control measures shall be installed in accordance with the applicable codes and standards.
10. **POST CONSTRUCTION**  
 10.1. All post construction measures shall be installed in accordance with the applicable codes and standards. All post construction measures shall be installed in accordance with the applicable codes and standards.
11. **PROTECTIVE FENCE**  
 11.1. All protective fences shall be installed in accordance with the applicable codes and standards. All protective fences shall be installed in accordance with the applicable codes and standards.
12. **EXCESS MATERIALS**  
 12.1. All excess materials shall be removed in accordance with the applicable codes and standards. All excess materials shall be removed in accordance with the applicable codes and standards.
13. **SAVING CUTTING MATERIAL**  
 13.1. All saving cutting materials shall be saved in accordance with the applicable codes and standards. All saving cutting materials shall be saved in accordance with the applicable codes and standards.
14. **DEWATERING**  
 14.1. All dewatering measures shall be installed in accordance with the applicable codes and standards. All dewatering measures shall be installed in accordance with the applicable codes and standards.
15. **UTILITY SEPARATION**  
 15.1. All utility separation measures shall be installed in accordance with the applicable codes and standards. All utility separation measures shall be installed in accordance with the applicable codes and standards.
16. **RECYCLING**  
 16.1. All recycling measures shall be installed in accordance with the applicable codes and standards. All recycling measures shall be installed in accordance with the applicable codes and standards.

**GENERAL GRADING CONSTRUCTION NOTES**

1. **QUALITY OF WORK**  
 1.1. All grading work shall be done in accordance with the applicable codes and standards. All grading work shall be done in accordance with the applicable codes and standards.
2. **SUBGRADE PREPARATION**  
 2.1. All subgrade preparation measures shall be installed in accordance with the applicable codes and standards. All subgrade preparation measures shall be installed in accordance with the applicable codes and standards.
3. **ACCRIC GATE BASE MATERIAL**  
 3.1. All accric gate base material shall be installed in accordance with the applicable codes and standards. All accric gate base material shall be installed in accordance with the applicable codes and standards.
4. **BUILDINGS PAYMENT (PMA)**  
 4.1. All buildings payment (PMA) measures shall be installed in accordance with the applicable codes and standards. All buildings payment (PMA) measures shall be installed in accordance with the applicable codes and standards.
5. **REMOVAL OF ORGANICS**  
 5.1. All removal of organics measures shall be installed in accordance with the applicable codes and standards. All removal of organics measures shall be installed in accordance with the applicable codes and standards.
6. **SITE GRADING**  
 6.1. All site grading measures shall be installed in accordance with the applicable codes and standards. All site grading measures shall be installed in accordance with the applicable codes and standards.
7. **FIELD CHANGES**  
 7.1. All field changes shall be made in accordance with the applicable codes and standards. All field changes shall be made in accordance with the applicable codes and standards.
8. **DRAINAGE**  
 8.1. All drainage measures shall be installed in accordance with the applicable codes and standards. All drainage measures shall be installed in accordance with the applicable codes and standards.

**GENERAL SANITARY SEWER CONSTRUCTION NOTES**

1. **STANDARDS**  
 1.1. All sanitary sewer construction shall be done in accordance with the applicable codes and standards. All sanitary sewer construction shall be done in accordance with the applicable codes and standards.
2. **CONNECTIONS**  
 2.1. All sanitary sewer connections shall be installed in accordance with the applicable codes and standards. All sanitary sewer connections shall be installed in accordance with the applicable codes and standards.
3. **DRAINAGE**  
 3.1. All sanitary sewer drainage measures shall be installed in accordance with the applicable codes and standards. All sanitary sewer drainage measures shall be installed in accordance with the applicable codes and standards.
4. **DETAILS**  
 4.1. All sanitary sewer details shall be installed in accordance with the applicable codes and standards. All sanitary sewer details shall be installed in accordance with the applicable codes and standards.
5. **PUBLIC LASHMENTS**  
 5.1. All sanitary sewer public lashments shall be installed in accordance with the applicable codes and standards. All sanitary sewer public lashments shall be installed in accordance with the applicable codes and standards.
6. **UTILITY SEPARATION**  
 6.1. All sanitary sewer utility separation measures shall be installed in accordance with the applicable codes and standards. All sanitary sewer utility separation measures shall be installed in accordance with the applicable codes and standards.
7. **NO DISRUPTION OF SERVICE**  
 7.1. All sanitary sewer construction shall be done in a way that does not disrupt the service of existing utilities. All sanitary sewer construction shall be done in a way that does not disrupt the service of existing utilities.
8. **SAVING CUTTING MATERIAL**  
 8.1. All saving cutting materials shall be saved in accordance with the applicable codes and standards. All saving cutting materials shall be saved in accordance with the applicable codes and standards.

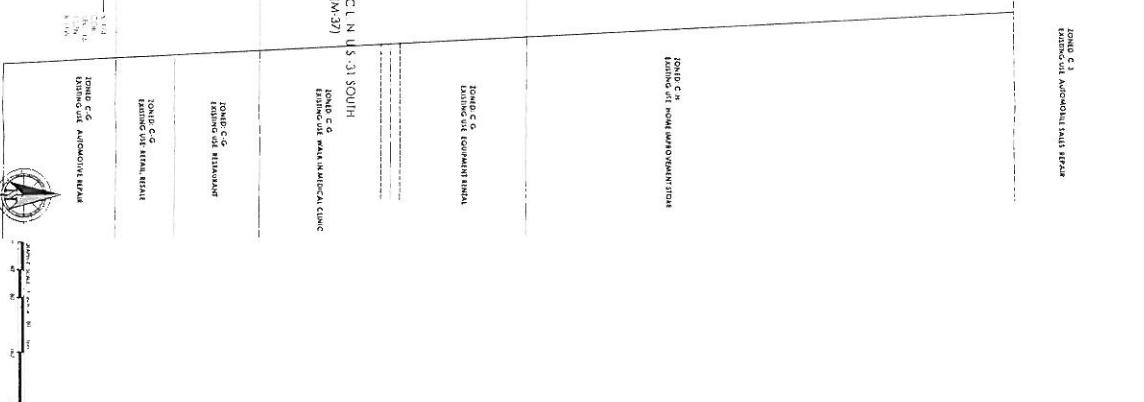
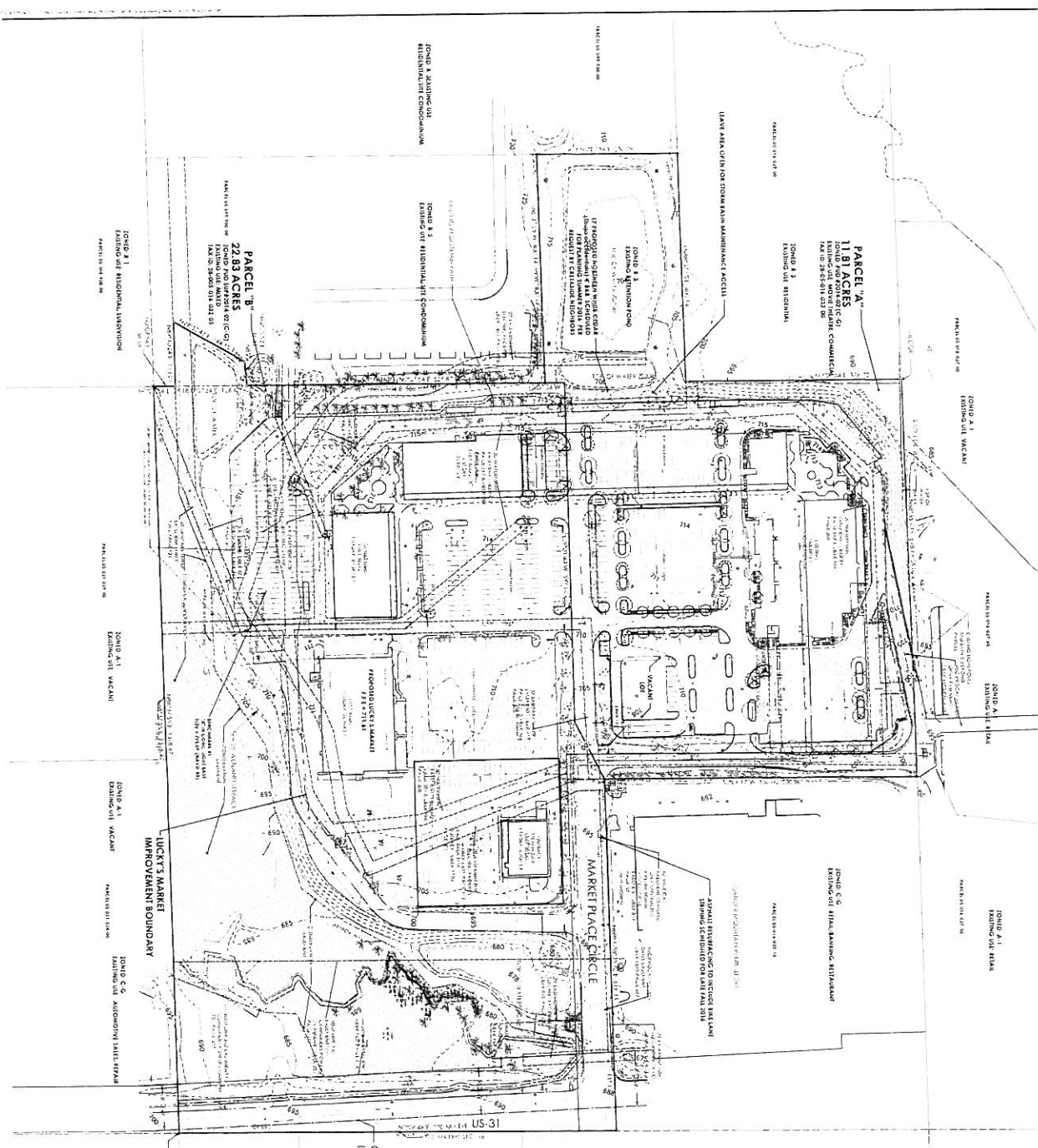
**GENERAL STORM SEWER CONSTRUCTION NOTES**

1. **CONSTRUCTION STANDARDS**  
 1.1. All storm sewer construction shall be done in accordance with the applicable codes and standards. All storm sewer construction shall be done in accordance with the applicable codes and standards.
2. **CONNECTIONS**  
 2.1. All storm sewer connections shall be installed in accordance with the applicable codes and standards. All storm sewer connections shall be installed in accordance with the applicable codes and standards.
3. **STRUCTURE ADJUSTMENTS**  
 3.1. All storm sewer structure adjustments shall be installed in accordance with the applicable codes and standards. All storm sewer structure adjustments shall be installed in accordance with the applicable codes and standards.
4. **UTILITY SEPARATION**  
 4.1. All storm sewer utility separation measures shall be installed in accordance with the applicable codes and standards. All storm sewer utility separation measures shall be installed in accordance with the applicable codes and standards.

NO.	DATE	DESCRIPTION
1	10/17/17	PRELIMINARY
2	10/17/17	16017
3	10/17/17	16017
4	10/17/17	16017
5	10/17/17	16017
6	10/17/17	16017
7	10/17/17	16017
8	10/17/17	16017
9	10/17/17	16017
10	10/17/17	16017

Lucky's Market  
 Proposed Grocery Store and Deli  
 Notes Sheet  
 Section 16 Town 27 North Range 11 West  
 Gargala Township, Grand Traverse County, Michigan

**Mansfield**  
 Land Use Consultants  
 88 Cass Street, Suite 201  
 Grand Traverse, MI 49735  
 Telephone: 231.946.2300  
 Fax: 231.946.2301  
 www.mansfield.com



Lucky's Market  
 Proposed Grocery Store and Deli  
 Existing Conditions Plan  
 Section 16 Town 27 North Range 11 West  
 Gaffield Township, Grand Traverse County, Michigan

NO.	DATE	DESCRIPTION
1	10/17/17	PRELIMINARY
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**Mansfield**  
 Land Use Consultants

4300 Congress Dr. Ste. 215  
 Troy, MI 48063  
 Phone: 248-545-5511  
 Fax: 248-545-5512  
 Email: info@mansfieldllc.com  
 Website: www.mansfieldllc.com

16017  
 SHEET 3 OF 12  
 PRELIMINARY

NOTE

1. All work shall be in accordance with the Michigan Department of Transportation (MDOT) Standard Specifications for Road and Bridge Construction, 2004 Edition, unless otherwise noted.

2. All work shall be in accordance with the Michigan Department of Transportation (MDOT) Standard Specifications for Road and Bridge Construction, 2004 Edition, unless otherwise noted.

3. All work shall be in accordance with the Michigan Department of Transportation (MDOT) Standard Specifications for Road and Bridge Construction, 2004 Edition, unless otherwise noted.

4. All work shall be in accordance with the Michigan Department of Transportation (MDOT) Standard Specifications for Road and Bridge Construction, 2004 Edition, unless otherwise noted.

5. All work shall be in accordance with the Michigan Department of Transportation (MDOT) Standard Specifications for Road and Bridge Construction, 2004 Edition, unless otherwise noted.

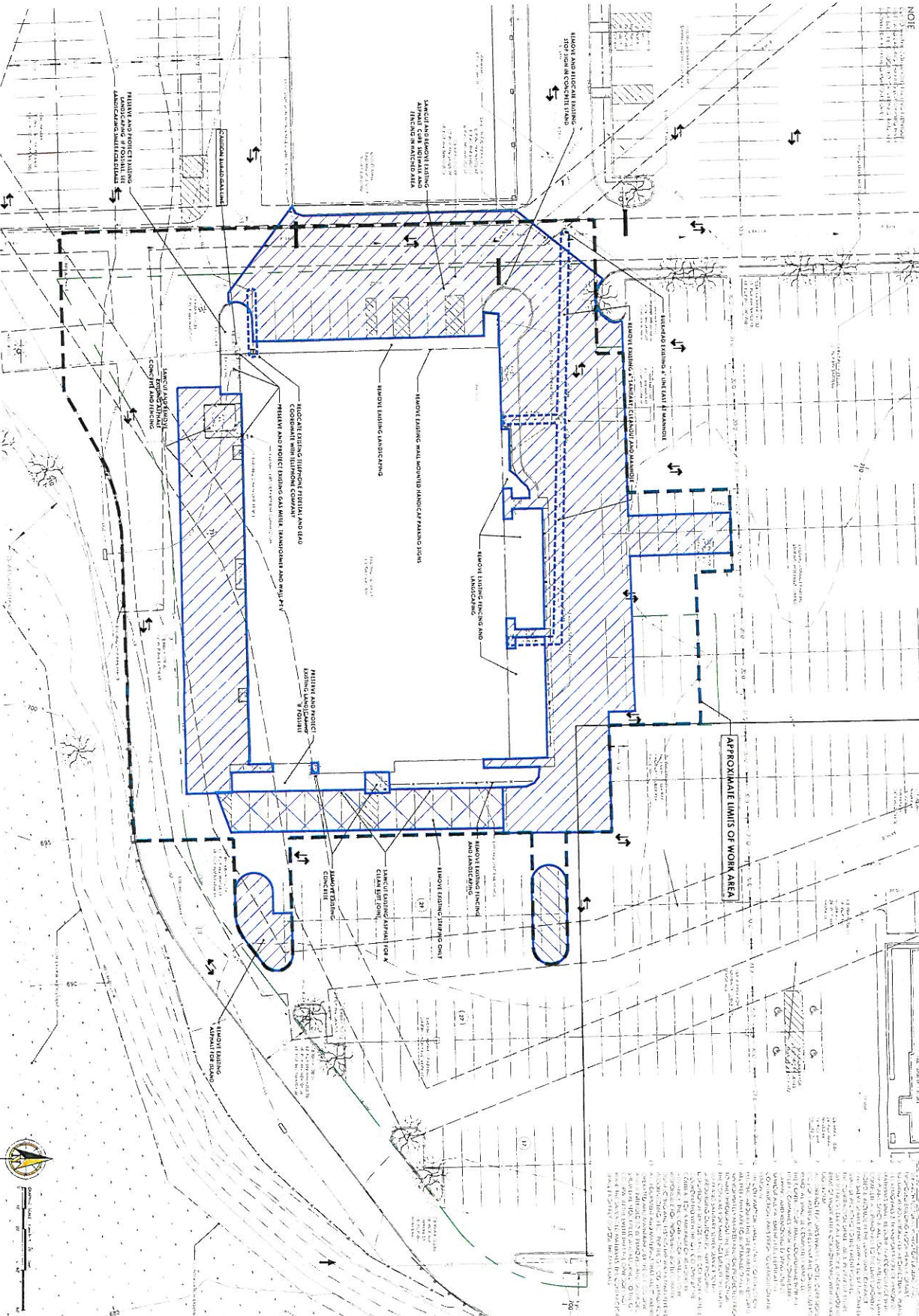
6. All work shall be in accordance with the Michigan Department of Transportation (MDOT) Standard Specifications for Road and Bridge Construction, 2004 Edition, unless otherwise noted.

7. All work shall be in accordance with the Michigan Department of Transportation (MDOT) Standard Specifications for Road and Bridge Construction, 2004 Edition, unless otherwise noted.

8. All work shall be in accordance with the Michigan Department of Transportation (MDOT) Standard Specifications for Road and Bridge Construction, 2004 Edition, unless otherwise noted.

9. All work shall be in accordance with the Michigan Department of Transportation (MDOT) Standard Specifications for Road and Bridge Construction, 2004 Edition, unless otherwise noted.

APPROXIMATE LIMITS OF WORK AREA



GENERAL CONSTRUCTION NOTES

1. All work shall be in accordance with the Michigan Department of Transportation (MDOT) Standard Specifications for Road and Bridge Construction, 2004 Edition, unless otherwise noted.

2. All work shall be in accordance with the Michigan Department of Transportation (MDOT) Standard Specifications for Road and Bridge Construction, 2004 Edition, unless otherwise noted.

Lucky's Market  
 Proposed Grocery Store and Deli  
 Demolition Plan  
 Section 16 Town 27 North Range 11 West  
 Garfield Township, Grand Traverse County, Michigan

NO.	DATE	DESCRIPTION
1	10/17/17	PRELIMINARY
2	11/17/17	REVISED
3	12/17/17	REVISED
4	1/17/18	REVISED
5	2/17/18	REVISED
6	3/17/18	REVISED
7	4/17/18	REVISED
8	5/17/18	REVISED
9	6/17/18	REVISED
10	7/17/18	REVISED
11	8/17/18	REVISED
12	9/17/18	REVISED

Mansfield  
Land Use Consultants

16017  
4 of 12

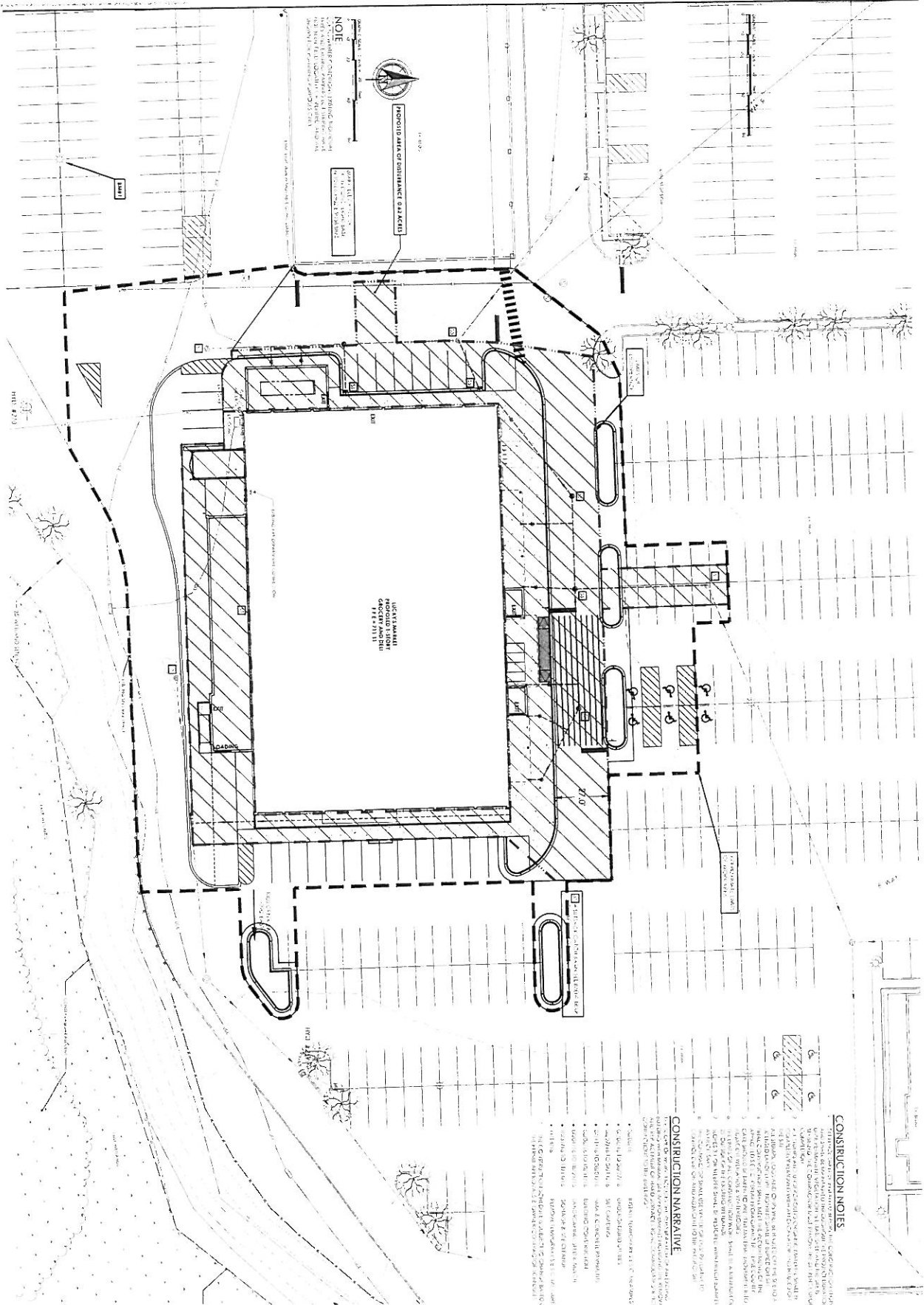












**NOTE**  
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL PLUMBING CODE (IPC).  
 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC) AND THE NATIONAL ELECTRICAL CODE (NEC).  
 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODE (IFSC) AND THE INTERNATIONAL FIRE AND SAFETY CODE (IFSC).



**REMOVAL AREA**  
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL PLUMBING CODE (IPC).  
 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC) AND THE NATIONAL ELECTRICAL CODE (NEC).  
 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODE (IFSC) AND THE INTERNATIONAL FIRE AND SAFETY CODE (IFSC).

**PROPOSED GROCERY STORE AND DELI**  
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL PLUMBING CODE (IPC).  
 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC) AND THE NATIONAL ELECTRICAL CODE (NEC).  
 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODE (IFSC) AND THE INTERNATIONAL FIRE AND SAFETY CODE (IFSC).

**CONSTRUCTION NOTES**

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4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL PLUMBING CODE (IPC).
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6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODE (IFSC) AND THE INTERNATIONAL FIRE AND SAFETY CODE (IFSC).

**CONSTRUCTION NARRATIVE**

THE CONSTRUCTION NARRATIVE SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL PLUMBING CODE (IPC). ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC) AND THE NATIONAL ELECTRICAL CODE (NEC). ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODE (IFSC) AND THE INTERNATIONAL FIRE AND SAFETY CODE (IFSC).

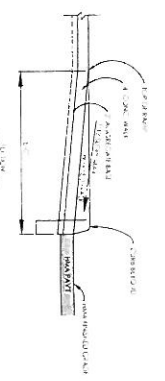
PHILLIP MANFIELD  
 16017  
 SUITE 9 CH 12

**Lucky's Market**  
**Proposed Grocery Store and Deli**  
**S.E.S.C. Plan**  
 Section 16, Town 27 North, Range 11 West  
 Garfield Township, Grand Haven County, Michigan

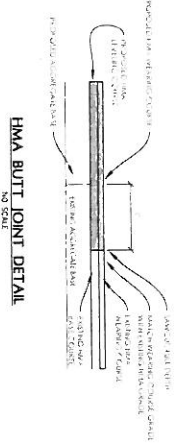
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7	10/1/17	ISSUED FOR PERMIT
8	10/1/17	ISSUED FOR PERMIT
9	10/1/17	ISSUED FOR PERMIT
10	10/1/17	ISSUED FOR PERMIT

**Mansfield**  
 Land Use Consultants  
 2701 Grand Haven Blvd., Suite 201  
 Grand Haven, Michigan 49438  
 Phone: 231.961.7310  
 www.mansfield-luc.com

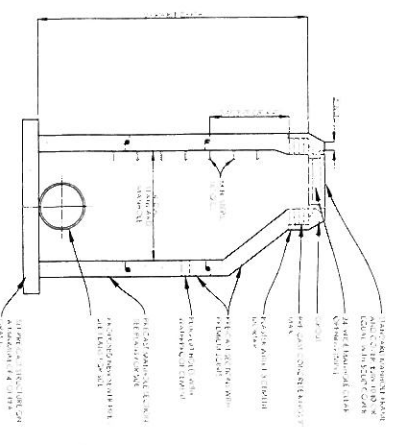




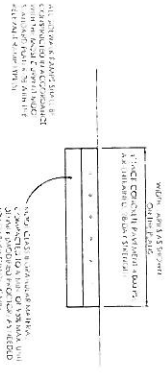
**WHEEL CHAIR RAMP DETAIL**  
NO SCALE



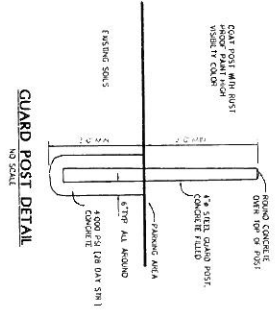
**HMA BUTT JOINT DETAIL**  
NO SCALE



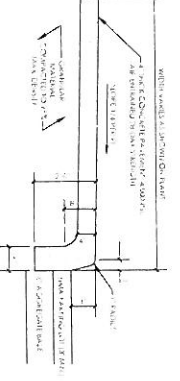
**4 FT. DIA. STORM MANHOLE DETAIL**  
NO SCALE



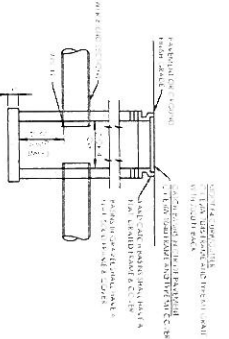
**CONCRETE WALK DETAIL**  
NO SCALE



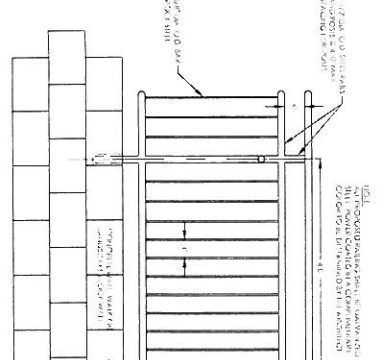
**GUARD POST DETAIL**  
NO SCALE



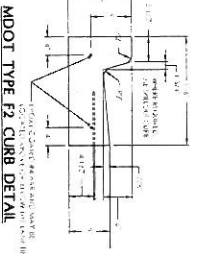
**THICKENED EDGE CONCRETE SIDEWALK**  
NO SCALE



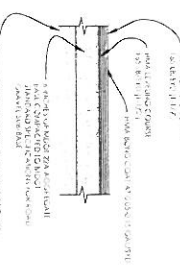
**2 OR 4 FT. DIA. CATCH BASIN DETAIL**  
NO SCALE



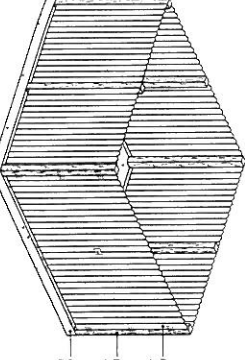
**EXTERIOR HANDRAIL DETAIL**  
NO SCALE



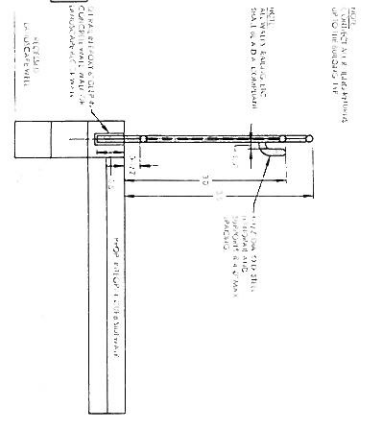
**MOOT TYPE F2 CURB DETAIL**  
NO SCALE



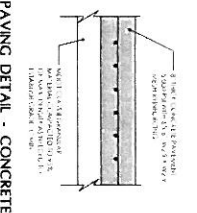
**PAVING DETAIL - HMA**  
NO SCALE



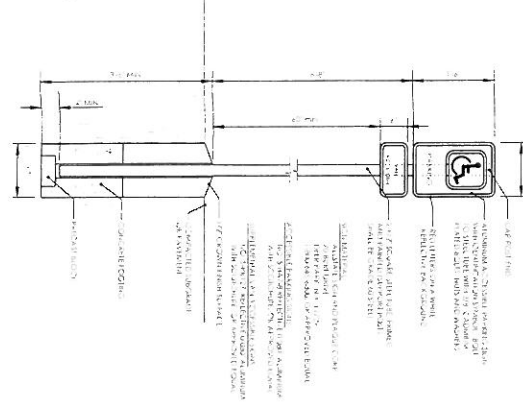
**DUMPISTER SCREENING PAD**  
NO SCALE



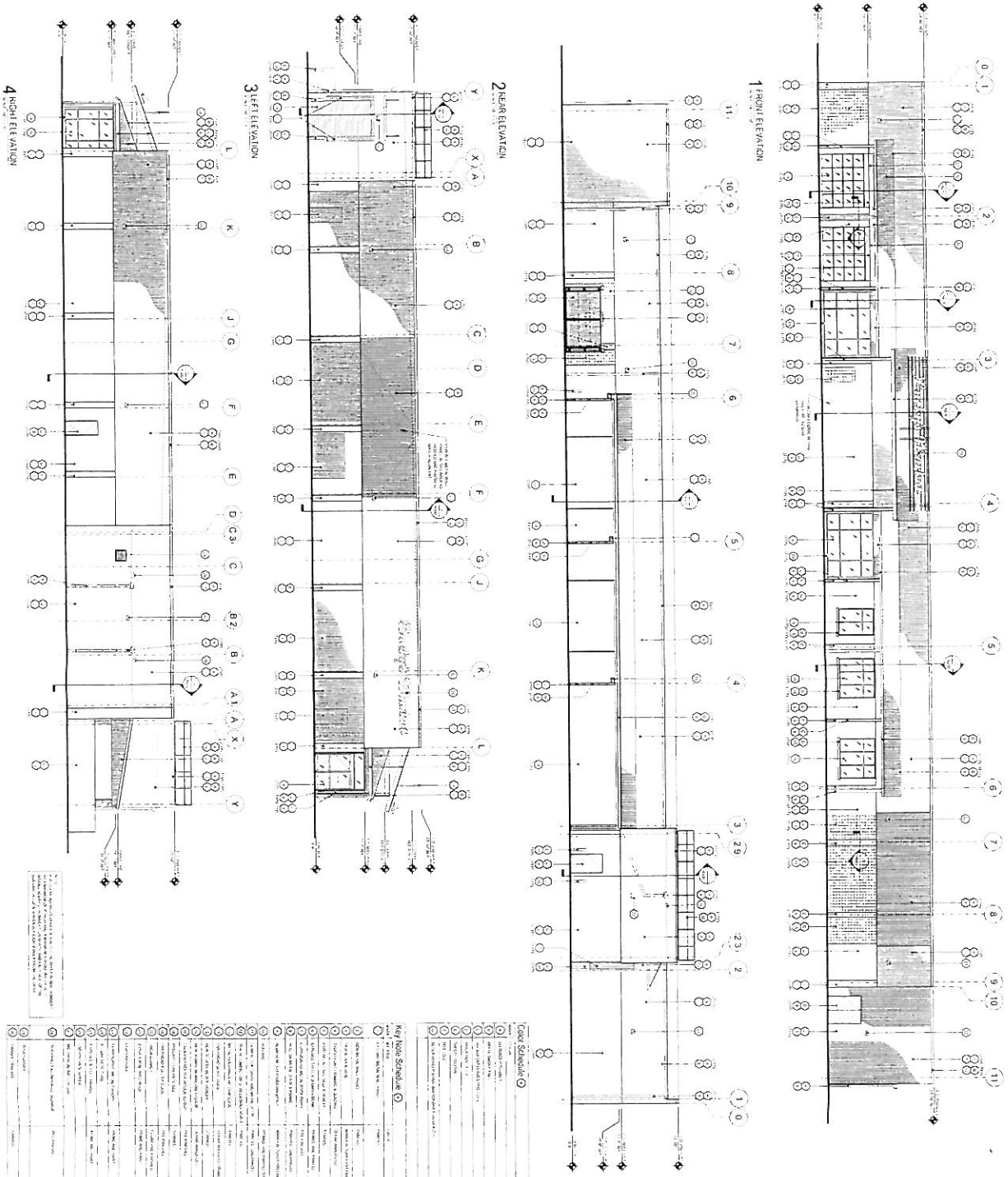
**BARRIER-FREE PARKING SIGN DETAIL**  
NO SCALE



**PAVING DETAIL - CONCRETE**  
NO SCALE



**BARRIER-FREE PARKING SIGN DETAIL**  
NO SCALE



Code	Description	Material	Notes
1	Paint	White	Exterior walls
2	Paint	Black	Trim
3	Paint	Black	Window frames
4	Paint	Black	Door frames
5	Paint	Black	Signage
6	Paint	Black	Lettering
7	Paint	Black	Decorative elements
8	Paint	Black	Architectural details
9	Paint	Black	Structural elements
10	Paint	Black	Roof elements
11	Paint	Black	Foundation elements

DATE	DESCRIPTION

**Lucky's Market #TVC22 - Tenant Modification**  
 2501 MacArthur Lane  
 Torrance City, CA 90505

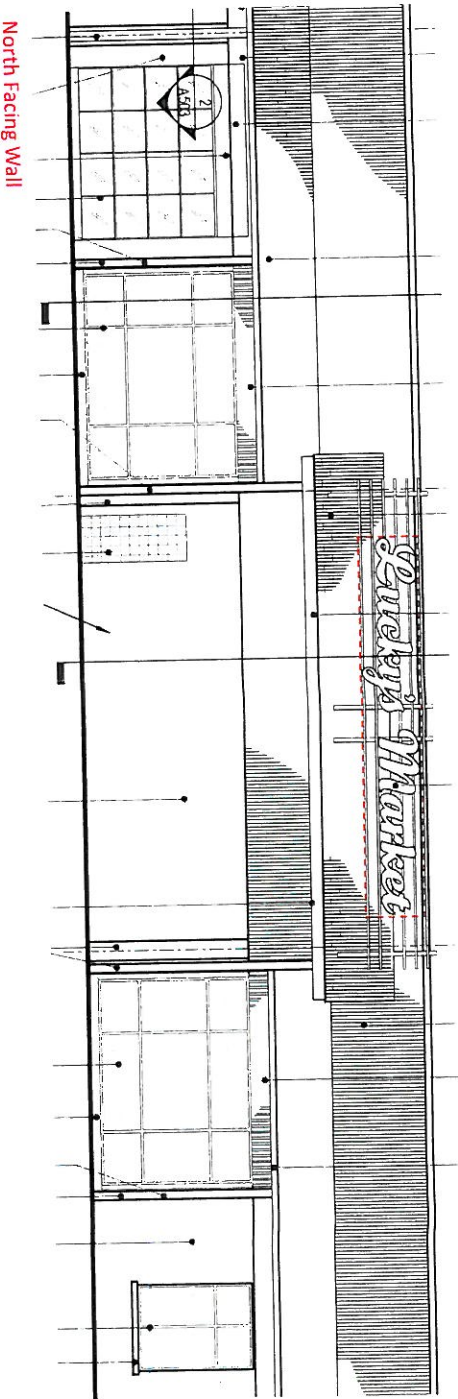
**Lucky's Market Parent Company LLC**  
 6381 MacArthur Lane, Suite 200  
 Torrance, CA 90505

Exterior Elevations

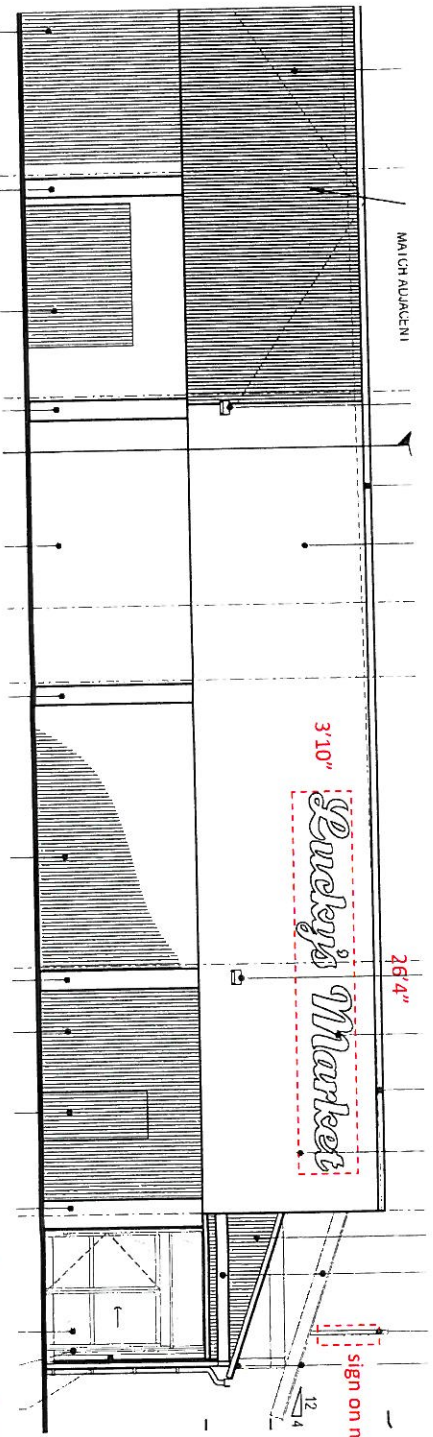
**CHAI & PARSON**  
 Architects Engineers Planners  
 ORLANDO • PHILADELPHIA

1525 Prospect Ave  
 Orlando, FL 32814  
 P: 407.663.9100  
 F: 407.516.6145  
 www.cpa.com

A201



North Facing Wall



East Facing Wall

sign face 3'10" x 26'4" = 100 square feet

Wall signage is in compliance with Township Ordinance



# Mansfield

Land Use Consultants

November 23, 2015

Sara Kopriva  
Zoning Administrator  
Garfield Township  
3848 Veterans Drive  
Traverse City, Michigan 49684

RE: Buffalo Ridge P.U.D. – Storm Water Certification

Dear Sara

The proposed storm water systems for Phase I of the Buffalo Ridge Center project have been constructed per the design plans and have been fully operational for several weeks. I hereby certify that all storm water measures, including storm sewer/outlets/culverts/riprap, etc. have been completed in accordance with the storm water control plan. The owner is currently completing maintenance work on all of the storm water basins under a separate permit from the MDEQ, as well as the treatment unit for Phase II, basin No. 1. The S.E.S.C. permit will remain open until spring or early summer until vegetation has been re-established for the basins; however the S.E.S.C. office released the certificate of occupancy requirement for the cinema last week.

If you have any questions, please feel free to call me at (231) 946-9310 ext. 1007, or email me at jimh@maaeps.com.

Sincerely,  
Mansfield Land Use Consultants



Jim Hirschenberger, P.E.

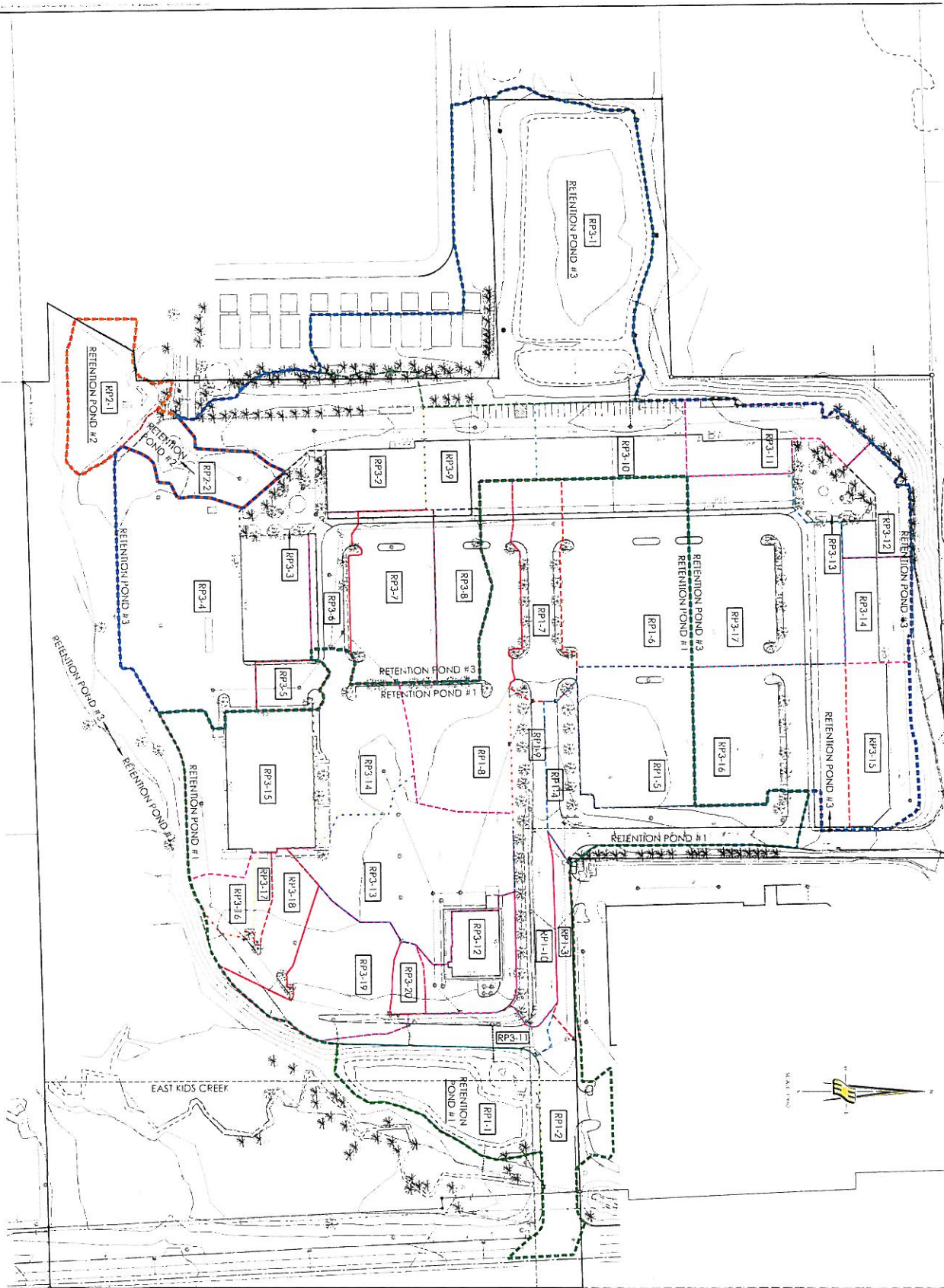
Project Engineer

Enclosures:

44423

Engineer's License Number





TC Center Partners, LLC  
 Buffalo Ridge Center  
 Existing Drainage Plan  
 Section 16 Town 27 North Range 11 West  
 Grafton Twp. Grand Traverse County, Michigan

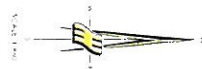
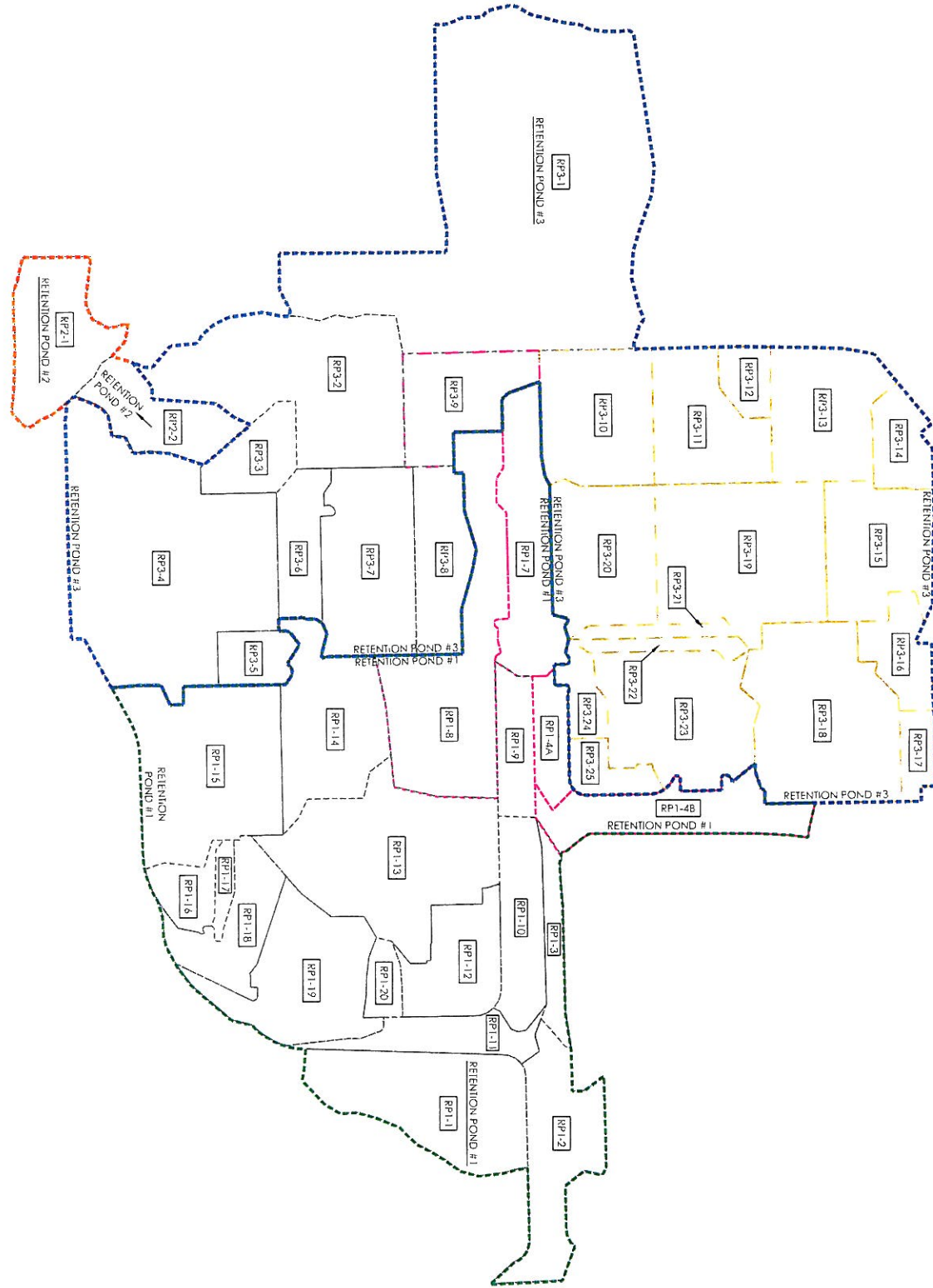
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100	11/02/11	Final

**Mansfield**  
 or  
 Land Use Consultants

350 Corporate Dr., Suite 200  
 East Lansing, MI 48824  
 Phone: 517.336.1100  
 Fax: 517.336.1101  
 www.mansfieldllc.com  
 info@mansfieldllc.com

13183  
 2



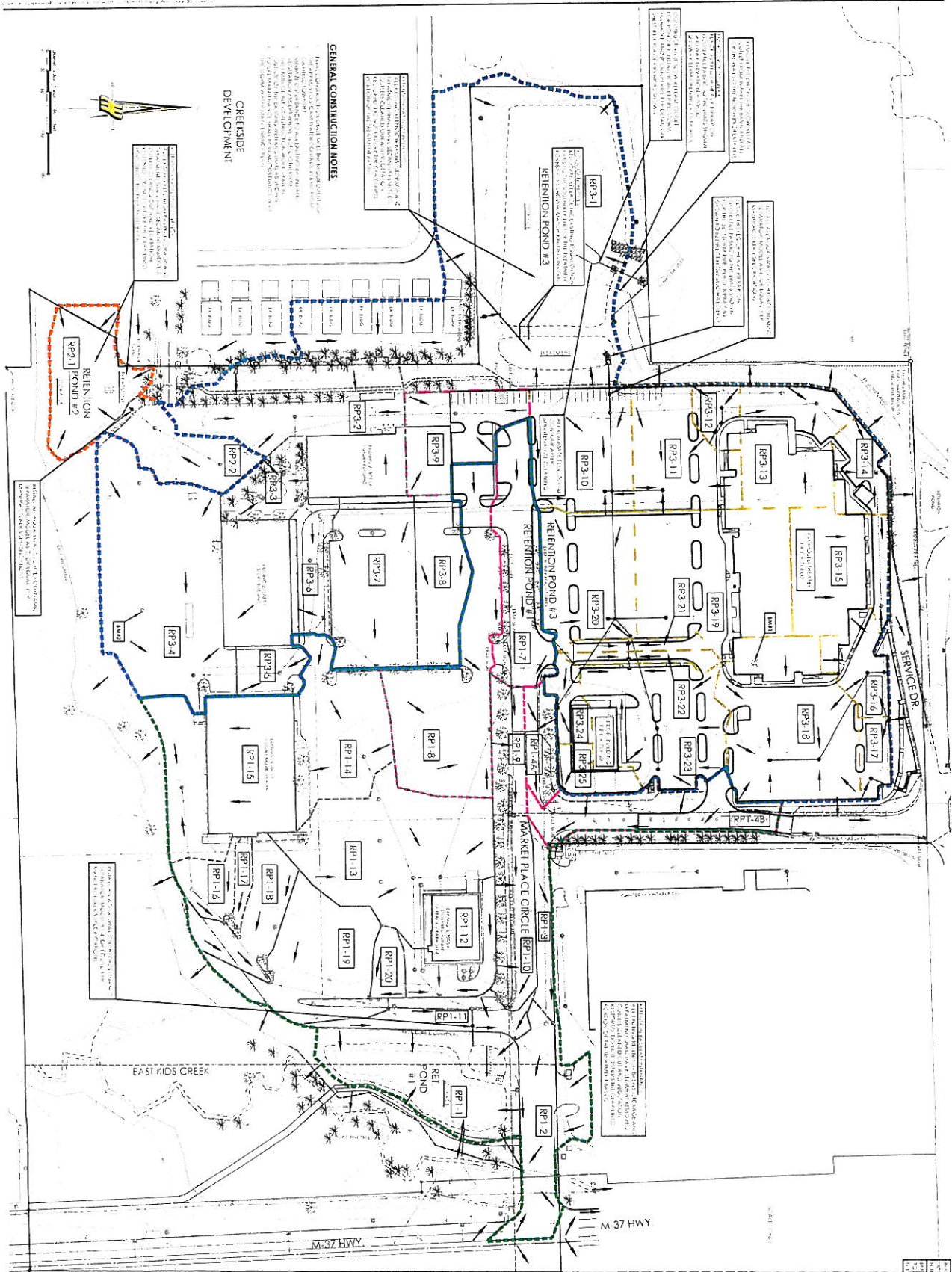


TC Center Partners, LLC  
 Buffalo Ridge Center  
 Proposed Drainage Areas  
 Section 16, Town 27 North, Range 11 West  
 Garfield Twp., Grand Traverse County, Michigan

NO.	DATE	DESCRIPTION
1	11/11/2014	PRELIMINARY DRAINAGE PLAN
2	11/11/2014	REVISIONS TO PRELIMINARY DRAINAGE PLAN
3	11/11/2014	REVISIONS TO PRELIMINARY DRAINAGE PLAN
4	11/11/2014	REVISIONS TO PRELIMINARY DRAINAGE PLAN
5	11/11/2014	REVISIONS TO PRELIMINARY DRAINAGE PLAN
6	11/11/2014	REVISIONS TO PRELIMINARY DRAINAGE PLAN
7	11/11/2014	REVISIONS TO PRELIMINARY DRAINAGE PLAN
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9	11/11/2014	REVISIONS TO PRELIMINARY DRAINAGE PLAN
10	11/11/2014	REVISIONS TO PRELIMINARY DRAINAGE PLAN
11	11/11/2014	REVISIONS TO PRELIMINARY DRAINAGE PLAN
12	11/11/2014	REVISIONS TO PRELIMINARY DRAINAGE PLAN
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16	11/11/2014	REVISIONS TO PRELIMINARY DRAINAGE PLAN
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24	11/11/2014	REVISIONS TO PRELIMINARY DRAINAGE PLAN
25	11/11/2014	REVISIONS TO PRELIMINARY DRAINAGE PLAN

**Mansfield**  
 OR  
 Land Use Consultants

300 Cassopolis Dr., Ste. 201  
 P.O. Box 4015  
 Traverse City, MI 49784  
 Phone: 231.946.9355  
 www.mansfieldlc.com  
 info@mansfieldlc.com



**GENERAL CONSTRUCTION NOTES**

1. Retention Ponds to be installed per the technical specifications of the applicable state or local authority.
2. Retention Ponds to be installed in accordance with the applicable state or local authority.
3. Retention Ponds to be installed in accordance with the applicable state or local authority.
4. Retention Ponds to be installed in accordance with the applicable state or local authority.
5. Retention Ponds to be installed in accordance with the applicable state or local authority.

**CREEK-SIDE DEVELOPMENT**

CONSTRUCTION  
13185  
SHEET 8 OF 15

TC Center Partners, LLC  
Buffalo Ridge Center  
Proposed Drainage Plan  
Section 16 Town 27 North, Range 11 West  
Garfield Twp., Grand Traverse County, Michigan

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	10/20/2023
2	ISSUED FOR PERMITS	10/20/2023
3	ISSUED FOR PERMITS	10/20/2023
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50	ISSUED FOR PERMITS	10/20/2023

**Mansfield**  
OR  
Land Use Consultants

8300 Comstock Dr., Ste. 201  
PO Box 443  
Traverse City, MI 49783  
Phone: 231.946.0330  
www.mansfield.com  
info@mansfield.com



GENERAL NOTES		PROVISIONS		TOTAL AREA		TOTAL COST	
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.	2. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.	3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.	4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.	5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES ON THE SITE.	6. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AND EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.	7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL TREES AND LANDSCAPE FEATURES ON THE SITE.	8. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORD DRAWINGS AND AS-BUILT DRAWINGS THROUGHOUT THE PROJECT.
9. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE SPECIFIED.	10. ALL AREAS ARE APPROXIMATE AND SUBJECT TO FIELD VERIFICATION.	11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.	12. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.	13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES ON THE SITE.	14. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AND EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.	15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL TREES AND LANDSCAPE FEATURES ON THE SITE.	16. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORD DRAWINGS AND AS-BUILT DRAWINGS THROUGHOUT THE PROJECT.
17. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.	18. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.	19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.	20. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.	21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES ON THE SITE.	22. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AND EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.	23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL TREES AND LANDSCAPE FEATURES ON THE SITE.	24. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORD DRAWINGS AND AS-BUILT DRAWINGS THROUGHOUT THE PROJECT.
25. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE SPECIFIED.	26. ALL AREAS ARE APPROXIMATE AND SUBJECT TO FIELD VERIFICATION.	27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.	28. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.	29. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES ON THE SITE.	30. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AND EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.	31. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL TREES AND LANDSCAPE FEATURES ON THE SITE.	32. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORD DRAWINGS AND AS-BUILT DRAWINGS THROUGHOUT THE PROJECT.



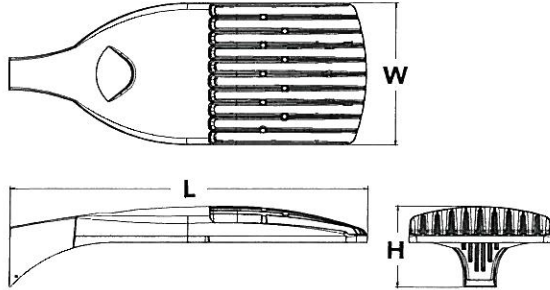
# D-Series Size 1 LED Area Luminaire

d<sup>series</sup>



## Specifications

<b>EPA:</b>	1.2 ft <sup>2</sup> (0.11 m <sup>2</sup> )
<b>Length:</b>	33" (83.8 cm)
<b>Width:</b>	13" (33.0 cm)
<b>Height:</b>	7-1/2" (19.0 cm)
<b>Weight (max):</b>	27 lbs (12.2 kg)



Catalog Number
Notes
Type

## Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing 100-400W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

## Ordering Information

**EXAMPLE: DSX1 LED 60C 1000 40K T3M MVOLT SPA DDBXD**

### DSX1LED

Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Mounting
DSX1 LED	<b>Forward optics</b>	530 530 mA	30K 3000 K	T1S Type I Short	MVOLT <sup>3</sup>	<b>Shipped included</b> SPA Square pole mounting RPA Round pole mounting WBA Wall bracket SPUMBA Square pole universal mounting adaptor <sup>1</sup> RPUMBA Round pole universal mounting adaptor <sup>1</sup> <b>Shipped separately</b> KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) <sup>9</sup>
	30C 30 LEDs (one engine)	700 700 mA	40K 4000 K	T2S Type II Short	120 <sup>3</sup>	
	40C 40 LEDs (two engines)	1000 1000 mA (1 A)	50K 5000 K	T2M Type II Medium	208 <sup>3</sup>	
	60C 60 LEDs (two engines)		T3S Type III Short	240 <sup>3</sup>		
	<b>Rotated optics<sup>1</sup></b>		AMBPC Amber phosphor converted <sup>2</sup>	T3M Type III Medium	277 <sup>3</sup>	
	60C 60 LEDs (two engines)			T4M Type IV Medium	347 <sup>4</sup>	
				T5M Type V Medium	480 <sup>4</sup>	

Control options	Other options	Finish
<b>Shipped installed</b> PER NEMA twist-lock receptacle only (no controls) <sup>7</sup> PER5 Five-wire receptacle only (no controls) <sup>7,8</sup> PER7 Seven-wire receptacle only (no controls) <sup>7,8</sup> DMG 0-10V dimming driver (no controls) <sup>7</sup> DCR Dimmable and controllable via ROAM <sup>®</sup> (no controls) <sup>10</sup> DS Dual switching <sup>11,12</sup> PIR Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc <sup>13</sup> PIRH Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc <sup>13</sup>	PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc <sup>13</sup> PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc <sup>13</sup> BL30 Bi-level switched dimming, 30% <sup>12,14</sup> BL50 Bi-level switched dimming, 50% <sup>12,14</sup> PNMTDD3 Part night, dim till dawn <sup>15</sup> PNMTSD3 Part night, dim 5 hrs <sup>15</sup> PNMT6D3 Part night, dim 6 hrs <sup>15</sup> PNMT7D3 Part night, dim 7 hrs <sup>15</sup>	<b>Shipped installed</b> HS House-side shield <sup>16</sup> WTB Utility terminal block <sup>17</sup> SF Single fuse (120, 277, 347V) <sup>18</sup> DF Double fuse (208, 240, 480V) <sup>18</sup> L90 Left rotated optics <sup>19</sup> R90 Right rotated optics <sup>19</sup>
		DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLTXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white

## Controls & Shields

Accessories <small>Ordered and shipped separately.</small>	DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) <sup>20</sup>
	DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) <sup>20</sup>
	DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) <sup>20</sup>
	SCU	Shorting cap <sup>20</sup>
	DSX1HS 30C U	House-side shield for 30 LED unit
	DSX1HS 40C U	House-side shield for 40 LED unit
	DSX1HS 60C U	House-side shield for 60 LED unit
	PUMBA DDBXD U <sup>1</sup>	Square and round pole universal mounting bracket (specify finish)
	KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) <sup>9</sup>

### NOTES

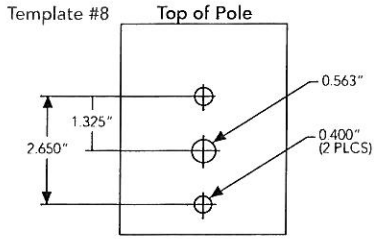
- Rotated optics available with 60C only.
- AMBPC only available with 530mA or 700mA.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz) Specify 120V, 208V, 240V or 277V options only when ordering with fusing (SF, DF options).
- Not available with single board, 530mA product (30C 530 or 60C 530 DS). Not available with BL30, BL50 or PNMT options.
- Available as a separate combination accessory: PUMBA (finish) U; 1.5 G vibration load rating per ANCI C136.31.
- Must be ordered as a separate accessory, see Accessories information. For use with 2-3/8" mast arm (not included).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option.
- If ROAM<sup>®</sup> node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Not available with DCR.
- DMG option for 347V or 480V requires 1000mA.
- Specifies a ROAM<sup>®</sup> enabled luminaire with 0-10V dimming capability; PER option required. Additional hardware and services required for ROAM<sup>®</sup> deployment; must be purchased separately. Call 1-800-442-6745 or email: sales@roamservices.net. N/A with DS, PER5, PER7, BL30, BL50 or PNMT options.

- Requires 40C or 60C. Provides 50/50 luminaire operation via two independent drivers on two separate circuits. N/A with PER, DCR, WTB, PIR or PIRH.
- Requires an additional switched circuit.
- PIR and PIRH1FC3V specify the SensorSwitch SBGR-10-ODP control; PIRH and PIRH1FC3V specify the SensorSwitch SBGR-6-ODP control; see Motion Sensor Guide for details. Dimming driver standard. Not available with PER5 or PER7. Ambient sensor disabled when ordered with DCR. Separate on/off required.
- Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, DS, PER5, PER7 or PNMT options.
- Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, DS, PER5, PER7, BL30 or BL50.
- Also available as a separate accessory; see Accessories information.
- WTB not available with DS.
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Available with 60 LEDs (60C option) only.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item from Acuity Brands Controls.

For more control options, visit [DTL](#) and [ROAM](#) online.



## Drilling



DSX1 shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles, per the table below.

DM19AS	Single unit	DM29AS	2 at 90° *
DM28AS	2 at 180°	DM39AS	3 at 90° *
DM49AS	4 at 90° *	DM32AS	3 at 120° **

Example: SSA 20 4C DM19AS DDBXD

Visit Lithonia Lighting's **POLES CENTRAL** to see our wide selection of poles, accessories and educational tools

\*Round pole top must be 3.25" O.D. minimum  
\*\*For round pole mounting (RPA) only

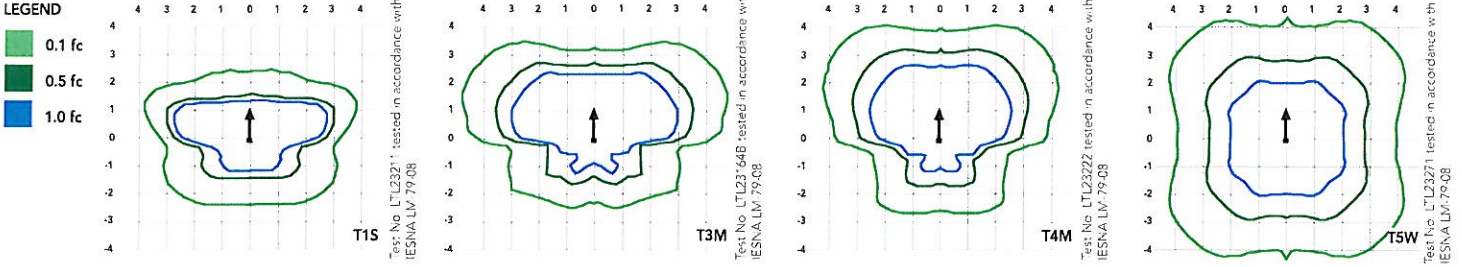
## Tenon Mounting Slipfitter\*\*

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-490
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's **D-Series Area Size 1** homepage.

Isofootcandle plots for the DSX1 LED 60C 1000 40K. Distances are in units of mounting height (20')



## Performance Data

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C / 32°F	1.02
10°C / 50°F	1.01
20°C / 68°F	1.00
<b>25°C / 77°F</b>	<b>1.00</b>
30°C / 86°F	1.00
40°C / 104°F	0.99

### Electrical Load

Number of LEDs	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
30	530	52	0.52	0.30	0.26	0.23	---	---
	700	68	0.68	0.39	0.34	0.30	0.24	0.17
	1000	105	1.03	0.59	0.51	0.45	0.36	0.26
40	530	68	0.67	0.39	0.34	0.29	0.23	0.17
	700	89	0.89	0.51	0.44	0.38	0.31	0.22
	1000	138	1.35	0.78	0.67	0.58	0.47	0.34
60	530	99	0.97	0.56	0.48	0.42	0.34	0.24
	700	131	1.29	0.74	0.65	0.56	0.45	0.32
	1000	209	1.98	1.14	0.99	0.86	0.69	0.50

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	DSX1 LED 60C 1000			
	1.0	0.98	0.96	0.91
	DSX1 LED 60C 700			
	1.0	0.99	0.99	0.99



## FEATURES & SPECIFICATIONS

### INTENDED USE

The sleek design of the D-Series Size 1 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and streetscapes.

### CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver is mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (1.2 ft<sup>2</sup>) for optimized pole wind loading.

### FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

### OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in standard 4000 K (70 minimum CRI) or optional 3000 K (70 minimum CRI) or 5000 K (70 CRI) configurations. The D-Series Size 1 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

### ELECTRICAL

Light engine configurations consist of 30, 40 or 60 high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L96/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an

expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV or 6kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

### INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D Series Size 1 to withstand up to a 3.0 G vibration load rating per ANSI C136.31. The D-Series Size 1 utilizes the AERIS™ series pole drilling pattern. Optional terminal block, tool-less entry, and NEMA photocontrol receptacle are also available.

### LISTINGS

UL Listed for wet locations. Light engines are IP66 rated, luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D672,492 S. International patent pending.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org](http://www.designlights.org) to confirm which versions are qualified.

### WARRANTY

5-year limited warranty. Complete warranty terms located at [www.acuitybrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

## Petra Kuehnis

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**Subject:** FW: Buffalo Ridge project trail

**From:** Schmidt, Robyn (DEQ) [<mailto:SCHMIDTR1@michigan.gov>]  
**Sent:** Thursday, June 23, 2016 10:44 AM  
**To:** Dusty Christensen <[dusty@maaeps.com](mailto:dusty@maaeps.com)>  
**Cc:** Doug Mansfield <[doug@maaeps.com](mailto:doug@maaeps.com)>  
**Subject:** RE: Buffalo Ridge project trail

The use of alternatives that avoid impacts to wetlands, or minimize impacts to wetlands, are positive changes to the original proposed trail route. Part 303, Wetlands Protection, of NREPA, requires the DEQ to find, in part, that 1.) there is no alternative to avoid impacts to the wetland and 2.) that the wetland impacts have been minimized before we are able to issue a permit. Let me know if there are any other questions. Thank you.

Robyn L. Schmidt  
Water Resources Division  
DEQ-Cadillac District Office  
120 W. Chapin Street  
Cadillac, MI 49601  
 231-383-5952

**From:** Dusty Christensen [<mailto:dusty@maaeps.com>]  
**Sent:** Wednesday, June 22, 2016 3:57 PM  
**To:** Schmidt, Robyn (DEQ) <[SCHMIDTR1@michigan.gov](mailto:SCHMIDTR1@michigan.gov)>  
**Cc:** Doug Mansfield <[doug@maaeps.com](mailto:doug@maaeps.com)>  
**Subject:** Buffalo Ridge project trail

Good afternoon Robyn,

A few months ago we exchanged emails regarding the design and permitting of a bike trail that we are designing for the Buffalo Ridge Center project in Garfield Township, Grand Traverse County. At that time, our preliminary plans had the paved trail running through approximately 300' of wetland and crossing Kid's Creek. You will recall that the Township's RDO for the Buffalo Ridge Center planned unit development required that the trail have an asphalt surface. In an effort to respond to your requests to limit wetland and creek disturbance, we worked with the property owner and MDOT to alter the alignment of the trail so that it runs within the MDOT right-of-way for the length of the property. This eliminates the new stream crossing and significantly reduces the amount of wetland disturbance required to construct the trail. The trail no longer cuts across the wetland area on site and the currently proposed disturbance is due to filling required to support the trail within the MDOT right-of-way. The joint permit application requires that we identify the design alternatives considered for the project, and we will provide this information when our design is complete and the application is filed. At this point, could you verify that the new trail alignment and reduced impact on the site's wetlands and stream is preferable to you?

Thank you,  
Dusty

Dustin M. Christensen, LLA  
**Mansfield Land Use Consultants**  
830 Cottageview Drive, Suite 201  
Traverse City, MI 49685



**PROPOSAL**

4-2016

P.O. Box 6150 Traverse City, MI 49696-6150  
 1.800.3ELMERS • 231.943.3443 • 231.943.8975 Fax  
 www.TeamElmers.com

Proposal submitted to:  
**WOODMONT COMPANY**  
 ATTN: KIM RINDLISBACHER  
 3639 MARKETPLACE CIRCLE  
 TRAVERSE CITY MI. 49684

941-9211  
 BUFFALO RIDGE  
 ASPHALT PAVING  
 2016-0369

4/20/2016

We hereby submit specifications and estimates for:

**Construction Schedule June 13-20, 2016**

- |   |   |
|---|---|
| 1. PREP. MILL FULL WIDTH TO DEPTH OF 2 1/2" THICKNESS. HAUL MILLINGS OFF SITE. PROVIDE SWEEP AND CLEAN PRIOR TO PAVING.   | \$8,980.00                                      |
| 2. PLACE ASPHALT IN ONE LIFT AT 2 1/2" THICKNESS 4E1 MIX.   | \$14,556.00                                     |
| 3. PROVIDE SEALCOATING AND CRACK FILLING AS PER DRAWING.  | \$8,465.00                                      |
| 4. INSTALL TRAFFIC LINES AND ARROWS AS PER DRAWING.   | \$1,825.00                                      |
| 5. SKIP PATCHING. PROVIDE 1 1/2' MILLING OF SEVERE SURFACE CRACK AREAS. SWEEP AND CLEAN. REPLACE ASPHALT AT AVERAGE 1 1/2" THICKNESS. BASED ON 200 L.F. X 1 1/2' WIDE | ESTIMATE 200 L.F. @ \$16.50 PER L.F. \$3,300.00 |

\*\* SEE ATTACHED DRAWINGS.

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon stakes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workers' Compensation Insurance. The General Conditions attached hereto or appearing on the back side of this Proposal are hereby incorporated by reference.

 Authorized Signature David H. Viswat  
 Name **DAVID H. VISWAT**

Note: This proposal may be withdrawn by us if not accepted within 30 days.

**Method of Payment**

- Check/cash upon invoicing  
 Charge by VISA/MC upon completion of work

Account # \_\_\_\_\_ Exp Date \_\_\_\_\_

Tax ID # \_\_\_\_\_

Elmer's reserves the right to request a credit report with this proposal

Authorized Signature \_\_\_\_\_

**Acceptance of Proposal**

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature J. Saari (Sign and return copy upon acceptance)

By: \_\_\_\_\_  
 Its: \_\_\_\_\_

Date of Acceptance \_\_\_\_\_

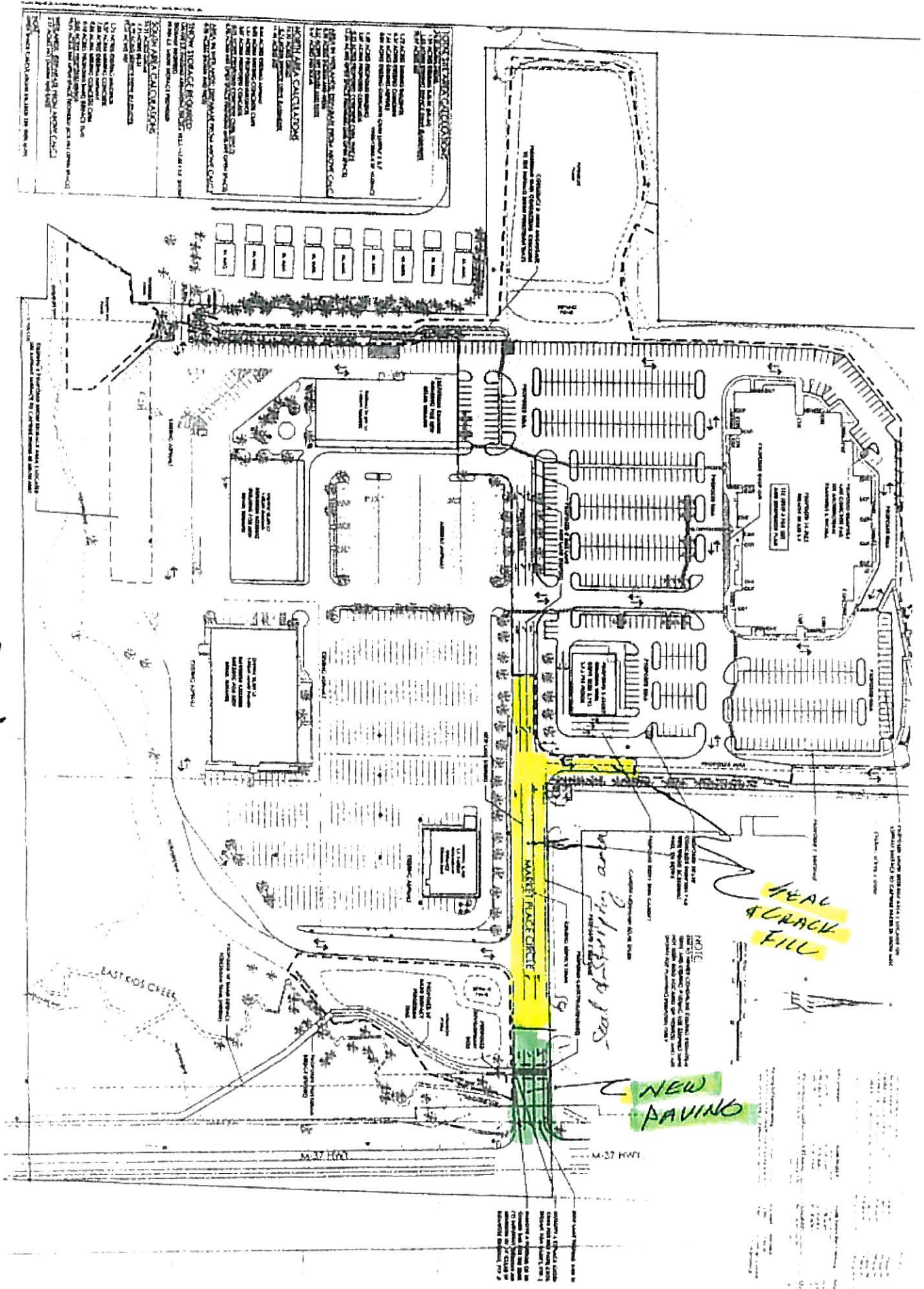
A finance charge of 1.5% per month, which is an annual percentage rate of 18% per year, or a minimum charge of \$ .50 per month, shall be applied to all accounts over 30 days past due.

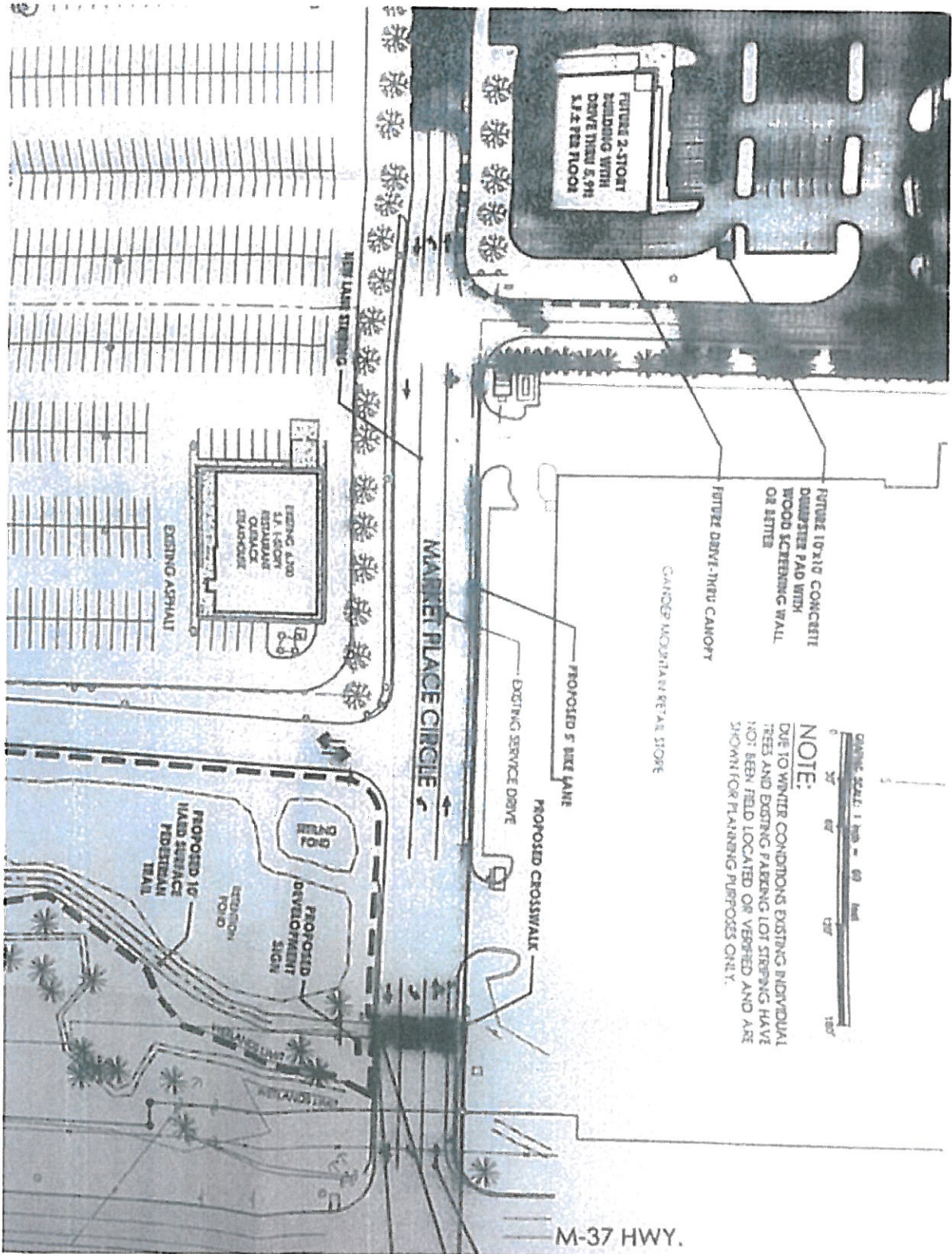
**When reviewing estimates and selecting a contractor:**

- Always get multiple bids for a project. The lowest bid is not necessarily the best choice. Try to get an understanding of why one bid is significantly lower or higher than others; the reasons might change your decision.
- Get recent references from the contractors you are considering.
- Make sure the contractor has the appropriate business and builder licenses, as well as insurance.
- All project specifications and payment terms should be written in the contract.
- The best contractors provide a written warranty or guarantee.

**Fully Bonded & Insured • Daily quality control checks for all products**

Map #2





FUTURE 2-STORY BUILDING WITH DRIVE THRU 5, 9H 1.1 & PER FLOOR

FUTURE 10'x10 CONCRETE DUMPSTER PAD WITH WOOD SCREENING WALL OR SLITS

FUTURE DRIVE-THRU CANOPY

GANDER MOUNTAIN RETAIL STORE

PROPOSED 5 BIKE LANE

EXISTING SERVICE DRIVE

PROPOSED CROSSWALK

MARKET PLACE CIRCLE

NEW LANE SIGNING

EXISTING LAND 1.1 ACRES RESTAURANT OUTBACK SIGNAGE

EXISTING ASPHALT

PROPOSED DEVELOPMENT SIGN

PROPOSED 10' WIDE SERVICE DRIVE

PROPOSED 10' WIDE PEDESTRIAN TRAIL



**NOTE:**

DUE TO WINTER CONDITIONS EXISTING INDIVIDUAL TREES AND EXISTING PARKING LOT STRIPING HAVE NOT BEEN FIELD LOCATED OR VERIFIED AND ARE SHOWN FOR PLANNING PURPOSES ONLY.

M-37 HWY.